

**RICHARDSON CITY COUNCIL
MONDAY, APRIL 28, 2014
WORK SESSION AT 6:00 PM; COUNCIL MEETING AT 7:30 PM
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX**

The Richardson City Council will conduct a Work Session at 6:00 p.m. on Monday, April 28, 2014 in the Richardson Room of the Civic Center, 411, W. Arapaho Road, Richardson, Texas. The Work Session will be followed by a Council Meeting at 7:30 p.m. in the Council Chambers. Council will reconvene the Work Session following the Council Meeting if necessary.

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

WORK SESSION – 6:00 PM, RICHARDSON ROOM

• **CALL TO ORDER**

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

The City Council will have an opportunity to preview items listed on the Council Meeting agenda for action and discuss with City Staff.

B. REVIEW AND DISCUSS 2014 SUMMER CAMP PREVIEW

C. REVIEW AND DISCUSS THE SPRING 2014 COTTONWOOD ART FESTIVAL

D. REVIEW AND DISCUSS THE WILDFLOWER! RICHARDSON'S ARTS AND MUSIC FESTIVAL 2014

E. REVIEW AND DISCUSS THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) BOARD NOMINATION

F. REVIEW AND DISCUSS THE STATUS OF WATER RESTRICTIONS

G. REPORT ON ITEMS OF COMMUNITY INTEREST

The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.

COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS

1. INVOCATION – BOB TOWNSEND

2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – BOB TOWNSEND

3. MINUTES OF THE APRIL 14, 2014 AND APRIL 21, 2014 MEETINGS

4. VISITORS

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a "City Council Appearance Card" and present it to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns will be addressed by City Staff, may be placed on a future agenda, or by some other course of response.

PUBLIC HEARING ITEMS:

5. PUBLIC HEARING, ZONING FILE 14-05: A REQUEST BY JIM DOUGLAS, REPRESENTING DOUGLAS PROPERTIES, INC., FOR A CHANGE IN ZONING FROM I-M(1) INDUSTRIAL AND I-M(2) INDUSTRIAL TO PD PLANNED DEVELOPMENT FOR THE DEVELOPMENT OF A SINGLE-FAMILY COMMUNITY TO BE LOCATED ON APPROXIMATELY 13.6 ACRES OF LAND LOCATED ON THE WEST SIDE OF TELECOM PARKWAY AT THE NORTHERN CITY LIMITS. THE PROPERTY IS CURRENTLY ZONED I-M(1) INDUSTRIAL AND I-M(2) INDUSTRIAL.
6. PUBLIC HEARING, ZONING FILE 14-11: A REQUEST BY SCOTT OZYMY, REPRESENTING KDC REAL ESTATE DEVELOPMENT AND INVESTMENTS, TO CONVERT THE CONVENTIONAL ZONING STANDARDS UNDER A PD PLANNED DEVELOPMENT DISTRICT TO FORM-BASED STANDARDS UNDER A PD PLANNED DEVELOPMENT DISTRICT TO ACCOMMODATE A MIXED-USE DEVELOPMENT ON APPROXIMATELY 63 ACRES. THE PROPERTY IS LOCATED ON THE SOUTH SIDE OF PRESIDENT GEORGE BUSH TURNPIKE, EAST OF PLANO ROAD AND IS CURRENTLY ZONED PD PLANNED DEVELOPMENT.
7. PUBLIC HEARING AND CONSIDER ORDINANCE NO. 4044, ADOPTING STANDARDS OF CARE FOR YOUTH PROGRAMS OFFERED BY THE RICHARDSON PARKS AND RECREATION DEPARTMENT.

8. CONSENT AGENDA:

All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.

A. ADOPTION OF THE FOLLOWING ORDINANCES:

1. ORDINANCE NO. 4045, RE-APPOINTING A PRESIDING MUNICIPAL JUDGE AND ASSISTANT MUNICIPAL JUDGES OF THE MUNICIPAL COURT OF RECORD NO. 1 OF THE CITY OF RICHARDSON.
2. ORDINANCE NO. 4046, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP BY AMENDING AND RESTATING ORDINANCE NO. 3156-A BY APPROVING A REVISED CONCEPT PLAN AND APPROVING BUILDING ELEVATIONS FOR A DRIVE-THRU RESTAURANT ON A 0.89-ACRE TRACT ZONED C-M COMMERCIAL, LOCATED AT 105 S. COIT ROAD, RICHARDSON, TEXAS.
3. ORDINANCE NO. 4047, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A MOTOR VEHICLE STORAGE LOT WITH SPECIAL CONDITIONS ON A 1.69-ACRE TRACT ZONED I-FP(2) INDUSTRIAL, LOCATED AT 1320 INTERNATIONAL PARKWAY, RICHARDSON, TEXAS.

B. AUTHORIZE THE ADVERTISEMENT OF BID NO. 35-14 – 2010 STREETS & ALLEYS PHASE II (RIDGEDALE & NORTHILL STREETS) (RIDGEDALE & WESTWOOD ALLEYS). BIDS TO BE RECEIVED BY THURSDAY, MAY 15, 2014 AT 2:00 P.M.

C. CONSIDER AWARD OF THE FOLLOWING BIDS:

1. BID #45-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE ANNUAL REQUIREMENTS CONTRACT WITH METRO FLEET COLLISION REPAIR FOR AUTOMOTIVE PAINT AND BODY REPAIR PURSUANT TO UNIT PRICES AND PERCENTAGE OF DISCOUNT FROM LIST PRICES.

2. BID #50-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE CONTRACT TO INSITUFORM TECHNOLOGIES, INC., FOR TRENCHLESS WATERLINE REHABILITATION PROJECT AT 100 S. CENTRAL PURSUANT TO UNIT PRICES BID THROUGH THE LOCAL GOVERNMENT PURCHASING COOPERATIVE (BUYBOARD) CONTRACT #354-10.
 3. BID #51-14 – WE RECOMMEND THE AWARD TO AT&T (\$155,000) THROUGH THE STATE OF TEXAS DEPARTMENT OF INFORMATION SERVICES CONTRACT #DIR-SDD-1777 AND TO VERIZON WIRELESS (\$65,000) CONTRACT #DIR-SDD-1779 FOR THE 2013-14 CELLULAR COMMUNICATION SERVICES FOR AN ESTIMATED TOTAL AMOUNT OF \$220,000.
- D. AUTHORIZE THE CITY MANAGER TO EXECUTE CHANGE ORDER NO. 2 TO INCREASE PURCHASE ORDER NO. 130994 TO ED BELL CONSTRUCTION CO. FOR CENTRAL TRAIL IN THE AMOUNT OF \$270,093.49.
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- **ADJOURN**

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE CIVIC CENTER/CITY HALL ON FRIDAY, APRIL 25, 2014, BY 5:00 P.M.

AIMEE NEMER, CITY SECRETARY

ACCOMMODATION REQUESTS FOR PERSONS WITH DISABILITIES SHOULD BE MADE AT LEAST 48 HOURS PRIOR TO THE MEETING BY CONTACTING SUSAN MATISON, ADA COORDINATOR, VIA PHONE AT 972 744-0809, VIA EMAIL AT ADACoordinator@cor.gov, OR BY APPOINTMENT AT 1621 E. LOOKOUT DRIVE, RICHARDSON, TX 75082.



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, April 28, 2014

Agenda Item: Review and Discuss 2014 Summer Camp Preview

Staff Resource: Daniel Allen, Recreation Center Manager
Heidi Scalice, Recreation Coordinator for Summer Camp

Summary: City staff will provide an overview of the 2014 Summer Camp Program. This presentation will highlight the award-winning summer program and set the stage for the annual "Standards of Care" ordinance required by the Texas Human Resource Code. The ordinance requires a public hearing on Standards of Care to be conducted by the City Council and is scheduled during the regular City Council Meeting.

Board/Commission Action: N/A

Action Proposed: N/A



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, April 28, 2014

Agenda Item: Review and Discuss the Spring 2014 Cottonwood Art Festival

Staff Resource: Mick Massey, Director of Parks and Recreation

Summary: City staff will provide an overview of the activities planned for the Spring 2014 Cottonwood Art Festival.

Board/Commission Action: N/A

Action Proposed: N/A



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, April 28, 2014

Agenda Item: Review and Discuss the Wildflower! Richardson's Arts and Music Festival 2014

Staff Resource: Robbie Hazelbaker, Asst. Director of Parks & Recreation

Summary: City staff will provide a presentation regarding the latest information and plans for the Wildflower! Festival scheduled for May 16th-18th, 2014.

Board/Commission Action: N/A

Action Proposed: N/A



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, April 28, 2014

Agenda Item: Review and Discuss the North Central Texas Council of Governments (NCTCOG) Board Nomination

Staff Resource: Dan Johnson, City Manager

Summary: City Council will discuss the city's nomination for the NCTCOG Board.

Board/Commission Action: N/A

Action Proposed: N/A



City of Richardson
City Council Worksession
Agenda Item Summary



City Council Meeting Date: Monday, April 28, 2014

Agenda Item: Review and Discuss the Status of Water Restrictions

Staff Resource: Don Magner, Assistant City Manager

Summary: A status report on the current drought will be provided. The status of water restrictions will also be discussed in light of the latest conditions assessment.

Board/Commission Action: N/A

Action Proposed: N/A

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION AND REGULAR MEETING
APRIL 14, 2014

WORK SESSION – 6:00 P.M.:

• **Call to Order**

Mayor Maczka called the meeting to order at 6:00 p.m. with the following Council members present:

Laura Maczka	Mayor
Bob Townsend	Mayor Pro Tem
Mark Solomon	Councilmember
Scott Dunn	Councilmember
Kendal Hartley	Councilmember
Paul Voelker	Councilmember
Steve Mitchell	Councilmember

The following staff members were also present:

Dan Johnson	City Manager
David Morgan	Deputy City Manager
Cliff Miller	Assistant City Manager Development Services
Don Magner	Assistant City Manager Community Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Taylor Paton	Management Analyst
Michael Spicer	Director of Development Services
Bill Alsup	Director of Health

A. INFORMAL REMARKS BY REPRESENTATIVE VAN TAYLOR

Representative Taylor introduced himself to Council and discussed his unopposed candidacy for senate and expressed his desire to work with the City of Richardson during his term. Council informed Representative Taylor of some issues of concern to the City such as, traffic and transportation, maintaining local control, and unfunded mandates.

B. REVIEW & DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

Michael Spicer, Director of Development Services, reviewed ZF 14-04, 14-06, 14-09, and Variance 14-03. Don Magner, Assistant City Manager, reviewed Sign Control Board Case 14-04 and 14-05.

C. REVIEW AND DISCUSS THE 2014 TRASH BASH

Bill Alsup, Director of Health, reviewed the 2014 Trash Bash.

D. REVIEW AND DISCUSS CREDIT ACCESS BUSINESSES

Don Magner, Assistant City Manager, reported on this item reviewing the 4 options discussed at the March 24, 2014 Council Meeting:

1. City Council pass a resolution in support of additional regulations being adopted by the State of Texas in the 2015 Legislative Session

2. Continue to sustain the Special Permit requirement so that any proposed credit access business in the future is reviewed on a case by case basis
3. Continue to review active litigation related to CABs
4. Develop a process to report violations of the Texas Finance Code to the Texas Finance Commission

Council Discussion

There was a consensus of Council to proceed with options 1-3 and eliminate option 4.

E. REPORT ON ITEMS OF COMMUNITY INTEREST

Councilmember Hartley reported on his son's success at the Special Olympics Track Meet where he won two gold medals and one silver.

Councilmember Dunn reported on the grand opening of the Richardson Methodist Hospital, the car show at Heights, and the pet parade at Huffhines.

The Work Session was recessed at 7:26 p.m. for the Regular Council Meeting. The Work Session was reconvened at 9:29 p.m. following the Regular Meeting.

COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS

1. **INVOCATION – STEVE MITCHELL**
2. **PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – STEVE MITCHELL**
3. **MINUTES OF THE MARCH 24, 2014 MEETING (ADVISORY BOARDS AND COMMISSIONS MEETING), MARCH 24, 2014, AND APRIL 7, 2014 MEETINGS**

Council Action

Councilmember Mitchell moved to approve the Minutes as presented. Councilmember Hartley seconded the motion. A vote was taken and passed, 7-0.

4. VISITORS

There were no visitors comments submitted.

5. **CONSIDER APPOINTMENTS/REAPPOINTMENTS TO THE ANIMAL SERVICES ADVISORY COMMISSION, ENVIRONMENTAL ADVISORY COMMISSION, NORTH TEXAS MUNICIPAL WATER DISTRICT BOARD, TAX INCREMENT FINANCE BOARDS NO. 1-3, AND THE ZONING BOARD OF ADJUSTMENTS/BUILDING AND STANDARDS COMMISSION.**

Council Action

Councilmember Dunn moved to reappoint Elise Bissell, Dana Huffman, and Paula Carlson to the Animal Services Advisory Commission for a term ending March 31, 2016. Seconded by Mayor Pro Tem Townsend and approved unanimously.

Councilmember Solomon moved to reappoint John Murphy to the North Texas Municipal Water District for a term ending May 31, 2016. Seconded by Councilmember Solomon and approved unanimously.

Councilmember Hartley moved to reappoint James Menke, Brian Shuey, and Charles Pratt III to the Zoning Board of Adjustments/Building Standards Commission for a term ending April 1, 2016; and Jason Lemons as Alternate for a term ending April 1, 2016. Seconded by Councilmember Solomon and approved unanimously.

Councilmember Solomon moved to appoint Joe Elliott to the Environmental Advisory Commission for an unexpired term to end September 22, 2015. Seconded by Councilmember Voelker and approved unanimously.

Mayor Pro Tem Townsend moved to appoint Stan Bradshaw and Janice Peters to the TIF Board Zone 1 for an unexpired term to end April 9, 2015 and to TIF Board Zone 2 and Zone 3 for an unexpired term to end November 28, 2015. Seconded by Councilmember Hartley and approved unanimously.

PUBLIC HEARING ITEMS:

- 6. PUBLIC HEARING, ZONING FILE 14-04: A REQUEST BY DAVE LARSEN, REPRESENTING LARSEN & ASSOCIATES ARCHITECTS, TO REVOKE ORDINANCE 3156-A, A SPECIAL PERMIT FOR A RESTAURANT WITH DRIVE-THROUGH SERVICE AND APPROVAL OF A NEW SPECIAL PERMIT FOR A RESTAURANT WITH DRIVE-THROUGH SERVICE AT 105 S. COIT ROAD (SOUTHEAST CORNER OF COIT ROAD AND BELT LINE ROAD). THE PROPERTY IS CURRENTLY ZONED C-M COMMERCIAL.**

Public Hearing

Mayor Maczka opened the Public Hearing at 7:47. The applicant, David Larsen, addressed Council and answered questions regarding the elevations being inconsistent with the existing shopping center and current restaurant design, removal of the outside playground, the interior activity area, and if shade structures would be provided for the outdoor dining area. Mr. Larsen explained that the proposed building elevations were consistent with the restaurant's corporate design. He stated that the playground would be removed and replaced with a smaller interactive activity area indoors. Mr. Larsen also stated that table umbrellas would be provided, but not a permanent shade structure for the outdoor dining.

With no other comments, Councilmember Solomon moved to close the Public Hearing at 7:51, seconded by Councilmember Dunn, and approved unanimously.

Council Action

Councilmember Mitchell moved to approve the request as presented. Councilmember Hartley seconded the motion. A vote was taken and passed, 7-0.

- 7. PUBLIC HEARING, ZONING FILE 14-06: A REQUEST BY JON VAN DE VOORDE, REPRESENTING WPC ACQUISITIONS, INC., FOR A CHANGE IN ZONING FROM I-M(1) INDUSTRIAL AND TO-M TECHNICAL OFFICE TO PD PLANNED DEVELOPMENT FOR THE DEVELOPMENT OF A 140-HOME PATIO HOME COMMUNITY ON APPROXIMATELY 26.3 ACRES. THE PROPERTY IS LOCATED AT THE SOUTHWEST CORNER OF PLANO ROAD AND APOLLO ROAD AND IS CURRENTLY ZONED I-M(1) INDUSTRIAL AND TO-M TECHNICAL OFFICE.**

Public Hearing

Mayor Maczka opened the Public Hearing at 8:03 p.m. The applicant, Chaz Fitzgerald, addressed Council and answered questions regarding the mix of one and two story properties, front-entry garages, fencing requirements, street parking, and plans to connect on the northern easement.

Marty Neilon, Brenda Rankin, and Carmen Herndon spoke in favor of the request. Les Herndon was also in support but did not wish to speak.

Paco Ota spoke in opposition of the request.

Roman Bazozowski addressed Council with questions about the trees on the south of the property and if the development will include one and two stories.

With no further comments, Councilmember Mitchell moved to close the Public Hearing, seconded by Councilmember Solomon and approved unanimously.

Council Action

Mayor Pro Tem Townsend moved to deny the request. Councilmember Solomon seconded the motion. A vote was taken and passed, 6-1 with Councilmember Voelker voting in opposition.

8. PUBLIC HEARING, ZONING FILE 14-09: A REQUEST BY NEIL SANDER, DYNAMIC ENGINEERING, FOR A SPECIAL PERMIT FOR A MOTOR VEHICLE STORAGE LOT TO BE LOCATED AT 1320 INTERNATIONAL PARKWAY. THE PROPERTY IS CURRENTLY ZONED I-FP(2) INDUSTRIAL.

Public Hearing

Mayor Maczka opened the Public Hearing at 9:08 p.m. Graham Moore, representing the applicant, addressed Council and answered questions regarding hail nets, fencing, and advertising. Mr. Moore explained that the hail nets would be on the interior parking only, fencing would be used in conjunction with shrubbery, and there would be no advertising on the site. With no further comments, the Public Hearing was closed at 9:11 p.m. with a motion by Mayor Pro Tem Townsend, seconded by Councilmember Hartley, and approved unanimously.

Council Action

Councilmember Solomon moved to approve the request as presented with the conditions from the City Plan Commission as listed below and that parking only be permitted in designated parking spaces. Councilmember Dunn seconded the motion. A vote was taken and passed, 7-0.

- 1. A motor vehicle storage lot shall be allowed and limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof.*
- 2. Vehicles shall be limited to new motor vehicles which are operable and have no visible damage.*
- 3. Recreational vehicles, motorcycles, boats, recreational trailers, and campers shall not be allowed to be stored on the subject property.*

4. *A minimum 6-foot steel fence with automatic gates shall be constructed around the perimeter in general conformance with Exhibit "B" and shall be allowed to be located within the front setback.*
5. *No additional light standards shall be allowed, except as shown on Exhibit "B".*
6. *Changes to the site plan and landscape plan for use of the subject property as a motor vehicle storage lot shall be administratively approved.*
7. *Hail nets as depicted in the detail on Exhibit "B" shall be allowed and limited to the interior parking space areas as shown on Exhibit "B". The hail nets shall be cable tension structures with a high-density polyethylene fabric cover or an equivalent as approved by the Building Official.*

ACTION ITEMS:

9. **VARIANCE 14-03: A REQUEST BY JOHNNY LEE, REPRESENTING TERRACE SHOPPING CENTER LTD., FOR APPROVAL OF A VARIANCE FROM CHAPTER 21, THE SUBDIVISION AND DEVELOPMENT CODE, TO ALLOW A REDUCTION IN REQUIRED PARKING. THE SUBJECT PROPERTY IS LOCATED AT 400 N. GREENVILLE AVENUE AND IS ZONED C-M COMMERCIAL.**

Council Action

Councilmember Mitchell moved to approve the request as presented. Councilmember Voelker seconded the motion. A vote was taken and passed, 7-0.

10. CONSENT AGENDA:

- A. **ADOPTION OF ORDINANCE NO. 4043, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 23, ARTICLE V-I WATER CONSERVATION AND EMERGENCY WATER MANAGEMENT PLAN; BY ADOPTING THE MAY 2014 WATER CONSERVATION PLAN AND THE MAY 2014 WATER RESOURCE MANAGEMENT PLAN; AND PROVIDING FOR THE DELAYED EFFECTIVE DATE FOR THE MAY 2014 WATER CONSERVATION AND WATER RESOURCE MANAGEMENT PLANS.**

B. CONSIDER THE FOLLOWING RESOLUTIONS:

1. **RESOLUTION NO. 14-07, AUTHORIZING EXECUTION OF A FOURTH AMENDED AND RESTATED POLICE TRAINING CENTER OPERATING AGREEMENT BY AND BETWEEN THE CITY OF PLANO, TEXAS, AND THE CITY OF RICHARDSON, TEXAS, FOR THE JOINT OPERATION AND MAINTENANCE OF THE PLANO/RICHARDSON POLICE TRAINING CENTER, AND AUTHORIZING ITS EXECUTION BY THE CITY MANAGER.**
2. **RESOLUTION NO. 14-08, APPROVING THE TERMS AND CONDITIONS OF AMENDMENT #1 TO THE LOCAL**

TRANSPORTATION PROJECT ADVANCE FUNDING AGREEMENT FOR AN INCREASE OF THE AUTHORIZED PROJECT FUNDING FOR THE GALATYN PARKWAY PROJECT, BY AND BETWEEN THE CITY OF RICHARDSON, TEXAS, AND THE STATE OF TEXAS, ACTING BY AND THROUGH THE TEXAS DEPARTMENT OF TRANSPORTATION; AND AUTHORIZING ITS EXECUTION BY THE CITY MANAGER.

C. CONSIDER AWARD OF THE FOLLOWING BIDS:

- 1. BID #21-14 – WE RECOMMEND THE AWARD TO LDM DESIGN AND CONSTRUCTION FOR THE 2014 BRIDGE RAIL MAINTENANCE PURSUANT TO THE ATTACHED UNIT PRICES.**
- 2. BID #39-14 – WE RECOMMEND THE AWARD TO JOHNSON EQUIPMENT COMPANY FOR THE OVERHEAD DOOR REPLACEMENT AT FIRE STATIONS 5 & 6 IN THE AMOUNT OF \$85,054.**
- 3. BID #46-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE PURCHASE ORDER TO RESTROOM FACILITIES LTD. FOR A PRE-FABRICATED RESTROOM FACILITY FOR THE DOG PARK THROUGH THE TEXAS LOCAL GOVERNMENT STATEWIDE PURCHASING COOPERATIVE BUYBOARD CONTRACT #423-13 IN THE AMOUNT OF \$125,423.**
- 4. BID #47-14 – WE REQUEST AUTHORIZATION TO ISSUE COOPERATIVE ANNUAL REQUIREMENTS CONTRACTS FOR REGULAR UNLEADED AND TXLED DIESEL FUEL WITH MARTIN EAGLE OIL COMPANY (PRIMARY); TAC ENERGY (SECONDARY) AND FOR B20 BIODIESEL FUEL WITH DOUGLASS DISTRIBUTING COMPANY (PRIMARY) AND MARTIN EAGLE OIL COMPANY (SECONDARY) PURSUANT TO PLUS OR MINUS DISCOUNTS FROM THE OIL PRICE INFORMATION SERVICE INDEX THROUGH TARRANT COUNTY BID #2014-063.**

Council Action

Mayor Pro Tem Townsend moved to approve the Consent Agenda as presented. Councilmember Hartley seconded the motion. A vote was taken and passed, 7-0.

- 11. RECEIVE THE APRIL 9, 2014 SIGN CONTROL BOARD MINUTES AND CONSIDER FINAL APPROVAL OF SCB CASE 14-04, SAINT PAUL CHURCH, AND SCB CASE 14-05, TEN 50 BBQ.**

Council Action

Councilmember Mitchell moved to approve the Sign Control Board Minutes as presented. Councilmember Hartley seconded the motion. A vote was taken and passed, 7-0.

EXECUTIVE SESSION

In compliance with Section 551.074 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Personnel
 - Municipal Court Judge

Council Action

Council convened into Executive Session at 9:43 p.m.

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

Council Action

Council reconvened into Regular Session at 9:58 p.m. There was no action as a result of the Executive Session.

ADJOURNMENT

With no further business, the meeting was adjourned at 9:58 p.m.

MAYOR

ATTEST:

CITY SECRETARY

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION MEETING
APRIL 21, 2014

WORK SESSION – 6:00 P.M.:

- **Call to Order**

Mayor Maczka called the meeting to order at 6:00 p.m. with the following Council members present:

Laura Maczka	Mayor
Bob Townsend	Mayor Pro Tem
Mark Solomon	Councilmember
Scott Dunn	Councilmember
Kendal Hartley	Councilmember
Paul Voelker	Councilmember
Steve Mitchell	Councilmember

The following staff members were also present:

Dan Johnson	City Manager
David Morgan	Deputy City Manager
Cliff Miller	Assistant City Manager Development Services
Don Magner	Assistant City Manager Community Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Taylor Patton	Management Analyst
Michael Spicer	Director of Development Services
Dave Carter	Assistant Director of Development Services
Steve Spanos	Director of Engineering
Mick Massey	Director of Parks and Recreation

Special Guests:

Dr. Theresa Daniel, Dallas County Commissioner, District 1

A. VISITORS

Lorrie Denton, Crystalyn Roberts, and L.R. Denton each addressed Council and expressed their support of keeping the speed cushions on Dumont Drive. Margie Rainey and Paula Parrott submitted comment cards expressing their support as well.

Dr. Daniel, Dallas County Commissioner, District 1, spoke about the Spring Valley Road Rehab Project and the Central Trail Project, both projects being coordinated with Dallas County.

B. REVIEW AND DISCUSS THE WEST SPRING VALLEY ROAD REHAB PROJECT

Don Magner, Assistant City Manager, reviewed this item for Council.

W. Spring Valley Rehabilitation Project Background

- Dallas County / Cities of Richardson & Dallas / COG project
- Dallas County funded in 2005 Major Capital Improvement Program
- COR funded in 2006 & 2010 Bond Program

- Dallas County lead agency for design and construction
- Design for project is 70% complete
- Coit Rd. to just east of Weatherred Rd.

Original Scope – Prior to February 2011

•Pavement Repair

–Street, Curbs, Approaches, Sidewalks

•Weatherred Intersection Improvements

– Signal Upgrade and Left & Right Turn Lanes

•Cottonwood Creek Culvert Design and Construction

Expanded Scope - Currently

• Original Scope, plus:

- Z pedestrian crossings (5)
- Median closures (3)
- Street Light Upgrade (44)
- Traffic Signal Improvements (3) at Waterfall Way, Maham, Waterview Drive
- Hunt Branch Culvert Design and Construction Work
- Asphalt Overlay

Total Estimated Cost of Project

	Estimated Cost April 2012	Estimated Cost April 2014
Original Scope	\$5,453,000	\$5,453,000
Expanded Scope 1 (4/2012)	\$2,105,000	\$2,105,000
Expanded Scope 2 (4/2014)	N/A	\$1,425,000
Total	\$7,558,000	\$8,983,000

Funding

Funding Source	April 2012	April 2014
Dallas County	\$2,727,000	\$3,302,000
City of Richardson (G.O. Bond)	\$1,895,000	\$1,895,000
City of Dallas	\$236,000	\$236,000
North Central Texas Council of Governments	\$2,700,000	\$3,555,000
Total	\$7,558,000	\$8,983,000

Dallas County Project Schedule

Stage	Month/Season	Year
Final Design Commenced	July	2013
Task Force Meetings Commenced	July	2013
ROW Acquisition & Utility Relocation Underway	March	2014
Final Design Plans Complete	May	2014
ROW Acquisition & Utility Relocation Complete	Fall	2014
Construction Bidding Commence	Fall	2014
Construction Commence	Fall	2014
Construction Complete	Fall	2016

C. REVIEW AND DISCUSS UPDATE ON THE CENTRAL TRAIL PROJECT

Mick Massey, Director of Parks and Recreation provided an update on this project.

Central Trail Funding to Richardson South City Limits:

Dallas County	\$2.5M
City of Richardson – 2010 Bond Program	\$1.4M
Regional Toll-way Revenue (RTR) – Dallas County	\$.6M
Total Funding	\$4.5M
Engineering, Landscape Architecture, Testing	\$.6M
Construction Budget	\$3.9M
Total Project Cost	\$4.5M

- The Central Trail is 90% Complete
- Expected completion date, Monday, June 2, 2014
 - Ribbon Cutting at 4:00PM
 - Location: TBD

Central Trail Funding to Richardson North City Limits:

Collin County	\$.14M
RTR Grant Funding	\$ 1.3M
TIF #2 Support	\$.38M
Total Funding	\$ 1.82M
Design & Construction Budget (through KDC)	\$1.8M
Total Project Cost	\$1.8M

Central Trail Next Steps:

- The Central Trail is an important step in regionalism, community connection, alternate forms of transportation, and increasing recreational opportunities
- Project is on budget and through good project management and has expanded to include more connections to the surrounding businesses and neighborhoods
- The City of Richardson is grateful to Dallas County Commissioners Court, DART, and RISD for supporting the Central trail as valued partners
- Continue to seek regional connection through unincorporated Dallas County thus extending the Central Trail South to the White Rock Trail
- Seek grants, private donations, sponsorships for future Central Trail enhancements

D. REVIEW AND DISCUSS THE STATUS OF THE DUMONT DRIVE TRAFFIC CALMING STUDY

Dave Carter, Assistant Director of Development Services, reviewed this item for Council. Mr. Carter reviewed the results of the Traffic Calming Study on Dumont Drive and the current City policy for implementing speed control measures. He also reviewed the following staff recommendations:

Policy Insights

- Lessons Learned from first Trial Implementation
 - Good test of process, criteria and implementation
 - Identified need for refinements in criteria for neighborhood concurrence
- Staff recommends the policy criteria be modified to include a blended approach for Neighborhood Concurrence:

- 75% of Primary Street
- 60% of Entire Primary Affected Area

Dumont Application

- Cushions were very effective in Speed and Volume reduction on Dumont with minimal impact to adjacent streets
- Staff recommends that the Dumont cushions remain in place

E. REVIEW AND DISCUSS THE CITY COUNCIL GOALS FOR THE 2013 – 2015 COUNCIL TERM

David Morgan, Deputy City Manager, provided an update on this item.

Attract and retain targeted businesses/increase the number, quality, and variety of job opportunities throughout the City

Progress/update

- Strategic plan and criteria for targeted businesses developed as part of the economic development plan presented to the City Council in February 2014. Ongoing implementation and refinement will continue
- Incentives strategies will be part of an economic development toolbox presentation made to the City Council in May/June
- Additional funding for economic development initiatives will be considered in the FY 14-15 budget development

Clearly articulate, enhance, and effectively communicate our brand

Progress/update

- Branding review will be considered for funding in the FY 2014-15 budget development
- Branding review anticipated to begin in fall 2014 to develop articulated work plan

Improve communications

Progress/updates

- Ongoing efforts to keep website content fresh
- Ongoing efforts to update/improve the Richardson app
- Several tactics will occur following the completion of the branding study

Optimize the use of fees

Progress/update

- Integrated a comprehensive fee analysis process into the budget process
- All other tactics have an ongoing implementation effort

Strengthen property values

Progress/update

- Code evaluation of new construction standards underway with a presentation on multi-family considerations planned to be in summer 2014
- Ongoing review and revision of property maintenance codes
- Redevelopment incentives work in conjunction with the economic development plan
- Support of our HOA's is ongoing with continual efforts for enhancement
- Present summary of first year infrastructure management plans as well as proposal for second year to City Council in summer 2014

Increase the sense of community

Progress/update

- Most of these tactics are on-going. Specific work activity on several tactics include:
 - Enhancing the City website to develop an improved landing page for volunteer opportunities
 - Enhancing communication tools for welcoming new residents that including ongoing partnerships with HOA's

Increase our "Wow Factor"

Progress/update

- Ongoing effort for "wow" development part of the economic development plan
- Ongoing work to communicate our "wow" stories in a "wow" way
- Developing an inventory of our "wows"
- The Public Art Master Plan is scheduled to be complete in fall 2014

Appropriate use of technology

Progress/updates

- Traffic signalization (also part of the accessibility strategy) is an ongoing initiative to seek improvements with a planned update presentation to the City Council in the summer of 2014. Additionally, traffic signalization will be part of a future bond program consideration
- In the process of developing a standard cost/benefit analysis for new technology purchases
- Conducting an assessment of the ability of our current technology to support the council's initiatives and City operations

Improve customer experience in interactions with the City

Progress/updates

- Staff will conduct a study to determine short and long-term improvements that can be made to improve customer interactions and building efficiencies at city hall. These enhancements will be considerations in budget development and projects for a future bond program
- Customer service enhancement is also a part of other facility planning, such as services at a future recreation center in the Breckinridge area
- Developing ways to discover, recognize, reward, and communicate exceptional customer service. Implementation of this tactic is anticipated in 2015

Improve accessibility to the city

Progress/updates

- Continue ongoing support of the Cottonbelt Rail Project
- Continue tracking and promoting Richardson's position on TXDot's US-75 study
- Traffic signalization (also part of the accessibility strategy) is an ongoing initiative to seek improvements with a planned update presentation to the City Council in the summer of 2014. Additionally, traffic signalization will be part of a future bond program consideration.
- Ongoing efforts underway to make City programs and services more ADA accessible

Enhance governance

Progress/updates

- Charter review process is planned to begin in summer 2014

- Continuing efforts to strengthen training and support to boards and commissions

Improve documentation, processes, structure, and services

Progress/updates

- Comprehensive legal review of the Code of Ordinances underway with completion anticipated in 2014
- Continually examine ways to simplify and improve procedures, forms, policies, and practices. Previous examples include apartment inspection and rental registration program

Implement cost reduction strategies

Progress/updates

- Process has been developed and incorporated into the current budget process
- Ongoing commitment to identify opportunities to improve efficiencies

Increase private participation and contributions

Progress/updates

- Creating a strategic plan for this strategy to identify staffing, processes, and needed resources.
 - Funding for a study will be proposed in the budget, and implementation expected to begin fall 2014 and completed in the summer of 2015
- Prior to the completion of the strategic plan, City staff will identify key partnership opportunities available in current and future programs and facilities.
 - A current example is donation opportunities for the future dog park

Attract, develop, and retain quality City employees

Progress/updates

- Ongoing efforts are being made to review compensation levels and structures. Additional considerations will be made in the development of the 2014/15 budget
- Training needs are regularly identified and implemented on an ongoing basis

Enhance the quality of life of our stakeholders

Progress/updates

- Recycling update to be presented to council June/July 2014
- Bond program planning underway with a City Council briefing anticipated in summer 2014
- Recommendations for a food truck ordinance to be presented to Council June/July 2014

Summary of Upcoming City Council Briefings

Spring/summer 2014

- Economic development toolbox – May/June
- Future bond program planning – June/July
- Charter review – June/July
- Infrastructure management plan – June/July
- Evaluation of new construction standards – June/July
- Recycling program update – June/July
- Food truck ordinance considerations – June/July
- Traffic signal progression update – July/August
- Public Art Master Plan – August/September

Fall 2014

- Legal review of City ordinances – completed
- Private participation strategic planning – initiated
- Branding review– initiated

F. REPORT ON ITEMS OF COMMUNITY INTEREST

Councilmember Mitchell reported on the public art bus tour and stated that the tour group got a lot of good ideas.

Councilmember Solomon commended the Police Chief and staff for achieving a second recognition for Police Departments with Best Practices.

Mayor Maczka reported on the upcoming Trash Bash Saturday, April 26 with activities beginning at 9 am.

Councilmember Solomon reported on the upcoming Owens Trail Dedication Saturday, April 26 at 10:30 a.m. at 1600 E. Collins. He stated that Oncor donated \$250,000.00 for the trail.

EXECUTIVE SESSION

In compliance with Section 551.072 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Deliberation Regarding Real Property
 - Property Considerations in the Grove Rd./Arapaho Rd. Area

Council Action

Council convened into Executive Session at 9:15 p.m.

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

Council Action

Council reconvened into Regular Session at 9:26 p.m. There was no action taken as a result of the Executive Session.

ADJOURNMENT

With no further business, the meeting was adjourned at 9:26 p.m.

MAYOR

ATTEST:

CITY SECRETARY



MEMO

DATE: April 24, 2014
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 14-05 – Beck Creek Estates

REQUEST

Jim Douglas, representing Douglas Properties, Inc., is requesting to change the zoning for approximately 13.6 acres from I-M(1) Industrial and I-M(2) Industrial to PD Planned Development to accommodate development of a single-family residential subdivision on the west side of Telecom Parkway at the north city limits.

BACKGROUND

The subject property has been zoned for industrial use for more than 35 years. The Comprehensive Plan has designated the subject property as single-family residential for more than 20 years.

The applicant's proposal as presented to the City Plan Commission was to create a 17-lot single-family subdivision under the R-1500-M Residential District regulations with modifications. The proposed zoning would increase the minimum required lot size, dwelling unit size, rear setback, and lot depth. Front and side setbacks and lot width would be reduced. The applicant also requests to increase the maximum allowable length for a cul-de-sac and block length and to allow homes to back upon Beck Branch. The applicant has also proposed additional development standards to enhance the quality of the development including screening, buffering/landscaping, garage door design, and interior fencing requirements. Lastly, although Telecom Parkway would be extended northward to provide access to the site, it would not connect to the City of Plano.

At its March 18, 2014 meeting, the City Plan Commission discussed issues related to providing access through the development into the City of Plano, preservation of existing open space, minimum lot width, and fencing along Woods Park. Several residents spoke in opposition, stating concerns related to disturbance of the surrounding natural area along Beck Branch, including erosion issues; increased traffic on Telecom Parkway; and the quality of the proposed development. Commercial owners in the area had also expressed concern over the introduction of residential development adjacent to land intended for non-residential use in the City of Plano.

The Commission discussed the issues presented by the residents, concerns regarding minimum lot widths, and how fencing would be treated along the rear of homes adjacent to Woods Park.

PLAN COMMISSION RECOMMENDATION

By a vote of 5-2 (Commissioners Linn & Springs opposed), the City Plan Commission recommended approval of the request with the condition that the minimum lot width be increased from sixty (60) feet to seventy-two (72) feet and that fences adjacent to Woods Park shall be standard vertical tubular steel.

The applicant has provided an updated concept plan attached as Exhibit “B” that reflects the increased lot widths. The revised plan also reflects a reduction in the number of lots from seventeen (17) to sixteen (16) due to the increased lot width requirement.

The revised concept plan also reflects the removal of a mid-block street connection into the City of Plano. The applicant had filed a concurrent zoning request in Plano for a single-family residential development adjacent to the Richardson site, but was denied. The connection has been removed since it was contingent upon approval of the zoning in Plano and development of a single-family subdivision or public school.

Because written opposition by owners of more than 20 percent of the land area within 200 feet of the subject property has been received, a super-majority vote of the by City Council (6 affirmative votes) is required to approve the request.

ATTACHMENTS

CC Public Hearing Notice

City Plan Commission Minutes 03-18-2014

Staff Report

Zoning Map

Aerial Map

Oblique Aerial Looking South

Previous Zoning Exhibit & Updated Zoning (Exhibit “B”)

Proposed PD Conditions (Exhibit “C”)

Applicant’s Statement

Notice of Public Hearing

Notification List

Correspondence in Opposition



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: 4/8/2014
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: April 11, 2014

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:30 p.m. on Monday, April 28, 2014, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 14-05

A request by Jim Douglas, representing Douglas Properties, Inc., for a change in zoning from I-M(1) Industrial and I-M(2) Industrial to PD Planned Development for the development of a single-family community to be located on approximately 13.6 acres of land located on the west side of Telecom Parkway at the northern city limits. The property is currently zoned I-M(1) Industrial and I-M(2) Industrial.

ZF 14-11

A request by Scott Ozymy, representing KDC Real Estate Development and Investments, to convert the conventional zoning standards under a PD Planned Development District to form-based standards under a PD Planned Development District to accommodate a mixed-use development on approximately 63 acres. The property is located on the south side of President George Bush Turnpike, east of Plano Road and is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – MARCH 18, 2014**

5. **ZF 14-05 – Beck Creek Estates:** Consider and take necessary action on a request for a change in zoning from I-M(1) Industrial and I-M(2) Industrial to PD Planned Development for the development of a single-family community to be located on approximately 13.6 acres of land located on the west side of Telecom Parkway at the northern city limits.

Mr. Shacklett advised the applicant was requesting to rezone approximately 13.6 acres from Industrial to PD Planned Development for the development of a 17 lot single-family community. He added that as noted in the study session, staff had received comments in opposition from over 20 percent of the residents and property owners within the 200-foot notification zone and, if the item moved forward to City Council, the item would require a “super majority” or 6 out of 7 Council votes to approve the request.

Mr. Shacklett gave a brief history of the zoning on the property noting that in 1993 when the City’s Future Land Use Plan (the Plan) was updated, the property in question was changed on the Plan from Industrial to Residential; however, the current zoning remained Industrial. In addition, in 2000 as part of the City’s Comprehensive Plan update (Comp Plan), the connection of Telecom Parkway north into the City of Plano was removed from the Master Transportation Plan (MTP); however, if the property were to be developed now, the road would be extended (the existing 100-foot right-of-way is already in place to the City limit), but the commitment to not connect Telecom Parkway directly north into the City of Plano would be kept in place.

Mr. Shacklett presented a copy of the proposed site plan highlighting the areas in both the cities of Richardson and Plano the applicant was requesting to rezone for single-family lots. He noted that the most recent recommendation from the City of Plano City Plan Commission was to recommend denial of the request, but the applicant has appealed the decision to the Plano City Council.

Mr. Shacklett reviewed the development standards for the proposed development standards as compared to the City’s R-1500-M development regulations and the existing homes in the area (Hollowridge Court and Hillrose Drive):

	R-1500-M Residential District Development Regulations	ZF 14-05 Proposed Development Regulations	Homes located on Hollowridge Court and Hillrose Drive
Dwelling Unit Size	Minimum: 1,500 square feet	Minimum: 2,700 square feet	Minimum: 1,800 square feet per zoning; average developed home size is approx. 3,400 s.f.
Building Height	Minimum 40 feet / 2 stories	Maximum 40 feet / 2 stories	Maximum 40 feet / 2 stories

Area Regulations	Lot Area: Minimum 9,000 s.f. Lot Width: Minimum 72 feet Lot Depth: Minimum 125 feet Front Setback: 30 feet Side Setback: 7 feet/10 feet for lots greater than 80 feet in width Rear Setback: 25 feet / 3 feet for accessory buildings Max. Lot Coverage: 40%	Lot Area: Minimum 11,000 s.f. <i>Lot Width: Minimum 60 feet, but eastern lots match lot width adjacent to Hollowridge lots</i> Lot Depth: Minimum 175 feet <i>Front Setback: 25 feet</i> <i>Side Setback: 5 feet</i> Rear Setback: 50 feet / 30 feet for accessory structures Max. Lot Coverage: 40%	Lot Area: Average 10,000 s.f. per zoning; average developed lot size is approximately 10,900 square feet Lot Width: Minimum 72 feet Lot Depth: Minimum 125 feet Front Setback: 30 feet Side Setback: 7 feet/10 feet for lots greater than 80 feet in width Rear Setback: 25 feet / 3 feet for accessory buildings Max Lot Coverage: 40%
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Mr. Shacklett also reviewed some of the requirements and parking for the proposed cul-de-sac and how those requirements would impact emergency service vehicles. In addition, homes developed on the lots would be required to have fire suppression sprinkler systems to help mitigate any impacts from the length of the street and cul-de-sac.

Commissioner DePuy asked why the rear setbacks were twice the size of a normal residential setback. She also wanted to know how the minimum size of the proposed homes compared to the homes directly south of the proposed development.

Mr. Shacklett replied the larger setback was requested by the applicant to lessen the impact of the rear of the homes on the properties to the south.

Regarding the minimum size of the homes, Mr. Shacklett pointed out that the zoning for the homes to the south required a minimum size of 1,800 square foot and an average 10,000 square foot lot, but the homes that were actually built have an average of 3,400 square feet on an average lot size of 10,900 square feet.

Commissioner Linn asked what types of structures, under the current Industrial zoning, would the current landowner have the right to build. He also wanted to know if the PD was going to include a list of building materials.

Mr. Shacklett replied that in an Industrial District the owner has the right to build office buildings, warehouses, manufacturing and distribution facilities.

Regarding the building materials, Mr. Shacklett replied that when a Special Permit or PD for non-residential comes before the Commission, development regulations are usually attached to the PD; however, with residential developments, that is left silent so the developer would

be required to conform with Article XII F – Standard Residential Construction Regulations, under the City’s Comprehensive Zoning Ordinance.

Commissioner Roland asked if parking lots could be constructed in the City that would serve whatever was developed in the City of Plano under the current Industrial zoning.

Mr. Shacklett said that was a possibility, but would require Oncor Electric approval.

Vice Chair Bright wanted to know how the 20 percent in opposition was calculated.

Mr. Shacklett replied the 20 percent is based on land area within the 200-foot notification area and not 20 percent of the owners within the 200-foot notification area.

Commissioner Frederick asked if under the current Industrial zoning could a facility be built with loading docks and, if so, would that open Telecom Parkway to trucks to the loading docks.

Mr. Shacklett replied that was correct and there would be setback and screening wall requirements that would have to be met. He added the City would be obligated to extend the roadway north to accommodate any vehicle traffic that was going to the industrial development.

Commissioner Springs asked if a self-storage facility would be allowed within an Industrial District, and wanted to know if some of the property in question was being maintained by the City.

Mr. Shacklett replied self-storage facilities are allowed in an Industrial District with a Special Permit, and the only areas the City maintains are the medians along Telecom Parkway and Woods Park.

With no other questions for staff, Chairman Hand opened the public hearing.

Mr. Jim Douglas, Douglas Properties, 2309 Avenue K, Plano, Texas, stated when preparing the development plans, they had paid particular attention to the existing homes where the development backs up to and designed the new lots accordingly. He added that the proposed deed restrictions on the new homeowners would require homeowners to preserve the existing trees, and to install and maintain a certain level of landscaping keeping in mind water restrictions.

Mr. Douglas acknowledged that they own the properties in both the cities of Plano and Richardson, but they were proposing the Richardson property would stand on its own. In addition, if they were successful with the zoning request in the City of Plano, they will be donating land to Plano Independent School District for a new school and the roadway shown on the site plan going north was proposed primarily for the proposed school. However, as previously stated, if requested, the roadway going north could be removed from the plan.

Mr. Douglas concluded his presentation by stating that if the City of Plano disapproved the rezoning request, he would still like to go forward with the request in the City of Richardson.

Commissioner Roland asked why the nine lots in the middle of the block would be 60 feet wide as opposed to a typical 72 feet wide. He also wanted to know if the lots that back up to the City Park could have fencing material other than board-on-board.

Mr. Douglas replied that since the lots were so deep it would make up for the width, but if that was a sticking point for the Commission, adjustments could be made and one lot could be eliminated.

Regarding the fencing, Mr. Douglas said that where the lots back up to an open space, the deed restrictions would allow only a tubular fence.

Commissioner Roland asked if the applicant had any outreach with the homeowners in the area.

Mr. Douglas replied they had a meeting with a group of homeowners the previous weekend who were to report back to the larger group of homeowners. He added that during the discussions the homeowners stated they did not want Telecom Parkway to go any further north, but that would cause a problem for police and fire emergency vehicles and this fact was shared with the homeowners.

Vice Chair Bright asked if the applicant would be willing to put 16 standard sized lots on the property as opposed to the current request of 17 lots.

Mr. Douglas said that if the Commission felt that was an important item, he was open to working with their recommendations.

Commission DePuy asked if the small power plant for the Flextronic manufacturer in Plano would cause a problem in selling the home sites.

Mr. Douglas replied that he did not think there would be an issue, and compared to the sites being developed in the City of Plano, this tract of land had residential to both the south and the east, along with an existing middle school in the area to give it the residential feel that most home buyers would want. In addition, they are willing to build a masonry wall between residential and non-residential areas.

Commissioner Linn asked about the applicant's previous homebuilding experience. He also wanted to know the applicant's response to one of the letters of opposition that stated building new homes would be "speculative".

Mr. Douglas stated his company was active in the cities of Anna, Oak Point, Denton, Plano, Mesquite, Garland and Wylie.

Regarding the letter of opposition, Mr. Douglas said the tract in question was adjacent to current single family homes, and there was an open space between the propose new homes

and the author's business, so he was not sure why the author was opposed and he disagreed with the author's assessment.

Mr. Shacklett suggested that if the Commission was concerned about the type of fencing adjacent to the City Park, the Commission could codify that in the motion.

Chairman Hand asked if the creek along the applicant's property flowed east or west; was the request more of a PD as opposed to a rezoning; and, if the item was approved would all other zoning be removed.

Mr. Douglas said the creek flows from west to east.

Mr. Shacklett replied the request was actually a rezoning of the property from Industrial to Residential and if the item was approved, the first sentence in the ordinance would read "*...shall be zoned PD Planned Development for the R-1500 Residential District subject to the following modified standards:*", which would also mean that no other zoning would be applicable for the property.

Commissioner Frederick said she felt a wider lot would be more appealing, and asked if the applicant had given any thought to putting a small neighborhood park in the planned open space area that is to be maintained by the homeowners association.

Mr. Douglas replied that as the development plans progress, more details such as park benches, a gazebo and possibly more landscaping to enhance what is already present. He added that all trimming of the landscape will be done by hand and any trails that are created will meander around the existing landscape.

Chairman Hand asked if the applicant was looking to sell lots or build homes.

Mr. Douglas replied that he only sold lots, some to individuals, others to home building companies. He added that the deed restrictions contain a provision for an architectural review committee so all construction plans will be reviewed to insure the construction will be compatible to the neighborhood.

No other comments were received in favor and Chairman Hand called for comments in opposition.

Mr. R. J. Taylor, Conservation Director, Conomark Conservancy, a non-profit regional land trust in north Texas, 1314 W. McDermitt, Allen, Texas, encouraged the Commission to leave the property "as is" based on the existing native prairie that has a high ecological value not only to animals, but to water quality. He added that the proximity of the subdivision to Beck Creek should cause concern; especially the western 12 lots up against the flood plain and the impact on those homes would have water quality protection as opposed to having natural grassland that would protect the creek.

Mr. Taylor suggested the City should become the owner of the property and dedicate the area as a natural park land, which would eliminate community services costs and protect the natural habitat of the area. He suggested the land could either be donated by the current owner to the City, or the City could make use of Open Space bond money from Collin County that would match 50 percent of the money raised by the City.

Commissioner Frederick asked if the speaker had approached either the owner of the property or the City regarding donating or selling the land.

Mr. Taylor replied said he had not spoken with the City, but he had spoken with the attorney of the property owner earlier in the day; however, he understood that the matter before the Commission was a zoning case and his purpose in speaking was to offer other suggested uses for the property.

Ms. Linda Zimmerman, 1039 E. 15th Street, Plano, Texas, attorney, speaking on behalf of property owners, Tom and Lynne Kartsotis, 3620 Wood Pile Trail, Richardson, Texas, stated the Kartsotis' were strongly opposed to the development, in particular to the extension of Telecom Parkway. She added that when Mr. Kartsotis purchased the property in 1992, he had numerous conversations with the City mayor concerning the extension of Telecom Parkway and was assured that would not happen.

Ms. Zimmerman said her clients have spent significant money to preserve the natural beauty of the property including the creek and surrounding area. She added the property was very unique as it pertained to the wildlife and vegetation and felt it would be a shame to destroy the area.

Ms. Zimmerman closed her comments by pointing out that the City of Plano Plan Commission denied with prejudice the applicant's request within their city limits.

Commissioner Roland noted the applicant was willing to make the lots wider and asked the speaker what the objection was to putting house next to houses.

Ms. Zimmerman replied that the extension of Telecom Parkway, which will open up into the northern area.

Commissioner Roland pointed out that Telecom Parkway would not be extended through to North Star Road, but only to the development site.

Mr. Vicente D'Ingianni, 3511 Hollowridge Court, Richardson, Texas, said the view from the rear of his home is private and beautiful, and the loss of privacy was one of the concerns for him and his neighbors. In addition, shortly after he purchased his home in 2000, the City tore up the small dead-end street that was east of his home, laid sod, planted trees and built the turnaround with the assurance that it would not be extended.

Mr. D'Ingianni concluded his comments by stating that any extension of Telecom Parkway would create a great deal of extra traffic no matter what was constructed on the property.

Mr. Eric Reid, 3112 Cedar Ridge, Richardson, Texas stated he was under the impression when he moved in the area that the property was already a conservation area and that was the reason he contact Mr. Taylor and the conservancy. He added that a tall grass prairie, similar to the area in question, sequesters more carbon dioxide and puts out more oxygen then some of the earth's rain forests.

Mr. Reid asked the Commission to take into consider there is currently a high speed natural gas line and a fuel line in the area and building homes in close proximity to these could be hazardous.

Mr. David Lee, 3507 Hollowridge Court, Richardson, Texas, stated that as a homeowner and realtor, he had concerns the applicant was only the developer and not the builder and there were no guarantees as to what would be built. He said he would like to have the property as a conservancy area.

Ms. Cynthia McDonald, 3501 Hollowridge Court, Richardson, Texas, said one of her concerns was the loss of the wall along the jogging trail, and the current erosion by the creek and how that would impact some of the prime lots for the proposed development.

Commissioner Frederick noted that Assistant Director of Parks, Roger Scott, was in the audience and asked if he could give additional information regarding the park, jogging trail and wall along the creek.

Chairman Hand said he would like to hear any rebuttal comments from the applicant prior to hearing from staff.

Mr. Douglas said they would be developing a quality product and had agreed to eliminate one lot to increases the width of the other lots so he was not sure what other steps he could take to accommodate the concerns of the homeowners to the south. He added that his proposal was a better solution than what the current zoning would allow.

Commissioner Roland asked the applicant to expound on the deed restrictions and the control over what could be built if the proposal was approved.

Mr. Douglas replied there would be architectural controls to review all of the construction plans to insure they meet not only the City standards, but that they will be compatible within the subdivision and to the adjoining neighborhood. In addition, the landscape requirements before and after move in would have to be reviewed, and any accessory building would have to be constructed of the same material as the house.

Commissioner Roland asked to confirm that once the homeowners association is turned over from the developer to the home owners, the deed restrictions would remain in place. He also asked if the developer would be setting aside land to remain in its natural state.

Mr. Douglas said that was correct and each home owner would be given copies of the deed restrictions when a home owner closes on the sale of their home.

Regarding the land to be set aside, Mr. Douglas said the southwest portion of the property would be open space and contain no development and the only item he would add would be a hike/bike trail similar to the existing trail.

With no further comments in favor or opposed, Chairman Hand closed the public hearing.

Mr. Scott said the Parks and Recreation Department was very interested in preserving open space area within the City and felt the opportunity to preserve natural open space would be a valuable asset to the community as expressed by the residents of the City. He added that the Parks and Recreation Department did not have the funds to purchase the property to set it aside for open space purposes, but they were interested in preserving the remnants of the black land prairie area within the City.

Commissioner DePuy asked if the property in question was environmentally important.

Mr. Scott replied that he had not had an opportunity to walk the parcel, but was familiar with the Woods Park and it is for the most part is in a natural condition. He added there was no evidence that the property in question was ever cultivated, but again stressed that he had not walked the property.

Mr. Scott noted that when the Parks Department worked in natural area, they worked with black land prairie specialist to do on-site inventories and work management plans for the conservations of the areas.

Chairman Hand asked about the white rock area north of the current homes.

Mr. Scott replied it appeared to be native rock where the earth had worn away similar to an area in Breckinridge Park in the upland hardwood forest where the plant diversity and amount of fossils area extremely high in number. He added that the black land prairie specialist consider the area in Breckinridge Park as one of the most unique areas in the City.

Commissioner Linn asked if the area north of Woods Park was ever considered as future park land by the City. He also wanted to know the size of Woods Park.

Mr. Scott said the City did not look at it as an opportunity for acquisition because it was privately held land.

Regarding the size of Woods Park, Mr. Scott did not know the exact size, and said it did not have a lot of acreage, but it did reach down to Telecom Parkway and contained a playground, a small parking lot, a trail system that goes west almost to Shiloh Road.

Chairman Hand asked what types of trees were located on the property and is the wooded areas of the property considered black land prairie.

Mr. Scott replied there could be quite a few Red Cedars in the area, but there are quite a few native trees in Woods Park and the aerial photo does not distinguish any difference between the trees in the park and those on the land in question. He added that native trees would consist of Cedar Elm, Red Oaks, Pecan, as well as understory of Dogwood, Mexican Plum, and Red Buds.

Regarding the wooded area, Mr. Scott said it was probably an eco-tone system between the black land prairie and a hardwood forest, and when you have an overlapping of an eco-system there is usually a much richer and diverse blending as they come together.

Vice Chair Bright asked for the Park's boundaries and where the area of erosion was located.

Mr. Scott replied the park boundaries were Telecom Parkway on the east, Hillrose Drive on the north and Springbranch Drive to the south. He added the area of erosion was located along the portion of the creek west of Hillrose Drive.

Commissioner Springs asked if property owners in Plano affected the 20 percent rule.

Mr. Shacklett replied the property is taken into consideration for the calculations, but the number is only calculated from the properties in the City.

Mr. Shacklett further stated there are 25 properties in the City that were touched by the boundaries of the proposed development.

Chairman Hand said he appreciated the idea of creating a neighborhood, and did acknowledge the fact of the underground gas and fuel lines, but reminded the Commission that they were charged with analyzing land use within the City. He also noted that the suggestion to designate the property as open space or park land was not part of the current application and the Commission had to deal with the black and white issue of was it a good use of the land.

Commissioner Frederick said she was torn between the prospects of having the land remain in its natural state and the proposed development, but could not understand how any homeowner would consciously take the gamble of having a commercial manufacturing or church built next to their homes in-lieu-of residential homes.

Commissioner Roland reminded the Commission that the City had on two occasions, 1992 and 1993, designated the property in question as single-family. In addition, he reminded the Commission and the audience that the property was privately owned and the City did not have the funds to purchase the property, and the developer was willing to donate \$1.5 million in land to Plano Independent School District.

Commissioner DePuy said she had a concern about the impact on the black land prairie area, but felt the misconception about extending Telecom Parkway and the fact that it would be

extended no matter what was built on the property, as well as the small amount of traffic that would be generated by 16 homes, did not dissuade her.

Vice Chair Bright asked staff if there were any concerns about building homes close to natural gas and fuel lines.

Mr. Shacklett replied there are several easements on the property and noted that most easements are wider than the delivery system in the easement to allow for adequate separation from structures.

Vice Chair Bright stated he was convinced the property in question was special, but the Commission could not control it beyond what was before the Commission in the application. He said he would support the application, but with the provision that the lots be standard width.

Commissioner Springs pointed out there was an easement just outside the City limit abutting the property in question, but on the zoning exhibit there is no indication if the pipeline easement is continued onto the property to be developed.

Mr. Shacklett replied the applicant has indicated the easement was abandoned, but reminded the Commission that a zoning case would not supersede an easement.

Commissioner Springs said he found it difficult to reconcile the passion expressed by some of the speakers in opposition when their homes were most likely built on some of the same type of property. He also suggested taking away the option of Street B and could support the item if it was removed.

Mr. Springs said he sympathized with the residents who wanted an open park area, but felt that homes were preferable to the current zoning.

Commissioner Linn said there were questions about whether the application was the best use of the land, and had concerns about comments made that the City had promised no further extension of Telecom Parkway, so he would not be in favor of the item as presented, but would be in favor of continuing the application until more research could be conducted.

Commissioner Springs cautioned the Commission and audience to be careful what they wished for because they might get it as it pertained to the fundamental issue of land use because there would not be any discourse on the development of the land under the current zoning; building could just start happening.

Vice Chair Bright asked if Street B would only be built if a school as allowed on the Plano side of the property.

Mr. Shacklett replied that the way it was written Street B would only be allowed if a school or single family neighborhood was constructed to provide access and continuity between single family residences and the school. He added it was also under the Commission's purview to remove Street B completely.

Commissioner Roland noted there is a street in another city where a school is cut off from the neighborhood and at the first of every school year the police department writes parking tickets for parents who park their cars on one side of the bridge and walk their children to the school.

Motion: Commissioner Roland made a motion to recommend approval of ZF 14-05 with the span of Lots 7 – 15 at 72 feet in width each, and lots adjacent to the park would require tubular fencing; second by Vice Chair Bright. Motion approved 5-2 with Commissioners Linn and Springs opposed.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services **MS**

FROM: Sam Chavez, Assistant Director – Development Services **SC**

DATE: April 24, 2014

RE: **Zoning File 14-05:** Beck Creek Estates

REQUEST:

Rezone approximately 13.6 acres from I-M(1) Industrial and I-M(2) Industrial to PD Planned Development to accommodate the development of a single family subdivision located on the west side of Telecom Parkway at the northern city limits.

APPLICANT / PROPERTY OWNER:

Jim Douglas, Douglas Properties, Inc. / Timothy Stewart, Flextronics International USA, Inc.

EXISTING DEVELOPMENT:

The subject property is undeveloped.

ADJACENT ROADWAYS:

Telecom Parkway: Four-lane, divided local street; no traffic counts available.

Renner Road: Six-lane, divided arterial; 29,400 vehicles per day on all lanes, eastbound and westbound, between Shiloh Road and Telecom Parkway (2013).

SURROUNDING LAND USE AND ZONING:

North: Vacant; City of Plano
South: Single Family; R-1500-M Residential
East: Single Family; R-1500-M Residential
West: Vacant; City of Plano

FUTURE LAND USE PLAN:

Neighborhood Residential and Open Space

The most prevalent land use classification in Richardson, and includes a variety of single-family housing types available for ownership, detached single-family homes and patio homes to duplexes and single-family attached homes (townhomes). The area designated as open space is the western portion of the subject property and is shown as open space on the proposed project.

Future Land Uses of Surrounding Area:

North: Research/Technology; City of Plano

South: Neighborhood Residential

East: Neighborhood Residential

West: Research/Technology; City of Plano

EXISTING ZONING:

I-M(1) Industrial per Ordinance 2026-A and I-M(2) Industrial per Ordinance 768-A

TRAFFIC/ INFRASTRUCTURE IMPACTS:

The requested zoning change will not have significant impacts on the existing utility infrastructure or traffic. A looped water line will be constructed with the proposed development to create a looped water system within the development.

APPLICANT'S STATEMENT

(Please refer to the complete Applicant's Statement.)

STAFF COMMENTS:

Background:

The western portion of the subject property was rezoned from R-1500-M Residential to I-M(2) Industrial in 1972. In 1978, the eastern portion of the subject property was rezoned from temporary zoning to I-M(1) Industrial. In 1992, approximately ninety-one (91) acres of land located south of the subject property was rezoned to R-1500-M Residential which is now developed as the Woods of Spring Creek subdivision even though all of the property north of Renner Road, west of Telecom Parkway, including the subject property was designated as Manufacturing/Distribution on the Comprehensive Planning Guide.

In 1993, all of the property north of Renner Road, west of Telecom Parkway, including the subject property was changed from Manufacturing/Distribution to Low Density Residential on the updated Comprehensive Planning Guide. Since that time, the subject property has been designated for single-family residential uses on the City's subsequent Future Land Use Plans. Additionally, the extension of Telecom Parkway into the City of Plano was removed as part of the 2000 Comprehensive Plan update. The connection was deleted to remove the possibility of large truck traffic from the City of Plano to Renner Road near the newly developed single-family development (Woods of Spring Creek).

Request:

The applicant’s proposed development creates a 17-lot single-family home subdivision. The applicant is requesting a PD Planned Development with a base zoning of R-1500-M Residential District regulations. This district allows detached single-family homes on minimum 9,000-square foot lots. The applicant chose this base zoning as a starting point to match the base zoning of the adjacent subdivision to the south; however, the proposed lot and home sizes will be larger than the base regulations of the R-1500-M Residential District and will be larger than what is required for the adjacent subdivision.

As shown on the attached zoning exhibit (Exhibit “B”), the applicant is proposing additional lots as well as a school site in the City of Plano that would be connected to the subject property if approved. This request was presented to the City of Plano Planning & Zoning Commission on March 3, 2014, and received a recommendation of denial stating they wanted to preserve the R/T (Research/Technology) zoning in that area of their City. The applicant appealed this decision to the Plano City Council on April 14, 2014 and was denied. The applicant states their proposal is to develop the property in the City of Richardson is still feasible without the development in the City of Plano. Since the denial in the City of Plano, the applicant has revised the concept plan to remove the internal street connection from the subject property to the previously proposed residential subdivision in the City of Plano.

Proposed Development Standards

The table below compares the proposed development standards with those of the R-1500-M Residential District and the homes to the south located on Hollowridge Court and Hillrose Drive (increases to base zoning in bold and reductions to base zoning italicized).

	R-1500-M Residential District Development Regulations	ZF 14-05 Proposed Development Regulations	Homes located on Hollowridge Court and Hillrose Drive
Dwelling Unit Size	Minimum: 1,500 square feet	Minimum: 2,700 square feet	Minimum: 1,800 square feet per zoning; average developed home size is approx. 3,400 s.f.
Building Height	Minimum 40 feet / 2 stories	Maximum 40 feet / 2 stories	Maximum 40 feet / 2 stories
Area Regulations	Lot Area: Minimum 9,000 s.f. Lot Width: Minimum 72 feet Lot Depth: Minimum 125 feet Front Setback: 30 feet Side Setback: 7 feet/10 feet for lots greater than 80 feet in width	Lot Area: Minimum 11,000 s.f. <i>Lot Width: Minimum 60 feet, but eastern lots match lot width adjacent to Hollowridge lot</i> CPC recommended approval with increase of lot width to 72 feet Lot Depth: Minimum 175 feet <i>Front Setback: 25 feet</i> <i>Side Setback: 5 feet</i>	Lot Area: Average 10,000 s.f. per zoning; average developed lot size is approximately 10,900 square feet Lot Width: Minimum 72 feet Lot Depth: Minimum 125 feet Front Setback: 30 feet Side Setback: 7 feet/10 feet for lots greater than 80 feet in width

	Rear Setback: 25 feet / 3 feet for accessory buildings Max. Lot Coverage: 40%	Rear Setback: 50 feet / 30 feet for accessory structures Max. Lot Coverage: 40%	Rear Setback: 25 feet / 3 feet for accessory buildings Max Lot Coverage: 40%
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The applicant’s request includes the following additional modified standards:

- Maximum Cul-De-Sac and Block Length – Proposed Street ‘A’ as shown on the concept plan exceeds the City’s maximum length for a cul-de-sac of 500 feet and the maximum block length of 1,000 feet. Although a proposed connection (Street ‘B’) is shown on the concept plan extending into the City of Plano, it will not be constructed if the residential zoning request in Plano is not approved. To address emergency and fire protection issues, the applicant in conjunction with the Fire Department’s direction is providing the following additional regulations to mitigate concerns related to the cul-de-sac length:
 1. The width of Street ‘A’ will be increased from twenty-seven (27) feet of pavement to thirty-two (32) feet of pavement along with a restriction against parking along the north side of Street ‘A’. These two (2) conditions allow for a 24-foot wide clear pathway for emergency access vehicles to enter and exit the subdivision. Typically, residential streets are twenty-seven (27) feet wide and parking is allowed on both sides of the street, possibly providing a much narrower pathway for emergency vehicles, and.
 2. A fire suppression sprinkler system will be provided in each home.
- Beck Branch Open Space Policy – As proposed the development would back up to the existing homes as well as the Woods Park area along the western portion of the property. The City of Richardson Code of Ordinances, Chapter 9 – Floodplain Management, states the city engineer’s duties include ensuring development in the floodplain is in accordance with the policies endorsed in the Rowlett Creek Resolution. One (1) of the policies states a buffer with parallel streets and greenbelts shall be provided along the stream corridor to assure access and create a buffer zone between the floodplain and development.

This configuration is provided on the south side of the creek as shown on the attached aerial where Springbranch Drive is adjacent to the stream corridor. The applicant has requested this policy not be enforced so the street can be placed as shown on the attached concept plan. If the policy was implemented, the lots would be moved north and Street ‘A’ would be moved south and run east to west directly behind the homes located on the north side of Hollowridge Court and thus create double frontage for the existing developed lots. Access to the stream corridor and Woods Park would still be provided from Springbranch Drive and the existing trail from Telecom Parkway to Hillrose Drive and into the park area. Along with the proposed 50-foot rear setbacks for the proposed lots, homes will be further restricted as to their location based on the location of the 100-year flood plain line, which is preliminarily shown on the attached concept plan.

- Front/Garage Setbacks – The proposed front setback is reduced from thirty (30) feet to twenty-five (25) feet; however, front facing garages shall be set back a minimum of five (5) feet behind the front building line of the home to reduce the impact of the garage door along Street ‘A’. Swing entry garages will be allowed and are not subject to this requirement. The reduced front setback allows the home to be moved toward the front of the lot thereby accommodating the larger 50-foot rear setback.
- Side Setbacks – The proposed side setback of five (5) feet is to accommodate a more desirable building envelope, especially for Lots 7-15, which have a reduced lot width. Adequate building separation will still be provided as required by the City of Richardson Building Code.
- Vehicle Maneuverability – The R-1500-M Residential District requires an 18-foot wide by 24-foot deep paved area (includes street/alley) perpendicular to the entry opening of a garage for vehicle maneuverability. The applicant has requested that non-perpendicular maneuverability be allowed for irregularly shaped lots. This would likely apply to Lots 16 and 17 only. Due to these lots’ reduced widths at the street frontage, non-perpendicular maneuverability may be more suitable to provide adequate driveway location on the property. These driveways would still be required to provide the minimum 18-foot width by 24-foot deep pavement area; however, the driveways may be slightly curved to more appropriately locate the driveway on the property.

The following are a list of additional development standards proposed by applicant as part of the Planned Development application to enhance the quality of the development:

- Telecom Parkway Extension – As previously stated, connection of Telecom Parkway into the City of Plano was removed as part of the 2000 Comprehensive Plan update. The applicant’s intent is to extend Telecom Parkway northward to serve Street ‘A’ as shown on the concept plan. The current turnaround would be removed and reconfigured to provide a left turn bay to provide access to Hollowridge Court. Telecom Parkway would continue northward terminating with a new cul-de-sac just north of the Street ‘A’ intersection and would prevent connection into the City of Plano.
- Screening – The applicant proposes to construct a masonry screening wall along the eastern property line of Lot 1 as shown on the concept plan adjacent to Telecom Parkway. The proposed wall would match the existing screening wall along Telecom Parkway located to the south of the subject property and in conformance with the detail shown on the concept plan. The detail shown matches the design and materials of the existing wall.
- Buffering and Landscaping – In addition to the masonry screening wall along the eastern property line of Lot 1, a sidewalk and landscape area shall also be provided along the west side of Telecom Parkway to match the sidewalk and landscaping to the south. The applicant’s proposal for the matching screening wall and landscaping is to provide a contiguous streetscape from Street ‘A’ southward that is consistent with what is already constructed. In addition to the landscaping, open space areas on the west side of the property and along the north side of the property will be provided. All of these areas shall be required to be maintained by the required HOA.

- Interior Fencing – The applicant has provided regulations regarding the interior fences on the proposed lots. Fences will be required to be stained, board on board or vertical tubular steel. Also, no interior fence will be allowed parallel to the proposed screening wall and any interior fence on Lot 1 will not be allowed to exceed the height of the screening wall. These regulations will ensure that the top of an individual’s fence will not be seen from Telecom Parkway. **The CPC recommended approval of the request with a condition stating fences adjacent to Woods Park shall be standard vertical tubular steel.**
- Garage Door Material - Garage doors shall be metal wood look doors with carriage-style hardware or wooden doors.
- Increased Rear Setbacks - Increased rear setback to fifty (50) feet to provide additional separation between the proposed homes and the existing homes to the south. Additionally, accessory structures will be subject to a 30-foot setback along the rear property line in lieu of the typical 3-foot setback.

Correspondence: As of this date, twenty-one (21) pieces of correspondence in opposition from have been received.

Motion: On March 18, 2014, the City Plan Commission recommended approval of the request on a vote of 5-2 (Commissioners Linn & Springs opposed) subject to the following conditions as presented and as revised (shown in bold text – Condition C.2. and Condition F.1. Also Condition K. has been removed due to the denial of a zoning change request in the City of Plano):

1. The subject site shall be zoned PD Planned Development for the R-1500-M Residential District, and shall be developed in substantial conformance with the concept plan attached hereto as Exhibit “B” (the “Concept Plan”) and in accordance with all applicable regulations of the R-1500-M Residential District, subject to the following modified development standards:.

A. Building Regulations

1. Minimum dwelling unit size: 2,700 square feet (exclusive of garages, breezeways and servants’ quarters).
2. All homes shall contain a fire suppression sprinkler system.

B. Height Regulations

1. Maximum principal building height: Forty (40) feet.

C. Area Regulations

1. Minimum lot area: 11,000 square feet.

2. Minimum lot width: ~~Sixty (60)~~ **Seventy-two (72)** feet measured at the building line
3. Minimum lot depth: 175 feet
4. Maximum lot coverage: Forty (40%) percent.
5. Minimum front setback: Twenty Five (25) feet. Front facing garages shall be set back a minimum of five (5) feet behind the front building line of the home. Swing entry garages will be allowed and are not subject to the additional 5-foot setback requirement (18-inch overhang encroachment allowed for all of the above).
6. Minimum interior side setback: Five (5) feet with a minimum required 10-foot building separation (18-inch overhang encroachment allowed).
7. Minimum corner lot side setback (Block A, Lot 1): Twenty (20) feet (18-inch overhang encroachment allowed).
8. Minimum rear setback: Fifty (50) feet for the principal building. Thirty (30) feet for accessory buildings (18-inch overhang encroachment allowed for all of the above).

D. Garage Doors

1. Garage doors shall be metal wood look doors with carriage-style hardware or wooden doors.

E. Driveways

1. Non-perpendicular maneuverability shall be allowed for irregularly shaped lots, with a required minimum pavement area of eighteen (18) feet in width and twenty-four (24) feet in length and may include adjacent street paving.

F. Fencing and Screening Walls

1. Fences shall be stained, board on board or standard vertical tubular steel, **except for fences adjacent to Woods Park shall be standard vertical tubular steel only.**
2. A masonry screening wall shall be required along the eastern property line of Lot 1 as shown on Exhibit "B". No fence shall be permitted parallel to said screening wall. Any interior fence on Lot 1 shall not exceed the height of the screening wall.

G. Buffering and Landscaping

1. On the east side of Lot 1, the screening wall, sidewalk and landscape area shall be provided to match the property to the south and shall be in conformance with the wall detail shown on Exhibit "B".

H. Open Space

1. Lots shall be allowed to back upon Beck Branch as shown on Exhibit “B”.
2. All open space areas, screening wall, and associated screening wall landscaping shall be maintained by the HOA.

I. Parking shall be prohibited on the north side of Street “A”.

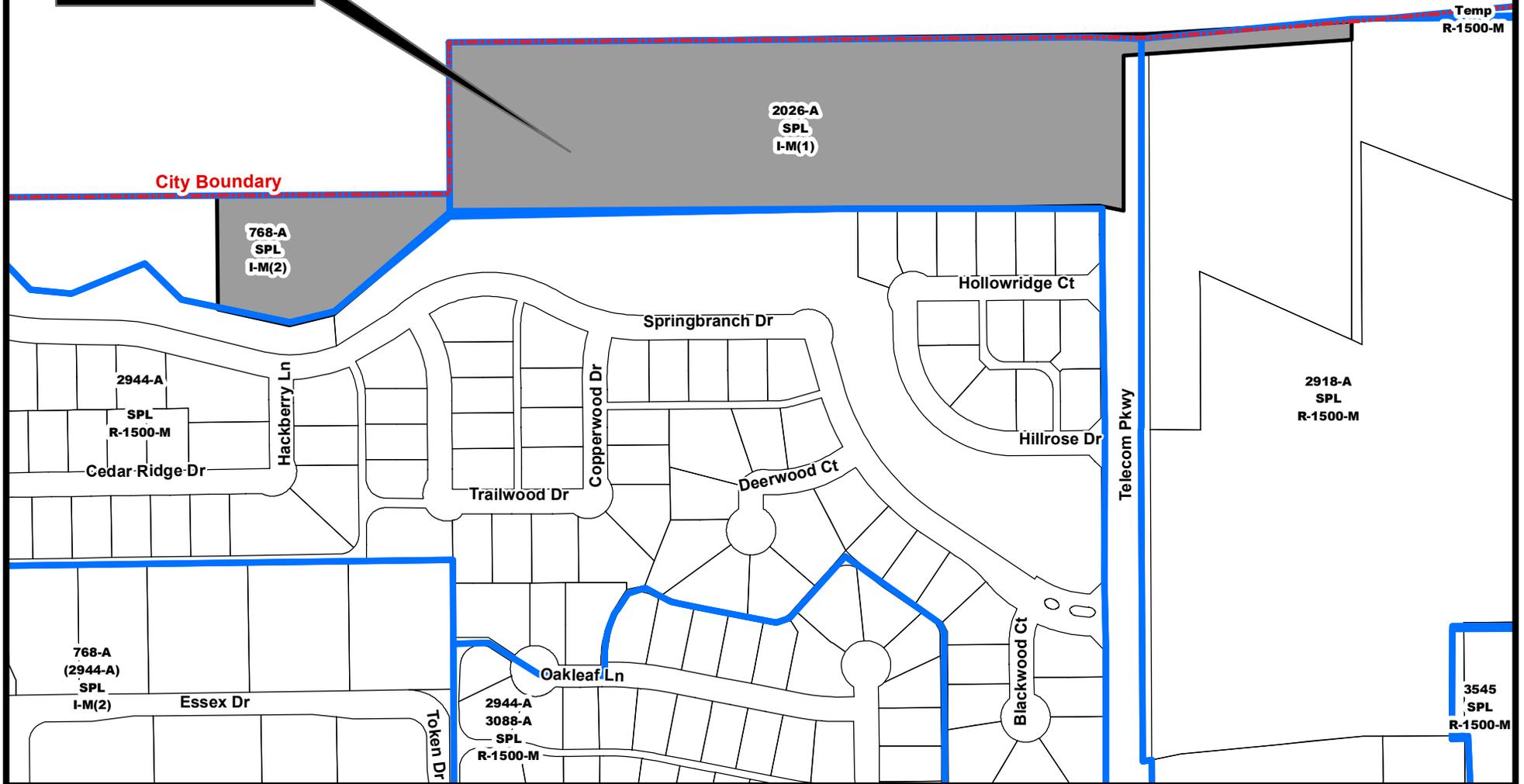
J. The cul-de-sac length and block length for Street “A” shall be allowed to exceed the 500-foot maximum length and 1,000-foot maximum length, respectively, as shown on Exhibit “B”.

~~K. Street “B” shall be permitted to be constructed only if a single family or public school development is approved and constructed within the City of Plano and only if a public right of way connection is provided within the City of Plano.~~

Although the Commission recommended approval of the request, the submitted written opposition to this request by owners of more than 20 percent of land area within 200 feet of the subject site now requires 6 out of 7 affirmative votes from City Council for approval.

ZF 14-05

**SUBJECT PROPERTY
FOR ZONE CHANGE**



ZF 14-05 Zoning Map

Updated By: shacklett, Update Date: February 28, 2014
File: D:\Mapping\Cases\Z\2014\ZF1405\ZF1405 zoning.mxd

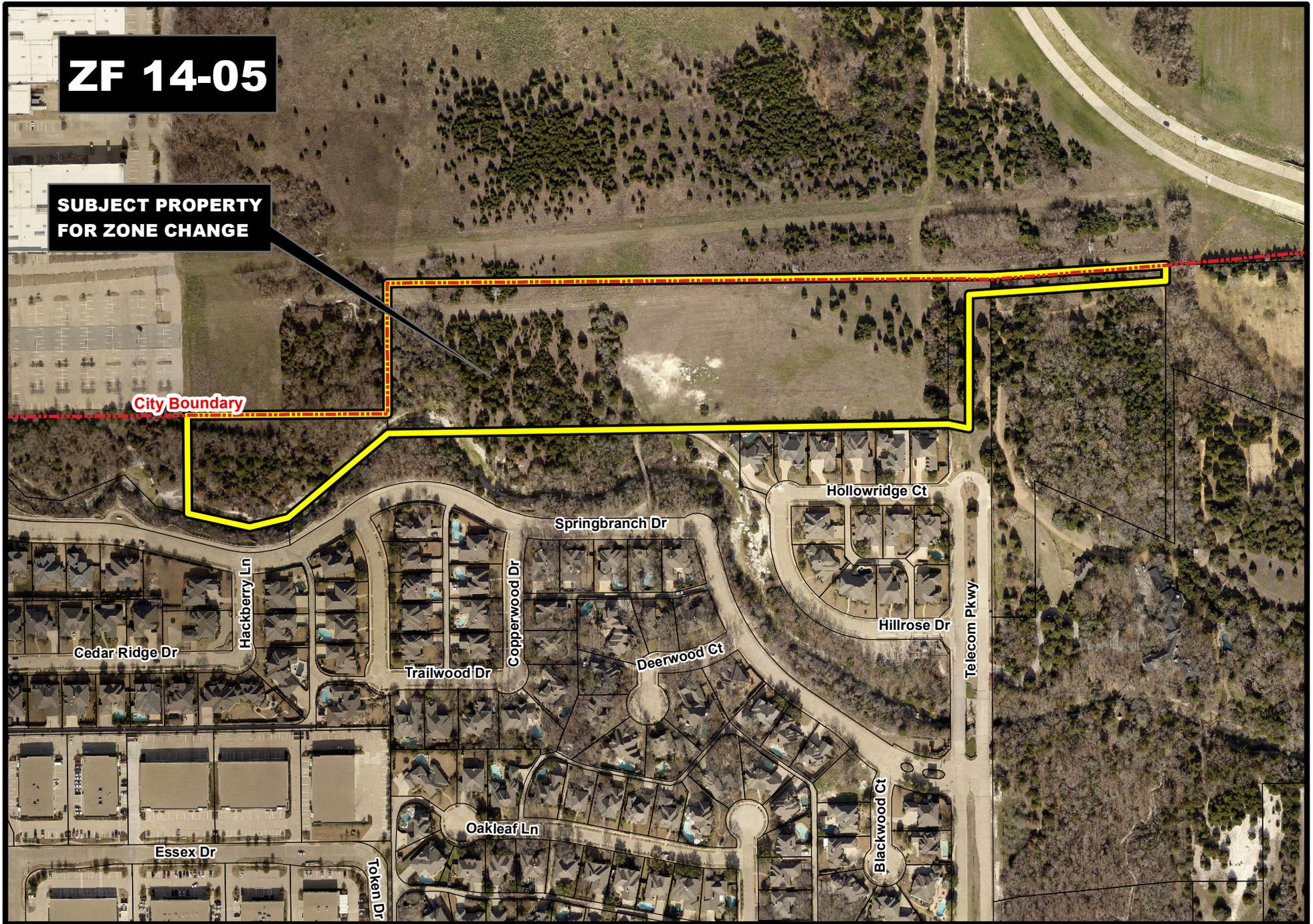
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



ZF 14-05

**SUBJECT PROPERTY
FOR ZONE CHANGE**

City Boundary

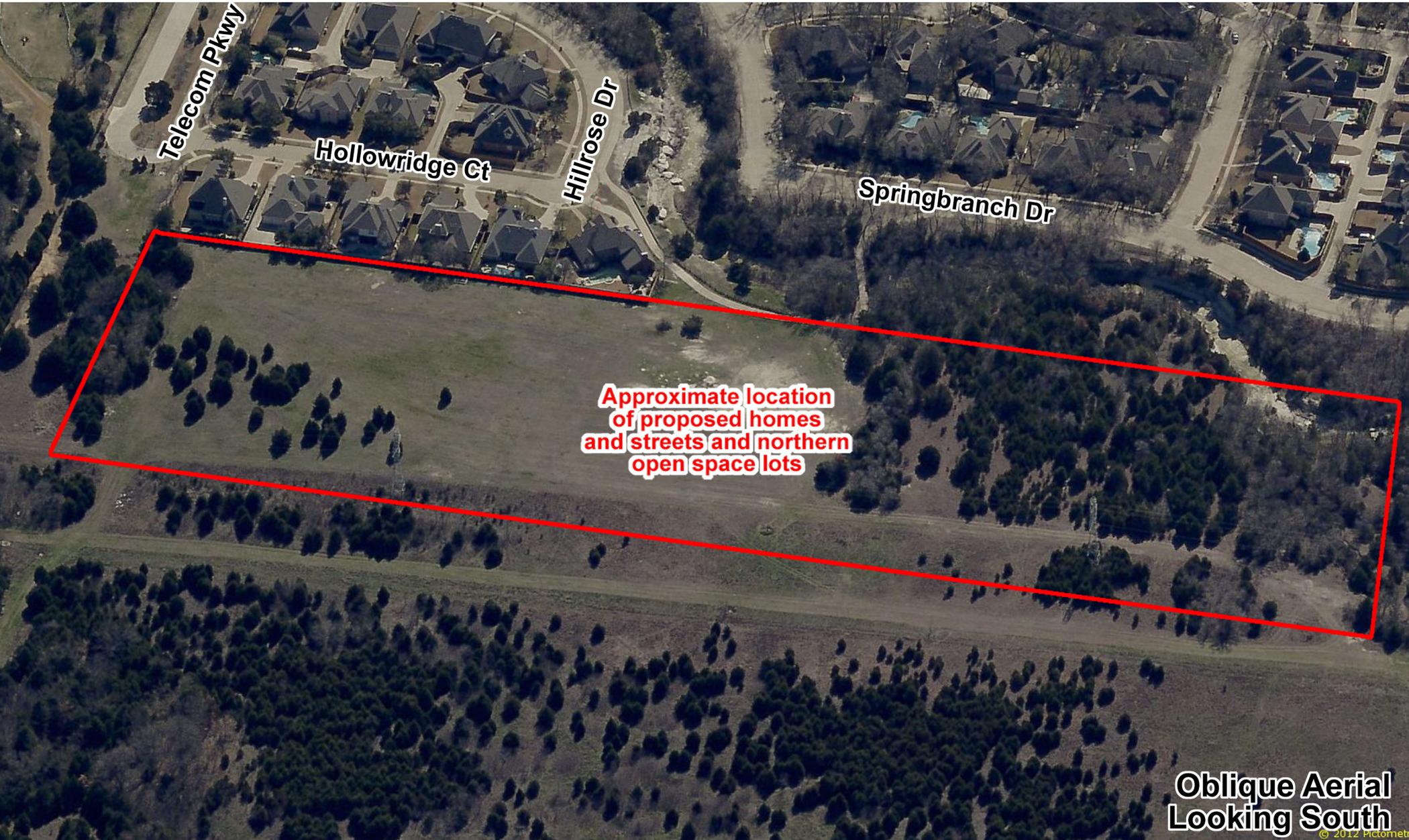


ZF 14-05 Aerial Map

Updated By: shacklett, Update Date: February 28, 2014
File: DSI\Mapping\Cases\Z\2014\ZF1405\ZF1405_ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





Telecom Pkwy

Hollowridge Ct

Hillrose Dr

Springbranch Dr

Approximate location
of proposed homes
and streets and northern
open space lots

Oblique Aerial
Looking South

© 2012 Pictometry

Lot 4, Block A
FLEXTRONICS CAMPUS ADDITION
Cabinet N, Page 527
RT - Zoning

Lot 2, Block A
PLANO DISTRIBUTION CENTER
Cabinet 2012, Page 221
RT - Zoning

Lot 1, Block A
PLANO DISTRIBUTION CENTER
Cabinet 2012, Page 435
RT - Zoning

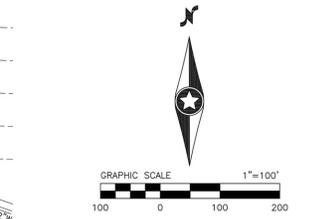
Lot 2, Block A
FLEXTRONICS CAMPUS ADDITION
Cabinet N, Page 527
RT - Zoning

FLEXTRONICS INTERNATIONAL
USA INC.
Volume 4804, Page 2286
RT - ZONING

LENNAR HOMES OF TEXAS
LAND & CONSTRUCTION Ltd.
Instr.#2013011400005360
16.675 Acres
SF-6 Zoning

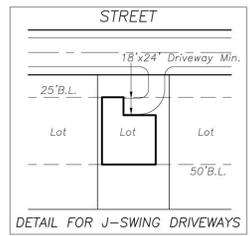
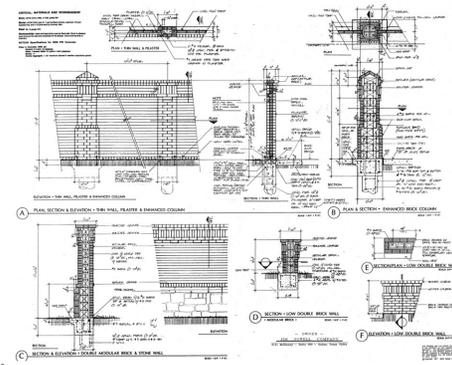
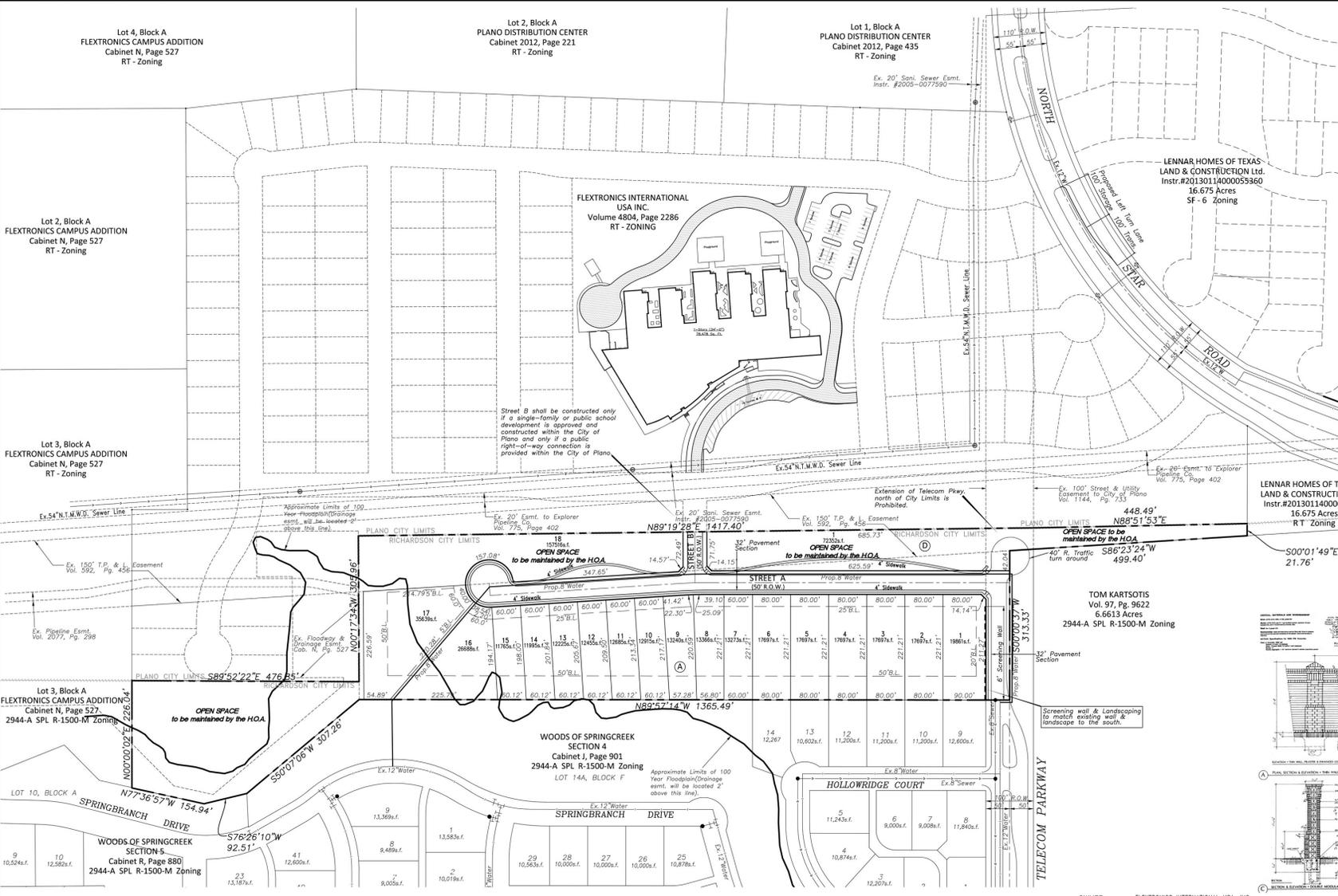
Lot 3, Block A
FLEXTRONICS CAMPUS ADDITION
Cabinet N, Page 527
RT - Zoning

Street B shall be constructed only if a single-family or public school development is approved and constructed within the City of Plano and only if a public right-of-way connection is provided within the City of Plano.



CONDITIONS FOR PLANNED DEVELOPMENT ZONING CASE NO. 14-05

PROJECT SUMMARY:
Existing Zoning: I-M(1) INDUSTRIAL
Proposed Zoning: PD Planned Development with Base R-1500-M Residential with modifications



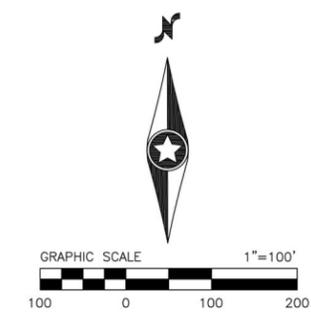
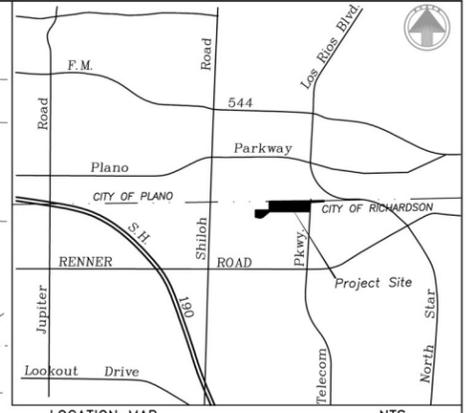
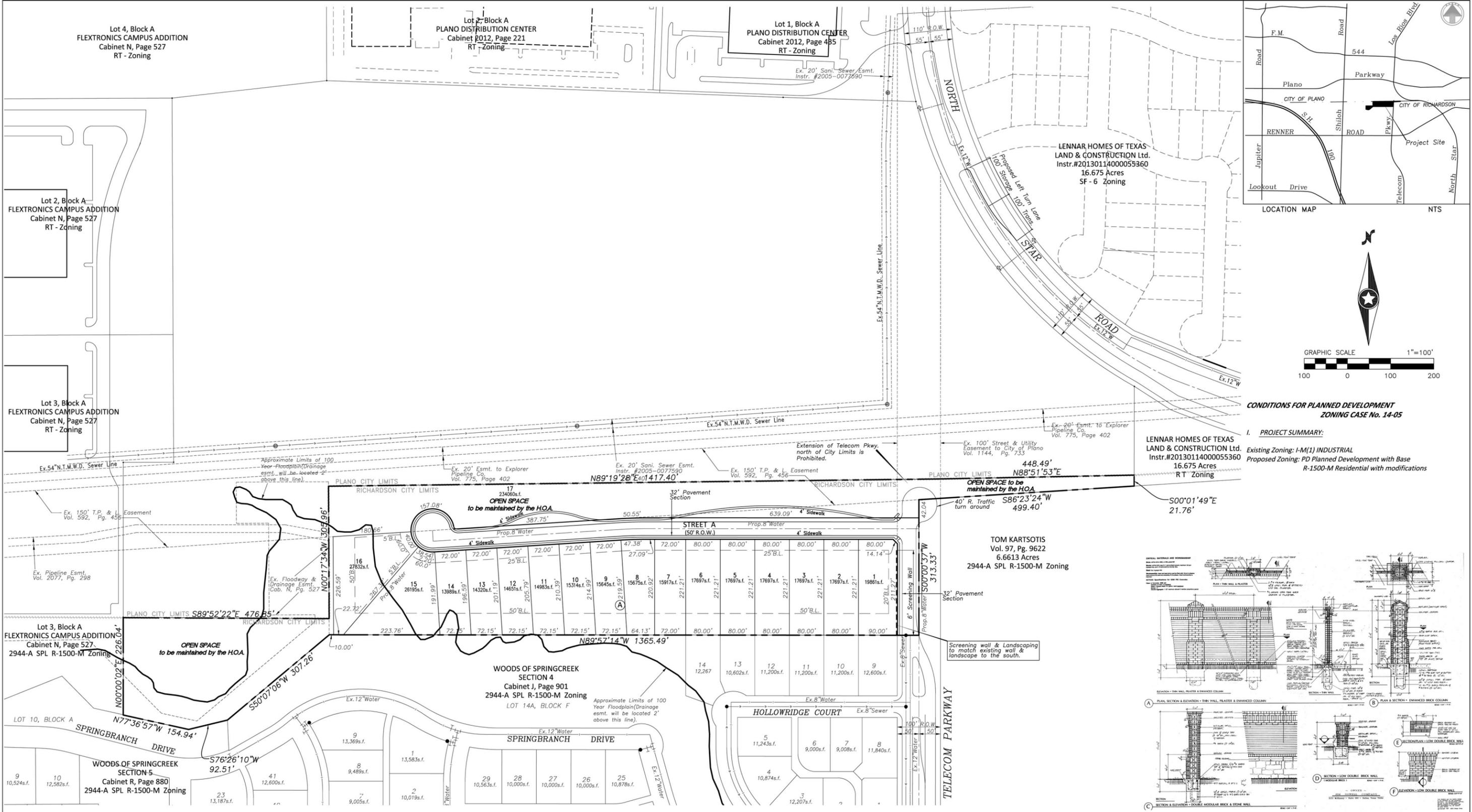
OWNER: FLEXTRONICS INTERNATIONAL USA, INC.
6201 America Center Drive, 6th Floor
San Jose, Ca. 95002
TEL: 617-859-2785
mstocon@frikm.com

DEVELOPER: DOUGLAS PROPERTIES INC.
2309 Avenue K, Suite 100
Plano, TX 75074
TEL: 972-432-1655
jim.douglas@properties@gmail.com

ENGINEER/SURVEYOR: **TI** TIPTON ENGINEERING
a division of Westwood
2740 North Dallas Parkway
Suite 280 Plano, Texas 75093
(214) 933-6660
Firm No. F-11756
richard.hovatt@westwood.com

ZONING EXHIBIT/CONCEPT PLAN
OF
BECK CREEK ESTATES
Existing Zoning 2026-A SPL I-M(1)
Proposed Zoning Planned Development
IN THE
JAMES T. MCCOLLOUGH SURVEY, ABSTRACT NO. 633
IN THE
CITY OF RICHARDSON, COLLIN COUNTY, TEXAS
Z.F. 14 - 05
13.5485 ACRES
17 RESIDENTIAL LOTS
2 OPEN SPACE LOTS
MARCH 13, 2014

Previous Zoning Exhibit - Presented at 3-18-2014 CPC Meeting



CONDITIONS FOR PLANNED DEVELOPMENT
ZONING CASE No. 14-05

I. PROJECT SUMMARY:
Existing Zoning: I-M(1) INDUSTRIAL
Proposed Zoning: PD Planned Development with Base R-1500-M Residential with modifications

LENNAR HOMES OF TEXAS
LAND & CONSTRUCTION Ltd.
Instr.#20130114000055360
16.675 Acres
SF-6 Zoning

TOM KARTSOTIS
Vol. 97, Pg. 9622
6.6613 Acres
2944-A SPL R-1500-M Zoning

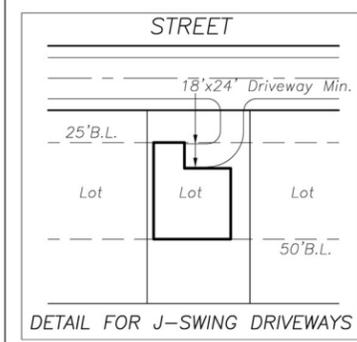
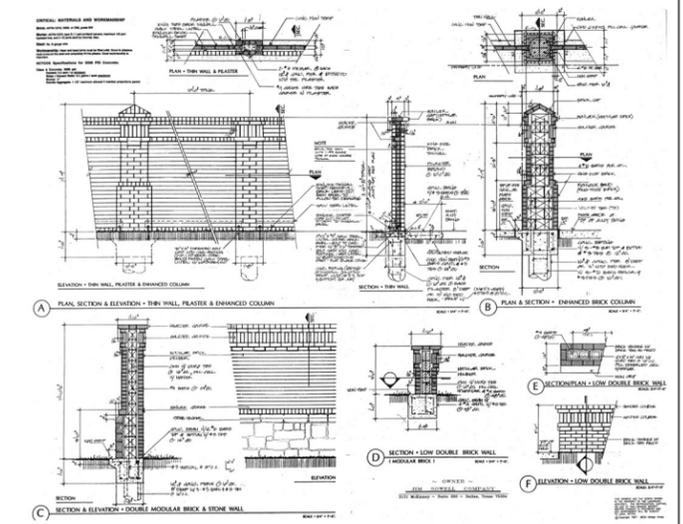


Exhibit B - Part of Ordinance

OWNER: FLEXTRONICS INTERNATIONAL USA, INC.
6201 America Center Drive, 6th Floor
San Jose, Ca. 95002
TEL: 617-859-2785
mslaconte@rkmc.com

DEVELOPER: DOUGLAS PROPERTIES INC.
2309 Avenue K, Suite 100
Plano, TX 75074
TEL: 972-422-1658
jim.douglasproperties@gmail.com

ENGINEER/SURVEYOR: **TIPTON ENGINEERING**
a division of **Westwood**
2740 North Dallas Parkway
Suite 280 Plano, Texas 75093
(214) 473-4640
Firm No. T-11756
richard.hovas@westwoodps.com

A

ZONING EXHIBIT/CONCEPT PLAN

OF

BECK CREEK ESTATES

Existing Zoning 2026-A SPL I-M(1)
Proposed Zoning Planned Development

IN THE
JAMES T. McCOLLOUGH SURVEY, ABSTRACT NO. 633
IN THE
CITY OF RICHARDSON, COLLIN COUNTY, TEXAS

Z F 14 - 05
13.5485 ACRES
16 RESIDENTIAL LOTS
1 OPEN SPACE LOT

APRIL 17, 2014 Sheet: 1 OF 1

ZF 14-05
PD Conditions
Exhibit “C”

1. The subject site shall be zoned PD Planned Development for the R-1500-M Residential District, and shall be developed in substantial conformance with the concept plan attached hereto as Exhibit “B” (the “Concept Plan”) and in accordance with all applicable regulations of the R-1500-M Residential District, subject to the following modified development standards:
 - A. Building Regulations
 1. Minimum dwelling unit size: 2,700 square feet (exclusive of garages, breezeways and servants’ quarters).
 2. All homes shall contain a fire suppression sprinkler system.
 - B. Height Regulations
 1. Maximum principal building height: Forty (40) feet.
 - C. Area Regulations
 1. Minimum lot area: 11,000 square feet.
 2. Minimum lot width: Seventy-two (72) feet measured at the building line
 3. Minimum lot depth: 175 feet
 4. Maximum lot coverage: Forty (40%) percent.
 5. Minimum front setback: Twenty Five (25) feet. Front facing garages shall be set back a minimum of five (5) feet behind the front building line of the home. Swing entry garages will be allowed and are not subject to the additional 5-foot setback requirement (18-inch overhang encroachment allowed for all of the above).
 6. Minimum interior side setback: Five (5) feet with a minimum required 10-foot building separation (18-inch overhang encroachment allowed).
 7. Minimum corner lot side setback (Block A, Lot 1): Twenty (20) feet (18-inch overhang encroachment allowed).
 8. Minimum rear setback: Fifty (50) feet for the principal building. Thirty (30) feet for accessory buildings (18-inch overhang encroachment allowed for all of the above).
 - D. Garage Doors
 1. Garage doors shall be metal wood look doors with carriage-style hardware or wooden doors.

ZF 14-05
PD Conditions
Exhibit “C”

E. Driveways

1. Non-perpendicular maneuverability shall be allowed for irregularly shaped lots, with a required minimum pavement area of eighteen (18) feet in width and twenty-four (24) feet in length and may include adjacent street paving.

F. Fencing and Screening Walls

1. Fences shall be stained, board on board or standard vertical tubular steel, except for fences adjacent to Woods Park shall be standard vertical tubular steel only.
2. A masonry screening wall shall be required along the eastern property line of Lot 1 as shown on Exhibit “B”. No fence shall be permitted parallel to said screening wall. Any interior fence on Lot 1 shall not exceed the height of the screening wall.

G. Buffering and Landscaping

1. On the east side of Lot 1, the screening wall, sidewalk and landscape area shall be provided to match the property to the south and shall be in conformance with the wall detail shown on Exhibit “B”.

H. Open Space

1. Lots shall be allowed to back upon Beck Branch as shown on Exhibit “B”.
2. All open space areas, screening wall, and associated screening wall landscaping shall be maintained by the HOA.

I. Parking shall be prohibited on the north side of Street “A”.

J. The cul-de-sac length and block length for Street “A” shall be allowed to exceed the 500-foot maximum length and 1,000-foot maximum length, respectively, as shown on Exhibit “B”.



DOUGLAS PROPERTIES, INC.

2309 Avenue K, Suite 100

Plano, Texas 75074

972-422-1658 Office 972-516-2254 Fax

douglas.properties@yahoo.com

Applicants Statement

As the applicant we are proposing a minimum of 60 feet wide lots with a minimum house size of 2,700 sq. ft. We have worked with the Fire Marshall to address the fire safety with a wider street and making mandatory sprinkler systems inside the homes.

With regards to the homes, the builder will build quality energy efficient homes which will blend well with surrounding homes.

We have considered the existing homes that we back up to so we have restricted the back building line to 50 foot setback.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

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ZONE CHANGE

File No./Name: ZF 14-05 / Beck Creek Estates
Property Owner: Timothy Stewart / Flextronics International USA, Inc.
Applicant: Jim Douglas / Douglas Properties, Inc.
Location: West side of Telecom Parkway at the northern city limits (See map on reverse side)
Current Zoning: I-M(1) Industrial & I-M(2) Industrial District
Request: A request by Jim Douglas, Douglas Properties, Inc., for approval of a zoning change to PD Planned Development for the development of a single-family community on approximately 13.6 acres.

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TUESDAY, MARCH 18, 2014
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

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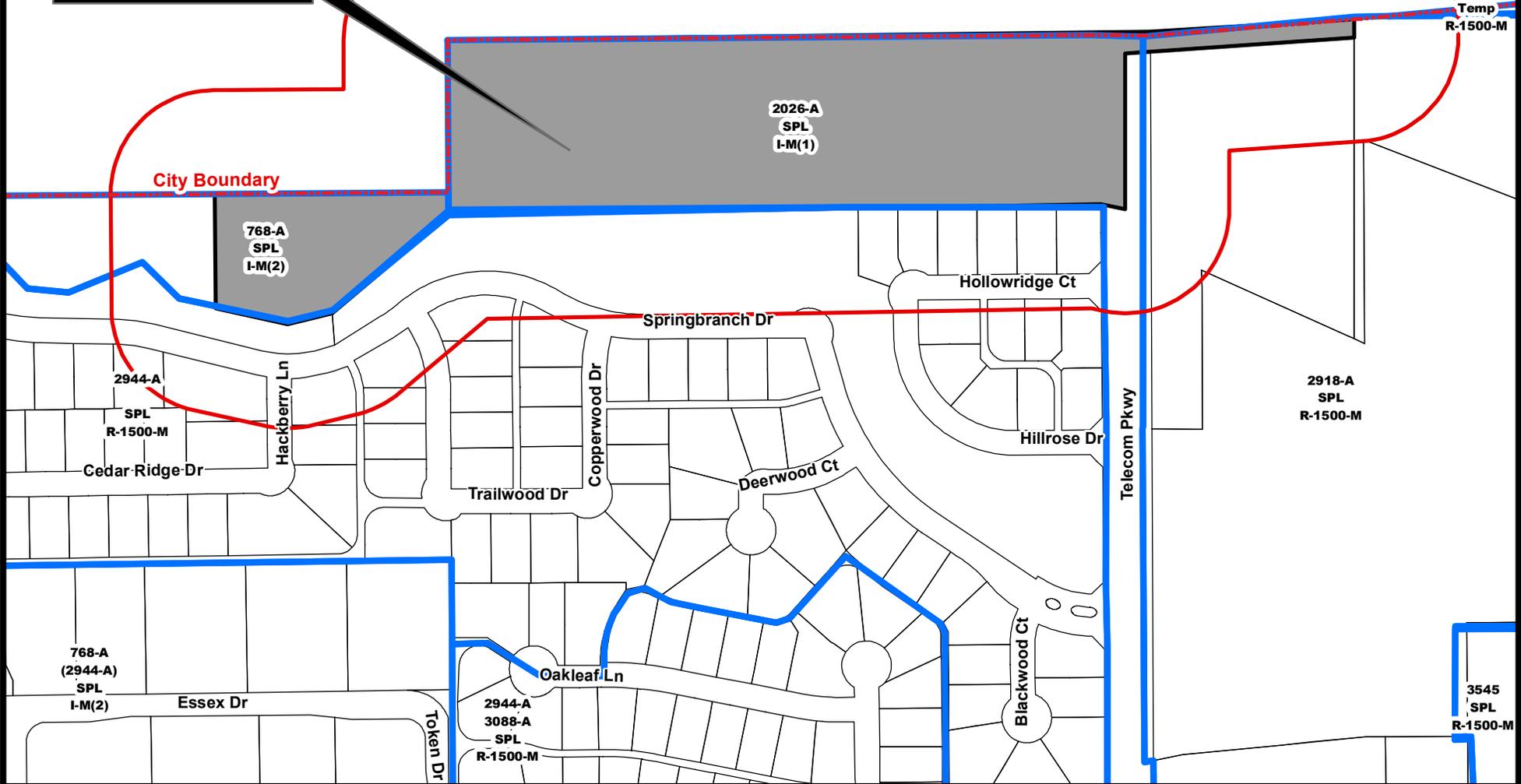
For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 14-05.

Date Posted and Mailed: 03/07/2014

ZF 14-05

**200'
Notification Boundary**

**SUBJECT PROPERTY
FOR ZONE CHANGE**



ZF 14-05 Notification Map

Updated By: shacklett, Update Date: February 28, 2014
File: D:\Mapping\Cases\Z\2014\ZF1405\ZF1405 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



KARTSOTIS TOM
3620 WOODPILE TRL
RICHARDSON, TX 75082-2508

FLEXTRONICS INTERNATIONAL USA
ATTN: TAX DEPT
1000 TECHNOLOGY DR
WEST COLUMBIA, SC 29170-2263

ANDERSON SHARON DARLENE
3707 TRAILWOOD DR
RICHARDSON, TX 75082-2434

BURT RICHARD E & JANICE M
3705 TRAILWOOD DR
RICHARDSON, TX 75082-2434

JANNETTO PHILLIP & VERONICA
3708 TRAILWOOD DR
RICHARDSON, TX 75082-2433

GRAHAM BRIAN DOUGLAS
3706 TRAILWOOD DR
RICHARDSON, TX 75082-2433

FULGHAM PAT FOX & KITZI JANE
3707 COPPERWOOD DR
RICHARDSON, TX 75082-2426

YATES ROBERT E JR & ANN L
3708 HACKBERRY LN
RICHARDSON, TX 75082-2449

YOUNG STEPHEN DOUGLAS &
YOUNG MELISSA CHRISTY
3704 HACKBERRY LN
RICHARDSON, TX 75082-2449

KUNDAWALA LIVING TRUST
3709 HACKBERRY LN
RICHARDSON, TX 75082-2450

YOUNUS MOHAMMED
3705 HACKBERRY LN
RICHARDSON, TX 75082-2450

MENDOZA ADRIAN R & HANNAH M
3209 CEDAR RIDGE DR
RICHARDSON, TX 75082-2441

NOVAK THOMAS A & PENNY L
3212 SPRINGBRANCH DR
RICHARDSON, TX 75082-2445

LEE DAVID A & RODNEY E BICE
3507 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

LIN WEN PING
3509 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

D'INGIANNI VINCENTE
3511 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

SHEFF MARC R & LIZ K
3508 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

GREEN RHONDA S
3510 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

OLIPHANT DARELL J & DORIAN J
3512 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

MCDONALD TIMOTHY K & CYNTHIA J
3501 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

NGUYEN TRIEU V & NGUYEN K DANG
3503 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

DENTON DONALD L & GLADYS M
3505 HOLLOWRIDGE CT
RICHARDSON, TX 75082-2429

LAM STEPHEN K & LAM JULIET L
3501 HILLROSE DR
RICHARDSON, TX 75082-2428

DPF SHILOH OWNER LLC
518 17TH ST STE 1700
DENVER, CO 80202-4130

TIMOTHY STEWART
FLEXTRONICS INTERNATIONAL USA
6201 AMERICAN CENTER DR 6TH FLOOR
SAN JOSE, CA 95002

FACILITY PLANNING & CONSTRUCTION
ATTN: TONY PEARSON - PLANO ISD
6600 ALMA DR STE E
PLANO , TX 75023

SUPERINTENDENT OF SCHOOLS
PLANO ISD
2700 W 15TH STREET
PLANO , TX 75075-7524

CITY OF PLANO - PLANNING DEPT
1520 AVENUE K, STE 250
PO BOX 860358
PLANO , TX 75086-0358

JIM DOUGLAS
DOUGLAS PROPERTIES, INC
2309 AVE K SUITE 100
PLANO, TX 75074

ZF 14-05
Notification List



DIVIDEND CAPITAL

DIVERSIFIED PROPERTY FUND™

March 13, 2014

Chris Shacklett
Department of Development Services
City of Richardson
PO Box 830309
Richardson, TX 75083

OWNER OF PROPERTY
LOCATED WEST OF THE
SUBJECT PROPERTY (OPEN SPACE
PORTION AT SW CORNER) &
LOCATED IN CITY OF RICHARDSON

Re: Proposed Zoning Change: File No. ZF 14-05 / Beck Creek Estates ("Subject Site")

Dear Mr. Shacklett,

My name is Andrew Smith and I am a Director with Dividend Capital Diversified Property Fund Inc. ("DPF"). DPF is a public REIT whose primary business is the long term ownership of commercial real estate in the United States. Currently we own approximately 12 million square feet within 71 assets across the county; five properties are in the Dallas area. One of DPF's assets is 600, 620, and 640 Shiloh Road, comprised of the three R&D / light assembly buildings that are located to the northwest of the Subject Site.

At the March 3, 2014 meeting, the Plano Planning and Zoning Commission denied with prejudice a request by the same applicant to re-zone the 45.8 ± acres directly north of the Subject Site from Research / Technology Center to Single-Family Residence-6 ("Plano Application"). As an adjacent property owner, we were strongly opposed to the Plano Application. The definition of the proposed zoning was in direct conflict with the definition of the existing site zoning, the existing comprehensive plan, and the existing zoning and uses of the neighboring sites to the north and to the west, including our project. If the zoning change was successful, it would produce issues and complaints between the existing commercial users and the future adjacent residents. Our project has always anticipated its neighbors conforming with the Research / Technology Center zoning and its available business uses. DPF voiced our opposition at the hearing and if the applicant decides to appeal the ruling we will continue to strongly oppose.

Based on the concept plan for the Subject Site dated March 7, 2014, the further proximity from our site and the required open space, single family homes will not be directly adjacent to our site but the front yards of the proposed lots will face the Research / Technology Center zoned land that was part of the denied Plano Application. Residents do not desire to locate next to light manufacturing and warehouse users, and vice versa, and the demand for homes on looking these future facilities is speculative.

DPF is based out of Denver, CO and due to scheduling conflicts, will be unable to attend the meeting scheduled for March 18th. If you have any questions, feel free to contact me at (303) 597-0484.

Sincerely,

Andrew Smith
Director, Asset Management

ISEW HWANG + Wen King Lin
3509 Hollowridge CT
Richardson Tx 75082

3/13/2014

in opposition to the zoning change request.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

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Richardson, Texas

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Date Posted and Mailed: 03/07/2014

3508 Hollowridge Court
Richardson, TX 75082
Marc & Liz Steff



Notice of Public Hearing

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Date Posted and Mailed: 03/07/2014

In opposition to Zoning Request Marc Steff
3/13/14

3/13/14

To the Richardson City Council

My name is Vincente D'Ingrami, and I reside at 3511 Hollowridge Court in Richardson, TX

I strongly disagree with the proposed zoning change for ZF 14-05 / Beck Creek Estates.

Thank You,



Vincente D'Ingrami, II

Vincente D. Ingiani:
3511 Holford Court
Richardson TX 75082



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Date Posted and Mailed: 03/07/2014

I oppose to the zoning change

[Signature]
3/13/14



Objection to Zoning Change Request # ZF-14-05 by Douglas Properties/Lennar

JEricReed

to:

Michael.Spicer

03/14/2014 01:23 AM

Cc:

amaxs

Hide Details

From: JEricReed <jereedlaw@aol.com>

To: Michael.Spicer@cor.gov,

Cc: amaxs@ieee.org

History: This message has been forwarded.

Dear Mr. Spicer and City of Richardson Zoning Board:

I object to changing the zoning for ZF-14-05 area because it is inconsistent with the current zoning and not contemporaneous with the RTD zoning on the northern Plano side of the same property. I ask the planning commission to take notice of the viability study for a residential development planned for this area, noting that it is inconsistent with the technology corridor-light industrial zoning for the tract. Additionally, this requested granting of this residential plan zoning change for this very small tract of native prairie land is merely a front to appeal the denial with prejudice of the residential plan and zoning change request to the north side of the same property in the city of Plano. The assessment of all the Departments of the city of Plano staff regarding the proposed project requesting the zoning change would increase needed city and county resources, not provide the adequate tax base to offset those needs, create conflicting and competing complaints between the commercial and residential zoning differences and most importantly increase police reaction time to emergency services needs. The Plano report also offers that the addition of any residential homes would create a burden in already overcrowded and reduced educational needs in area schools. PISD full time officials have neither the ability or the funding to build a new school in the foreseeable future according to the city's own study regarding the development asking for the zoning change to the north despite rumors that an elected official of the board has been canvassing neighborhoods looking for such support. As a policy matter, setting a zone for business to attract business investment into an area which provides higher property tax values creates a "bait and switch effect" that discourages long term investment into the city for economic growth. The nature of the change would cause additional impact on the area greater than a small light industrial commercial or technology business. The city has many alternatives to wisely use this land to promote good stewardship and economy. Please consider the following factors about this tract of land and why it may warrant greater consideration and protection by the city and others. Please log this into the record as an objection.

This small tract of a few acres could easily be planned out as a fee acquisition (or fee donation) of the west half of the 6.8-acre tract and all of the 2.2-acre tract to the west. There is also a chunk of floodplain land between them (in City of Plano) that could be included by fee acquisition or dedication from Flextronics with these two tracts as part of a natural area of native prairie and wooded corridor. The city could provide a tax benefit and both cities could do so. The additional benefit of this would be that Collin County Open Space could pay for up to 50% of the acquisition costs of acquiring the land for this open space purpose. A natural maintenance and support plan is easy to implement on a natural prairie preservation zone.

Flextronics still own all of the valuable remnants of prairie out in the north and south tracts, and the City of Richardson and City of Plano have several joint options for protecting those areas of land because there is such a scarce native prairie land area left in the city which is the only natural cross section of tall grass prairie and super diverse wildflowers. If Flextronic realizes the value of certain parts of their land holdings, then they might be more willing to look at the Zoning Exhibit sent out last week and consider some alternative designs that would avoid shoe horned residential over-development on those portions of land. The more I look at that plat, the more options that I see for a revised developmental plan either commercially or for a estate lot of one house like the Kartsotis place or a small green technology or similar light industrial business that I have several ideas that serve both as a natural preservation and profitable business use consistent with the current zoning. The most obvious would be for all of their lands south of the pipeline and powerline corridor to be set aside as open space tracts (other than maybe 2 acres on the east end of the 6.8-acre tract and the Telecom Pkwy corridor if they could market that

area for an estate lot or small commercial LEED building blended with the environment with innovative design that does not create concrete but a natural surface parking so that water can easily absorb into the ground source and prairie and prevent more erosion along Beck creek. Maybe Lennar would not consider such a lot design, but I would bet that such a tract could be sold to someone else as a single estate lot or small innovative green business or nonprofit. That way, Flextronic would get some monetary value out of part of their holdings south of the powerline and great tax benefits for the other deeded open space..

I was real curious about the platting of the Flextronic holdings north of the powerline and walked through it before it became somewhat choked with cedar trees a couple of years ago. I think that there is even more opportunity for native prairie preservation north of the powerline and pipeline. I see that lots of that land is overgrown with cedar and woody brush, but could be cleared and reverted back to native prairie stands very easily and could fall into an diverse, innovative and incredibly designed commercial business site blended into the prairie rather than destroy the prairie rather than bladed wholesale and set up for unsustainable development plans.

Those are my thoughts and I have detailed plans for doing something of that nature on an acreage of this nature as a business plan but they are proprietary in nature could not disclose them unless Flextronics exhibits an interest in other development purchase alternatives.

Again, if the city were to unwisely rezone this land plot, there are also some additional environmental factors that will substantially impact the freshwater system for drinking water for set by the Trinity River Valley Authority and federal Rivers, Wetlands and other Clean Water statutes. This watershed protects all freshwater systems that provide water into the drinking water watershed in this region. No project can go forward without an environmental impact study, hydrology study and pollution contaminate study for any proposed construction as well as the interstate waterway statutes under federal law that govern the Trinity River and its watersheds. Beck Creek is fed by a series of freshwater springs and storm runoff that confluences with Rowlett creek in Breckenridge Park. It then flows into the East Fork of the trinity River via Lake Ray Hubbard making it part of this sensitive water shed for drinking water in drought conditions. There are 3 documented freshwater springs documented in Woods park area subject to the proposed residential plan for a zoning change and another spring in the upper property on the corner of Shiloh and Plano parkway in Plano. While this may not be in the City ordinances of Richardson, the city is required to follow Federal Law affecting these Federal Statutes and Regulations involving development on any property within its territorial limits. The Slough area and spring that supports Canadian Geese in winter and other waterfowl qualifies as a wetland under the Migratory Game Bird Act and is protected even though on private property. It is unknown where the recharge zones lie for these springs without further environmental study. The planned development for zoning request impacts all of these areas that is not accurately reflected on the 100 year flood plain line as that is the creeks northern edge. Please review the maps of the area and all the ravine not visible due to the cluster of trees.. The zoning request change under the plan will create a high to extreme erosion of the creek because the 100 year flood plain is the creek bank and spring tributaries without any setback other than 2 feet.

Texas Stream Team of Texas Master Naturalists that monitors waters in Texas for the State and EPA:

Tests of Beck's Creek and Springs rendered the following results

Spring A 450 - 550 micro simens per milliliter (ms/ml) TDS is the conductivity of Total Disolved Solids in the water eg minerals (lime, sodium, carbonate). It does not test bacteria but source water with good flow per gallon per minute.

Spring B 450 -500 ms/ml (A & B good flow per gallon per minute)

Spring c 700 ms/ml Low Flow appears to gather from one to two seeps along a different strata.

This basically means Spring C is from a different underground water source than springs A & B due to the mineral content TDS.

Beck's Creek is 590 to 600 ms/ml consistent with majority of springs feeding the creek in the area.

Any residential development would impact these figures, the clean water and soil erosion drastically along Becks

creek as well as e-coli bacteria content including girardya, cryptosporidium and other bacterium. Commercial development would not so long as they follow the appropriate set back requirements from the springs and creek under federal law.

Lastly, this creek sytem, the small pockets of lowland forest and the last remnant of untouched Blackland Prairie are really an atypical ecological zone which is relatively free of exotic invasives, has the most diverse wildflower, native grass, native understory, shrub and trees I have seen anywhere around here. The really cool thing about the area is the it is the only place where I have seen a great cross section of plants and trees with Collin and Dallas county because it is right on the county lines. In the forest there are Chincapen Oaks, Red Oaks, black Walnut, western soapberry, eves necklace, Mexican Plum, Texas Ash, cedar elm, American elm, common persimmon, juniper, bois darc, chitumwood, sycamore and others. Chincapen is more indicative of Dallas county and not usually seen in Collin county. There is a ton of native honey suckle shrubs and wild hog plum shrubs seen more in Collin county and west of Dallas area rather than in Dallas county. The plum are about ready to put off some really great blooms that smell great if anyone wants to see the tall grass prairie in early spring late winter. There is big blue stem, little blue stem, silver blue stem, bushy blue stem, buffalo grass, switch grass, side oats and bog blue stem. There are other native grasses I am not sure what they are called perhaps seep muhly but I am not sure. The other reall cool flower is the Collin county species of calelophus that grows upward to 5 ft tall and full of brilliant yellow blooms, blue skullcap, Missouri primrose, false indigo, basket flower, prairie clover, native thistle, endangered pink flox on the creek and the most penstemmon chordilla, gay feather, Collin county cone flower (econychia), guarro, firewheel, Mexican hat, orange flax, blue flax, coreopsis, queen annes lace, four nerve daisies, white daisy, sawtooth daisy 2 varieties (wide leaf and narrow leafed) Lindehiemers daisy, Prickly pear cactus, crimson, mountain blewett, anenema, mealy blue sage, trout lillies and standing cypress I have seen anywhere in Richardson and around Dallas just to name the few I know. Tim has seen it with me on several occasions with different blooms during different times of the seasons. There is also Arkansas yucca and pale yucca that grows along the shale escarpment. A cool unknown native plantain grows in the prairie in May. There is every variety of milkweed and provides great habitat for mason bees, cedar bees, 2 honey bee hives and the most diverse bumblebee species I have seen in Texas. Aromatic sumac is a predominant understory as is elbow bush, Carolina buckthorn, rusty Blackhaw and Mexican plum. There are also the 2 thickets of wild plum bush on the north side. One of the other coolest things is the seeps inside the creek canyon with native ferns growing out and around them. The canyon creates another micro ecology that is really cool too and you see river ecology there with the blackland prairie and lowland forest. Great geology and paleontology. Any thoughts or ideas would be great. Again, I have an alternative development plan in mind but would only want to disclose it if Flextronics was interested in considering other options on the site. I have done the plant survey myself and have an idea for preserving the springs. I have a lot of ideas that would even work with the current zoning and preserve the ecosystem at the same time. I am not sure the land owner would be agreeable to sell it to me though if I could get financing. Nevertheless the ideas and opportunity are there if the city wants to be involved or not. A residential zoning change would be the nail in the coffin for the grassland and the creek if they change it to residential and allow housing on it. The coolest critters there is the kestrel I saw today and the woodcock game birds that are there. Dallas is the westernmost area in Texas where the American woodcock migrates during winter. Loss of habitat has impacted them tremendously. The fact that several migrate to this small wood is amazing and should also be considered. This would be an incredible addition to county open space program and the most diverse native ecosystem educational tool the PISD and RISD and GISD have in the area.

Along the edge of Becks Creek, the city parks department **over** mows, edges and blows the foliage and grasses on the edge of the creek bank to the point there is nothing but dry dusty dirt in place, the landscapers use blowers all over it too and they have virtually blown away all of the humas and grass on the edge of the creek and these conditions created and exasperated the erosion of the creek bank and loss of native flower and grass species. It needs to be reseeded with wildflowers and native grasses. Perhaps once a year to check and spot mow is sufficient for the edge.

It would be great to get the city involved if anything they might modify their maintenance of the creek edge and bank and reduce it to slow the erosion problem.

Thanks again

Eric Reed
Member of Woods of Spring Creek HOA

cc: Don Denton/Max Strassner

Information transmitted by this e-mail is proprietary to J. Eric Reed, Attorney at Law, and/or its client and may contain confidential attorney work product or other confidential and privileged information. This communication is intended for use only by the individual or entity to which it is addressed. If you are not the intended recipient, or if it appears that this mail has been forwarded to you without proper authority, you are notified that any use or dissemination of this information in any manner is prohibited.



To: Sam Chavez/CH/Cor@Cor, Chris Shacklett/CH/Cor@Cor,
Cc:
Bcc:
Subject: Fw: Exhibit Addendum to Objection and Supplemental Objection to ZC-14-05 from the Richardson Policy and Code p.97
From: Michael Spicer/CH/Cor - Monday 03/17/2014 08:26 AM

From: JEricReed <jereedlaw@aol.com>
To: michael.spicer@cor.gov,
Cc: bd2rader@sbcglobal.net, chris.fox@scouting.org, rgrayson@rivergeek.com, rj@connemaraconservancy.org, timdalbey@gmail.com, amaxs@ieee.org, befountain@aol.com, dvl1975@yahoo.com
Date: 03/16/2014 10:40 PM
Subject: Exhibit Addendum to Objection and Supplemental Objection to ZC-14-05 from the Richardson Policy and Code p.97

Dear Mr. Spicer: Please add this Exhibit to the Supplemental Objection and my prior objection to the zoning request change. Please read the content of page 97 of the city's land policy on the attached imagery from the city document. It clearly outlines the reasons based on city policies as to why the city must take leadership responsibility and take affirmative action to preserve this last stand of Blackland Prairie in the CIty. Please be sure the planning commission and the Parks and Recreation Department reads this page important land use policy requirement before making a decision on the rezoning request. Again, I object to the zoning request change, ask that it be denied with prejudice and more importantly ask that the city work proactively and with great urgency to protect and preserve this prairie. I look forward to positive discussions with Flextronics and the city about finding the most effective way to preserve this small prairie remnant and creating a very nice preserve and limitless education tool for the city of Richardson and Collin County Open Space program.

Again, thank you for your time, consideration and attention to this matter.

Sincerely

J. Eric Reed

cc: Max Strassner



Woods of Spring Creek Homeowners Assn page_97.PNG

Environment

The health of Richardson's environment—both built and natural—is key in creating a livable city. Environmental resources can influence decisions regarding future land use, parks, recreation, open space, community facilities, transportation, and utility plans. Careful consideration should be given to preserving and enhancing the ecological integrity of these resources whenever possible. The quality of Richardson's water and air affect the health of the City's residents and workers. In addition, how waste of all types is managed can affect the City's future generations.



As Richardson has matured, environmental concerns have become a higher priority. The City supports efforts to protect and improve the environment while balancing its other goals, responsibilities, and fiscal priorities. Environmental concerns should be weighed against other needs, including urban growth, housing, economic development, and recreation opportunities.

To create a healthy, sustainable urban environment, Richardson must strive to meet the demands of the present without compromising the ability of future generations to meet their own needs.



To: Chris Shacklett/CH/Cor@Cor, Sam Chavez/CH/Cor@Cor,
Cc:
Bcc:
Subject: Fw: Supplemental Addendum to Objection to the Zoning Request Change on ZF 14-05
From: Michael Spicer/CH/Cor - Monday 03/17/2014 08:27 AM

From: JEricReed <jereedlaw@aol.com>
To: michael.spicer@cor.gov,
Cc: amaxs@ieee.org
Date: 03/14/2014 06:24 PM
Subject: Supplemental Addendum to Objection to the Zoning Request Change on ZF 14-05

Dear Mr. Spicer and the Zoning Planning Commission:

Please include this supplemental addendum to my first letter objecting to the zoning change request by Douglas Properties. Please see the attached photo and statistic from the Plano Heritage Farmstead on 14th St. in Plano, Texas near the plot of land being considered by the city. It is a grim reality that only a fraction of 1% of the Blackland Native Texas Tall Grass Prairie is left in the entire state and North Texas. Tall grass prairies absorb and sequester more carbon emissions and filter them back into oxygen per acre than even the Amazon forest trees per acre. Given the city of Richardson is reaping hundreds of millions of dollars in property taxes with the building and construction of the State Farm Campus down the street on Renner Road, one can only imagine the levels of hydrocarbons to be released into the city of Richardson from the increased traffic in the area and the amassed loss of green space in that corridor near our homes. I am as a citizen of Richardson excited that it has brought great commercial growth to fill the coffers of the city with tax revenue and benefit the economy; however, with that comes great responsibility and great service towards the residents and citizens of Richardson. It is even a grimmer statistic that the plot of land before the planning commission today is in fact the last remaining "old growth" Blackland Prairie remnant in Richardson that has what is known as a super bio-diversity of NATIVE TEXAS tall grass and wildflowers in our city. Ironically, the city sponsors the Wildflower festival every year but has no actual natural native Texas wildflower places to visit in the city as a unfettered representation of its natural past and given the drought, realistic landscaping future. Only this actual Blackland prairie-wildflower remnant is left as a miniscule representation of what this land once was in our city before, people, concrete and over development. If and when this prairie remnant is not preserved and destroyed it will be gone, this priceless living natural treasure will be lost forever and it will never return. While it is nice that the city wants to try to reintroduce commercially grown prairie grasses in parts of the reclaimed city dump of Breckenridge Park, such efforts will never replace or even come close to matching the bio-diversity that is contained in this small remnant of prairie at issue in the matter. In fact, preserving this small tract of land will provide the city with endless use of native seed to enhance those efforts virtually cost free. When land development and loss of open space and the last part of native prairie is at issue, it is time for real leaders to step forward on behalf of all citizens in this city and act for the greater good of the city that cannot be measured by monetary value but only in priceless importance to the natural and cultural history of this city. It is time for the city to truly examine this matter not from a get money quick scheme but listen to the real experts of our natural treasures of this region via the Texas Master Naturalists, Native Plant Society and Audubon. The city must affirmatively act now to

approach the property owner, Flextronics and ask the Douglas developer to be bigger than money alone and all of us act to place this small land tract into a nature preserve and conserve for the benefit of all and the natural biological education of the young people and the enjoyment of all people in this city and surrounding communities nearby. There is not development plan that anyone can craft based on the layout presented and unnecessary zoning change that will not entirely destroy the bio diversity in that small tract forever other than a conservation prairie preserve. I encourage each of you take take a nature hike there with a Master naturalist and see during April and May what you will be destroying if you grant this zoning change. If you listen and observe and ask what would this little prairie want, then you will see how special it is and appreciate our city's natural history much more.

There are plenty of other land options and reuse and redevelopment-improvement opportunities as cost effective in this city and Plano that does not necessitate the destruction of the last native Blackland Prairie.

Thank you all very much for your time, consideration and attention to my objection to the zoning change and call to action for city officials to act affirmatively to contact the owner and work with the owner to come up with a viable method to place this tract into a nature preserve.

Respectfully,

J. Eric Reed

My electornic sending of this document and the previous document has the force and effect as an actual signature. Please provide acknowledgement of receipt of this document and the previous document for inclusion into the objections of this request.



photo.JPG

PRAIRIE GARDEN

A collection of Texas Native plants including grasses and wildflowers indigenous to the Blackland Prairie



The Blackland Prairie was quickly disappearing at the time the Farrell farmstead was built. By the 1920's more than 80% of the prairie had been lost to cultivation. Less than 1% of the Prairie exists today.

Made Possible through a grant awarded by the Collin County Historical Commission



[To:](#) Chris Shacklett/CH/Cor@Cor, Sam Chavez/CH/Cor@Cor,
[Cc:](#)
[Bcc:](#)
[Subject:](#) Fw: Rezoning request
[From:](#) Michael Spicer/CH/Cor - Monday 03/17/2014 08:23 AM

[From:](#) Don Denton <glad7@sbcglobal.net>
[To:](#) Michael Spicer <michael.spicer@cor.gov>,
[Date:](#) 03/16/2014 07:07 PM
[Subject:](#) Rezoning request

Michael, I object to Lennar's rezoning request for the land just north of Hollowridge. This change would definitely reduce my quality of life through increased traffic, noise, and crime. The lower value homes would reduce the value of my home. Many other possible options for this property have been submitted to the city.

Don Denton
3505 Hollowridge

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

Dear Commissioners:

This letter is regarding Zoning Case ZF-14-05/ Beck Creek Estates. This is a request to rezone 13.6 acres West side of Telecom Parkway at the northern city limits from I-M (1) Industrial & I-M (2) Industrial District to Single-Family Residence. The purposed zoning includes 17 single family homes and two (2) open spaces.

PLEASE TYPE OR USE BLACK INK

_____ I am **FOR** the request zoning as explained on the attached cover sheet for ZF-14-05/Beck Creek Estates.

I am **AGAINST** the request zoning as explained on the attached sheet for ZF-14-05/Beck Creek Estates. I ask the Planning commission to deny this request.

This item will be heard on March 18, 2014 at 7:00 p.m. at the City Council Chambers, Richardson City Hall, 411 W. Arapaho Road, Richardson, Texas. Please provide your written comments below regarding the proposed zoning change. If additional space is required, you may continue writing on a separate sheet, one-sided for printing purposes.

By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

SHARON ANDERSON
Print Name

Sharon Anderson
Signature

3707 TRAILWOOD TR
Richardson, TX 75082
Address

3/16/14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

Dear Commissioners:

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Kitzi Fulgham
Print Name

Kitzi Fulgham
Signature

3707 Copperwood
Richardson, Tx
Address

3-16-14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

Dear Commissioners:

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By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

Nape Margaux Ho
Print Name

[Signature]
Signature

3212 Springbank Dr.
Richardson, TX 75082
Address

3/16/14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

Lynne KARTSOTIS
Print Name

Lynne Kartsotis
Signature

3620 Woodpile Trail
Richardson, Tx. 75082
Address

March 14, 2014
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

Dear Commissioners:

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Rodney Bice
Print Name

Rodney Bice
Signature

3507 Hollowridge Ct
Richardson, TX 75082
Address

3/12/14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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This rezoning should not occur for
environmental & economical reasons.

By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

Cynthia McDonald
Print Name


Signature

3501 Hollowridge Ct
Richardson TX 75082
Address

3/14/14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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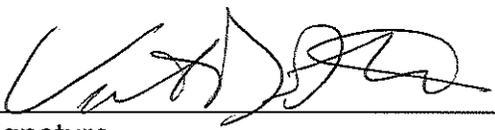
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Vincente D'Ingianni
Print Name


Signature

3511 Hollowridge Court
Richardson TX 75082
Address

3/14/14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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TSEW HWANG + Wen Ping Lin
Print Name


Signature

3509 Hollowridge CT
Richardson Tx 75082
Address

3/14/2014
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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Dorell Olyphant
Print Name

Dorell Olyphant
Signature

Dorell Olyphant
35124 Hollowridge Ct
Address

3/16/14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

Dear Commissioners:

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TRIEU VAN NGUYEN
Print Name


Signature

3503 Hollowidge ct.
Richardson TX 75082
Address

3-16-2014
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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Steve Lam
Print Name

[Handwritten Signature]
Signature

3501 Hillrose Dr
Richardson TX 75082
Address

3/16/2014
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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RHONDA S GREEN
Print Name

Rhonda S Green
Signature

3510 Hollowridge Ct
RICHARDSON, TX 75082
Address

3/16/2014
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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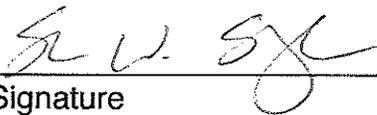
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By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

SHAWN W. SLYWKA
Print Name


Signature

3406 SPRINGBRANCH DR.

RICHARDSON, TX 75082
Address

03/16/14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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1. Bond was passed not to extend Telecom. 2. Drainage creek will be negatively impacted. 3. Environmental sensitive property.

By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

STACY W. HOY, III
Print Name

Stacy W. Hoy, III
Signature

3605 BLACKWOOD CT

RICHARDSON, TX 75082
Address

03.14.2014
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

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See email objections for details to Michael Spicer

By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

J. ERIC REED
Print Name

J. Eric Reed
Signature

3112 Cedar Ridge Dr.
Richardson, TX 75082
Address

3-14-14
Date

March 13, 2014

City of Richardson
City Plan Commission
Richardson, Texas

RE: ZF 14-05 / BECK CREEK ESTATES

Dear Commission Members,

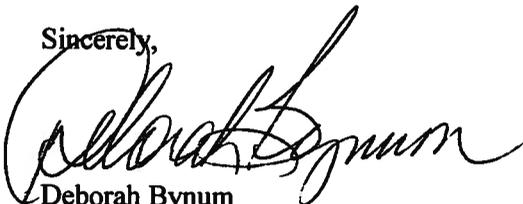
Although Winzer Corporation is not directly opposed to rezoning the 13.6 acres located in the City of Richardson, we are concerned your decision could ultimately impact the 45.8 acres of land located directly to the North of the subject property, which lies directly adjacent to the property we currently occupy. To provide some perspective, Winzer is located on the Southwest corner of Plano Parkway and North Star Road.

The 45.8 acres of land that lies between our location and the Richardson subject property has been presented to Plano Planning and Zoning on two occasions to be rezoned for residential development. Various surrounding commercial representatives voiced a great deal of opposition at the hearings with no speakers supporting besides the potential developer. Plano denied the request on both occasions, the latter time with prejudice because they agreed that the space would be best utilized as an R/T Zone.

As you may imagine, having a commercial business directly adjacent to residential housing will likely pose a great deal of concerns and expense to us to appease homeowner complaints of varying nature. Also, we are in the process of purchasing an additional 6 acres directly to the West of our current property for future expansion needs. Construction limitations and cost will be greatly impacted if we must consider adjacent homeowners.

It is my understanding Plano's decision may be appealed to City Council in the very near future. To consider the use of the 45.8 acres of land to the North, I would ask that you consider tabling your decision on the Richardson property until which time the 30 day appeal right would expire or City Council has ruled on the Plano property.

Sincerely,



Deborah Bynum
Chief Financial Officer

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

Dear Commissioners:

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PLEASE TYPE OR USE BLACK INK

_____ I am **FOR** the request zoning as explained on the attached cover sheet for ZF-14-05/Beck Creek Estates.

✓ _____ I am **AGAINST** the request zoning as explained on the attached sheet for ZF-14-05/Beck Creek Estates. I ask the Planning commission to deny this request.

This item will be heard on March 18, 2014 at 7:00 p.m. at the City Council Chambers, Richardson City Hall, 411 W. Arapaho Road, Richardson, Texas. Please provide your written comments below regarding the proposed zoning change. If additional space is required, you may continue writing on a separate sheet, one-sided for printing purposes.

By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

FARIDA KUNDAWALA
Print Name

Farida Kundawala
Signature

3709 HACKBERRY LN

RICHARDSON, TX 75082
Address

3-17-14
Date

Planning and Zoning Commission
P.O. Box 830390
Richardson, TX 75083

Dear Commissioners:

This letter is regarding Zoning Case ZF-14-05/ Beck Creek Estates. This is a request to rezone 13.6 acres West side of Telecom Parkway at the northern city limits from I-M (1) Industrial & I-M (2) Industrial District to Single-Family Residence. The proposed zoning includes 17 single family homes and two (2) open spaces.

PLEASE TYPE OR USE BLACK INK

_____ I am **FOR** the request zoning as explained on the attached cover sheet for ZF-14-05/Beck Creek Estates.

I am **AGAINST** the request zoning as explained on the attached sheet for ZF-14-05/Beck Creek Estates. I ask the Planning commission to deny this request.

This item will be heard on March 18, 2014 at 7:00 p.m. at the City Council Chambers, Richardson City Hall, 411 W. Arapaho Road, Richardson, Texas. Please provide your written comments below regarding the proposed zoning change. If additional space is required, you may continue writing on a separate sheet, one-sided for printing purposes.

We are OK with some type of housing here, but object to the very narrow lots, and the proposed Street K opening Telecom Pkwy to Plans.

By signing this letter, I declare I am the owner or authorized agent of the property at the address below.

James R. Von Ehr
Print Name

[Signature]
Signature

3510 Tree Trunk Trasl
Richardson 75082
Address

3/17/14
Date



MEMO

DATE: April 25, 2014

TO: Honorable Mayor and City Council

FROM: Michael Spicer, Director of Development Services *MS*

SUBJECT: Zoning File 14-05 – Beck Creek Estates

Attached is additional correspondence received expressing opposition to Zoning File 14-05 and supplementary information in the form of a report that provides an assessment of the existing plant communities identified on the subject property.



Objection to Zoning Change on Proposed Beck's Creek Estates.

JEricReed

to:

michael.spicer, roger.scott

04/17/2014 11:16 PM

Cc:

amaxs, befountain, bsandifer, chris.fox, citycouncil, david, debra, dixon, dvl1975, eric, friendlynatives, gallegja, geulajoy, gibbo, ginocischke, glad7, jchancellor, jchiquillo, jill, kmcintyre102, kristina, lee.kleinman, lori.kenep, lsimpson, matt, mctoyer, michdurstet, processtudio, rappleton, renee.brotherton, sarahignite, shunt, slotnikfamily, smitha, sskeen, steigman, suzettebrewer, TCDEDMON, tedbarker45, timdalbey, timdalbey, vincente, ybluehorse, zhwang.home

Hide Details

From: JEricReed <jereedlaw@aol.com> Sort List...

To: michael.spicer@cor.gov, roger.scott@cor.gov,

Cc: amaxs@ieee.org, befountain@aol.com, bsandifer@gmail.com, chris.fox@scouting.org, citycouncil@plano.gov, david@dvbock.com, debra@fullcircletherapies.com, dixon@pinelandproperties.com, dvl1975@yahoo.com, eric@canoeadventures.net, friendlynatives@swbell.net, gallegja@gmail.com, geulajoy@sbcglobal.net, gibbo@sbcglobal.net, ginocischke@sbcglobal.net, glad7@sbcglobal.net, jchancellor@sbcglobal.net, jchiquillo@dallasnews.com, jill@texaslakestrail.net, kmcintyre102@yahoo.com, kristina@dallascandobetter.org, lee.kleinman@dallascityhall.com, lori.kenep@flextronics.com, lsimpson@dallasheritagevillage.org, matt@friendlynatives.com, mctoyer@hotmail.com, michdurstet@yahoo.com, processtudio@gmx.com, rappleton@dallasnews.com, renee.brotherton@flextronics.com, sarahignite@gmail.com, shunt@lyle.smu.edu, slotnikfamily@yahoo.com, smitha@dividendcapital.com, sskeen@bfsnlaw.com, steigman@unt.edu, suzettebrewer@ymail.com, TCDEDMON@aol.com, tedbarker45@yahoo.com, timdalbey@att.net, timdalbey@gmail.com, vincente@dingianni.org, ybluehorse@aol.com, zhwang.home@gmail.com

History: This message has been replied to.

Dear Richardson City Council Persons, Richardson Parks & Recreation Dept., Douglas Properties and Flextronics:

There are 4 key issue regarding the property subject to tonight's meeting that I hope the city council will reflect on and consider regarding any development project on this property which is a natural treasure in your city as well as the preliminary matter of the city of Plano rejecting the residential plan as unsound for a development in the same contiguous land area.

First, the property encompasses a large high quality rare Tall Grass Blackland Prairie, a hardwood lowland forest and a riparian spring and spring fed creek with clean water. There is only 0.1% of 1% of the total blackland prairie and wildflower stands and remnants left in the entire state of Texas. The prairie in question is really the only true TEXAN subject to consideration tonight. If it is destroyed and not preserved it will be gone forever. Any development plan proposed should have a zoning restriction added to increase setback and preserve all tall grass areas permanently as a nature preserve and outdoor class room for children. In fact the diversity of Native Texas grass and plant species is so rare and diverse on this property in prairie that the State of Texas sent its TPWD expert to analyze it and he was amazed that it existed. There are at least 2 documented endangered plant species on the prairie and many others that are rare due to loss of prairie habitat.

Second, there are Federal Wetlands subject to the property and development plans and Federal Statutes involving Migratory Game Birds and Clean Air and Water Acts must be complied with by the city and any potential buyer or owner of the property. Any development there will significantly impact the quality of the water if the prairie

is destroyed because it acts like natural compost and sponge to hold and protect and utilize water over long periods of time not running off into storm sewers. This land has 3 Freshwater Springs subject to the Northeast Texas Municipal Water District because of the Millions of gallons of fresh drinking water it pumps into Beck's Creek per year and into the Water Supply. Initial Testing of one spring shows the water is bacteria free, low phosphates, nitrates, nitrites and low oxygen that is 60 F and pumps at least 3 to gallons per minute and bio-filters into Beck's Creek. Rare Texas Wood Ferns abound in the Beck' Creek Riparian zone as well.

Third, there is a high octane Jet Fuel (JP-4) pipeline that runs where houses are planned 10 feet from it and some houses 2 miles away have been built 10 feet from it. High Octane Jet A Avgas is highly explosive and dangerous. The lesson of West Texas tragedy is that you do not built habitations will people living in them next to highly explosive chemicals. It is one thing if it goes of burning prairie that will recover but it is another thing if 137 houses with families and an proposed school site are in the potential blast zone if that fuel line unfortunately explodes accidentally as history has demonstrated all over Texas with grave results. Less than 30 feet from the high octane fuel line is a high pressure natural gas line and a sanitary sewer line containing methane gasses with a high voltage power lines overhead which is totally unsuitable for housing to face let alone be that close in the event of a catastrophe like West, Texas.

Lastly, I ask that the City Council consider a motion to study this area more intensely before allowing any development on it, whether commercial or residential to halt its destruction. More importantly, the city needs to take a leadership role in this land and consider with citizens negotiating a purchase of the land for a nature preserve to be jointly maintained and contiguous with the city of Plano which also has a contiguous part of the Tall Grass Prairie, another spring and a wooded riparian zone with 150 year old Oaks and Pecan trees. There is an incredibly rich History of the settlers who built the area around Beck's Creek. Beck was a Black Hawk War veteran including many city fathers for Plano, Richardson, Garland and Murphy. The natural history of it surviving thus far is a miracle and can be purchased using TPWD parkland funds from the state, natural surface trail funds through the state and federal government and funds from the Collin County Open Space program. This property will meet the strict guidelines for preservation. A TPWD native plant expert came from Austin, including another native Texas plant expert from Baylor University to examine the flora and it is very rare and high quality and very important to preserve as a state and city treasure. Also a contingent from the Texas Master Naturalists marveled at this Prairies Unique Blackland and North Texas Plant diversity noting that it is the only one they have seen with a great cross section of flora between Dallas and Collin County ecologies. All noted that it is incredibly important to the State of Texas and preservation of the endangered Blackland Prairie that this tract of land be preserved as a nature center and outdoor classroom for children to get outside and learn.

In conclusion, I ask that you view the details that support my proposition in opposition to the zoning change via the Facebook page as follows:

<https://www.facebook.com/pages/Save-Becks-Creek-Tall-Grass-Blackland-Prairie-Springs/637315932984548>

Thank you for your time, attention and consideration in doing the right thing to preserve this land as a nature preserve and outdoor classroom for children.

Sincerely,

J. Eric Reed
Citizen in Favor of Preserving the Prairie

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Comprehensive Report from the State of Texas in Support of Preserving Beck's Creek
Prairie & Springs

JEricReed

to:

befountain, brett.johnson, glad7, michael.spicer, rhgrayson, timdalbey

04/24/2014 05:04 PM

Cc:

bd2rader, chris.fox, jchiquillo, roger.scott

Hide Details

From: JEricReed <jereedlaw@aol.com> Sort List...

To: befountain@aol.com, brett.johnson@tpwd.state.tx.us, glad7@sbcglobal.net,

michael.spicer@cor.gov, rhgrayson@sbcglobal.net, timdalbey@gmail.com,

Cc: bd2rader@sbcglobal.net, chris.fox@scouting.org, jchiquillo@dallasnews.com,

roger.scott@cor.gov

History: This message has been forwarded.

1 Attachment



THE_VASCULAR_FLORA_OF_BECKS_CREEK_PRAIRIE_4-17-14version1.doc

Mr. Spicer: Please include this incredible comprehensive report on the Prairie Flora from the State of Texas Expert at TPWD regarding the high quality of Beck's Creek Prairie and Springs. Please see attached report and plant list. As you can see, according to the State, based on their assessment. It appears they are also hopeful that the city council and city of Richardson rise to the occasion and protects this natural treasure. Please see the Expert's comments below as well.

Thanks for your attention, assistance and consideration. The ultimate fate of this city's natural treasure for benefit of all the city's citizens and children rests with the council and its protection or destruction rests solely upon their shoulders.

Respectfully

J. Eric Reed

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-----Original Message-----

From: Dana Wilson <danawilson59@yahoo.com>

To: JEricReed <jereedlaw@aol.com>

Sent: Thu, Apr 24, 2014 3:05 pm

Subject: Fw: Visit to Becks Creek Prairie Site

----- Forwarded Message -----

From: Jason Singhurst <Jason.Singhurst@tpwd.texas.gov>

To: 'RJ Taylor' <RJ@connemaraconservancy.org>; 'Dana Wilson' <danawilson59@yahoo.com>
Sent: Thursday, April 17, 2014 4:27 PM
Subject: RE: Visit to Becks Creek Prairie Site

RJ,

Thanks for the fabulous opportunity to survey Becks Creek Prairie. I was pleasantly surprised about the quality and high plant diversity of the prairie and woodlands. It was great to catch up with you. I truly enjoyed the fabulous field company with Dana, Walter, and both Eric's assisting with the flora inventory. It made my job easy.

Attached is a summary of the field work from last Friday. Make sure your title and address is correct and feel free to send any edits or comments. It sounds like things may go well for this amazingly high quality Blackland Prairie remnant. Keep up the great conservation work. If there is an opportunity to visit this prairie again in the fall I will be happy to document the fall flora.

Respectfully,

Jason R. Singhurst
 Plant Ecologist/Botanist
 Wildlife Diversity Program
 Texas Parks and Wildlife Department
 4200 Smith School Road, Austin, TX 78744
 WK 512-389-8726
 FX 512-389-8758
 MO 512-632-1666
jason.singhurst@tpwd.state.gov



Support Wildlife Diversity: buy a horned lizard license plate!
<http://www.conservationplate.org/>

From: RJ Taylor [<mailto:RJ@connemaraconservancy.org>]
Sent: Wednesday, April 16, 2014 9:01 AM
To: Jason Singhurst; 'Dana Wilson'
Subject: Visit to Becks Creek Prairie Site

Jason and Dana,

Thanks to both of you and the Baylor professor for taking the time to visit the prairie site on the Richardson/Plano border last week. I'm sorry that I had to depart early that day; I'd be curious to hear what unusual plant species you encountered while out there.

It appears that the developer was not able to get his zoning change request accepted by the City of Plano this week, so that might mean that the Plano side of the property will not be able to be developed as a residential subdivision. I hear rumblings that he still might attempt to get the smaller acreage on the Richardson side approved for a 16-lot residential development, but there will be a lot of opposition to that plan.

I hope that our group of conservationists will be able to move ahead with potential acquisition of those prairie sites

through the TPWD grant and Collin County open space monies. We will be approaching the commercial landowner about this soon, and I'll be coordinating with the two cities to consider application to TPWD for monies.

RJ Taylor, Conservation Director
Connemara Conservancy Foundation
office: 469) 200-4085 Ext. 102
cell: 214) 274-3477
RJ@connemaraconservancy.org
www.connemaraconservancy.org

"Saving the land we love in North Texas"

**THE FLORA AND PLANT COMMUNITIES OF BECKS CREEK PRAIRIE
COLLIN COUNTY, TEXAS**

Jason R. Singhurst
Wildlife Diversity Program
Texas Parks & Wildlife Department
4200 Smith School Road
Austin, Texas 78744 U.S.A.
jason.singhurst@tpwd.state.tx.us

and

R.J. Taylor
Conservation Director
Connemara Conservancy Foundation
10005 Technology Blvd W
Dallas, Texas 75220 U.S.A.



BECKS CREEK BLACKLAND PRAIRIE

This report covers activities carried out on the flora and plant community survey trip of 11 April 2014 to Becks Creek Prairie in Collin County, Texas. It provides descriptions of common and unique plant communities and list of flora.

Purpose of Survey

Texas Parks and Wildlife Departments Wildlife Diversity Program collects biological information on rare and declining plants, animals, and plant community association's state wide. An **association** is defined as "a plant community of definite floristic composition, uniform habitat conditions, and uniform physiognomy". By identifying different plant community associations during a field survey and the plants that are restricted to them, this data informs land stewards to recognize different habitat types that occur on their lands. Documenting plant communities also supports an inventory of the overall plant diversity (number of plant species) that occurs on a parcel of land. The focus of this biological assessment was to document a diversity of the plant communities on the Becks Creek Prairie.

Survey Results

Two plant communities were documented, the Mollisol Blackland Prairie and Northcentral Texas Austin Chalk Woodland Associations. These plant community associations needs further investigation on the Becks Creek Prairie as this site is in high quality natural condition with very few invasive plants present.

PLANT COMMUNITY ASSOCIATIONS

Common Name: Mollisol Blackland Prairie

Translated Name: Little Bluestem - Indiangrass - Big Bluestem - Prairie Bishop Mollisol Herbaceous Vegetation

Schizachyrium scoparium - *Sorghastrum nutans* - *Andropogon gerardii* - *Bifora americana* Mollisol Herbaceous Vegetation

Environmental Description: This tallgrass prairie community (Figure 1) occurs on Mollisols in the Texas Blackland Prairie region and the Fort Worth Prairie region (Diamond and Smeins 1990). The dominant species include Little Bluestem (*Schizachyrium scoparium*), Indiangrass

(*Sorghastrum nutans*), Big Bluestem (*Andropogon gerardii*), and Prairie Bishop (*Bifora americana*). Within the Blackland Prairie region, this type occurs primarily on the north-to-south-oriented Whiterock Cuesta, a limestone outcrop of late Cretaceous age, while it is situated on limestone of early Cretaceous age in the Fort Worth Prairie region. In both regions mid grasses including sideoats grama (*Bouteloua curtipendula*), hairy grama (*Bouteloua hirsuta*), and Texas wintergrass (*Nassella leucotricha*) are important. In the Fort Worth Prairie hairy grama (*Bouteloua hirsuta* var. *pectinata* (= *Bouteloua pectinata*)) can be dominant along with threeawns (*Aristida* spp.) on rocky outcrops with a variety of xeric forbs, including species such as Reverchon's false pennyroyal (*Hedeoma reverchonii*), polkadots (*Dyschoriste linearis*), Soft-hair marbleseed (*Onosmodium bejariense* var. *bejariense*), purple prairie clover (*Dalea purpurea*), golden prairie clover (*Dalea aurea*), nineanther prairie clover (*Dalea enneandra*), and twistleaf yucca (*Yucca pallida*). On similar sites in the Blackland Prairie region, Arkansas yucca (*Yucca arkansana*) replaces twistleaf yucca.



FIGURE 1. Becks Creek Blackland Prairie.

Common Name: Northcentral Texas Austin Chalk Woodland

Translated Name: Texas Oak – Cedar Elm – Texas ash Woodland Vegetation

Quercus buckleyi – *Ulmus crassifolia* – *Fraxinus albicans* Woodland Vegetation

Environmental Description: This forest (Figure 2) occurs on xeric to mesic rocky slopes over Austin Chalk limestone in northcentral Texas (Collin, Dallas, Ellis, Fannin, Grayson, and Rockwall counties, Texas). Stands are dominated by Texas oak (*Quercus buckleyi*), cedar elm (*Ulmus crassifolia*), and Texas ash (*Fraxinus texensis*). The canopy and subcanopy trees may also contain American elm (*Ulmus americana*) slipper elm (*Ulmus rubra*), bur oak (*Quercus macrocarpa*), pecan (*Carya illinoensis*), sugarberry (*Celtis laevigata*), chinquapin oak (*Quercus muhlenbergii*), red mulberry (*Morus rubra*), rusty blackhaw (*Viburnum rufidulum*), and eastern red cedar (*Juniperus virginiana*). Subcanopy shrub and vine associates include elbowbush (*Forestiera pubescens*), roughleaf dogwood (*Cornus drummondii*), coral honeysuckle (*Lonicera sempervirens*), rattan vine (*Berchemia scandens*), Carolina snailseed vine (*Cocculus carolinus*), Virginia creeper (*Parthenocissus quinquefolia*), sawtooth greenbrier (*Smilax bona-nox*), and grapes (*Vitis* spp.).



FIGURE 2. Northcentral Texas Austin Chalk Woodland along Becks Creek.

ANNOTATED CHECKLIST OF THE FLORA

The annotated checklist is divided into pteridophytes, gymnosperms, and angiosperms, which are subdivided into monocots and dicots. Family, genus, and species are arranged alphabetically beneath each major heading. Common names are included to facilitate ease of use by persons unfamiliar with botanical names. Plants with an “E” next to their name are endemic plants, found nowhere else but Texas. Plants with an asterisk (*) next to their name are non-native plants

CUPRESSACEAE	<i>Juniperus virginiana</i> L.	eastern red cedar
COMMELINACEAE	<i>Tradescantia edwardsiana</i> Tharp	plateau spiderwort (E)
CYPERACEAE	<i>Carex meadii</i> Dewey	Mead's sedge
CYPERACEAE	<i>Carex microdonta</i> Torr. & Hook.	littletooth sedge
CYPERACEAE	<i>Carex planostachys</i> Kunze	cedar sedge
CYPERACEAE	<i>Eleocharis obtusa</i> (Willd.) Schult.	blunt spikerush
CYPERACEAE	<i>Fimbristylis puberula</i> (Michx.) Vahl	hairy fimbry
IRIDACEAE	<i>Sisyrinchium angustifolium</i> Mill.	narrowleaf blue-eyed grass
IRIDACEAE	<i>Sisyrinchium campestre</i> E.P. Bicknell	prairie blue-eyed grass
JUNCACEAE	<i>Juncus effusus</i> L.	common rush
JUNCACEAE	<i>Juncus marginatus</i> Rostk.	grassleaf rush
LILIACEAE	<i>Allium drummondii</i> Regel	Drummond's onion
POACEAE	<i>Andropogon gerardii</i> Vitman ?	big bluestem
POACEAE	<i>Andropogon glomeratus</i> (Walter) Britton, Sterns & Poggenb.	bushy bluestem
POACEAE	<i>Aristida purpurea</i> Nutt.	purple threeawn
APIACEAE	<i>Bifora americana</i> Benth. & Hook. f. ex S. Watson	Prairie Bishop
POACEAE	<i>Bothriochloa ischaemum</i> (L.) Keng	K.R. bluestem (*)
POACEAE	<i>Bothriochloa laguroides</i> (DC.) Herter	silver bluestem
POACEAE	<i>Bouteloua curtipendula</i> (Michx.) Torr,	sideoast grama
POACEAE	<i>Bromus arvensis</i> L.	Japanese brome (*)
POACEAE	<i>Bromus pubescens</i> Muhl. ex Willd.	hairy woodland brome
POACEAE	<i>Chasmanthium latifolium</i> (Michx.) Yates	inland seaoats
POACEAE	<i>Dichanthelium</i> sp.	rosettegrass
POACEAE	<i>Elymus virginicus</i> L.	Virginia wildrye
POACEAE	<i>Leersia</i> sp.	cutgrass
POACEAE	<i>Lolium perenne</i> L.	rye grass
POACEAE	<i>Nassella leucotricha</i> (Trin. & Rupr.) Pohl	Texas wintergrass
POACEAE	<i>Panicum virgatum</i> L.	switchgrass
POACEAE	<i>Schizachyrium scoparium</i> (Michx.) Nash	little blusetem
POACEAE	<i>Sorghastrum nutans</i> (L.) Nash	Indaingrass
POACEAE	<i>Sorghum halepense</i> (L.) Pers.	Johnsongrass (*)
POACEAE	<i>Sporobolus clandestinus</i> (Biehler) Hitchc.	rough dropseed
POACEAE	<i>Tridens albescens</i> (Vasey) Woot. & Standl.	white tridens
SMILACACEAE	<i>Smilax bona-nox</i> L.	saw greenbrier
ACERACEAE	<i>Acer negundo</i> L.	boxelder
ANACARDIACEAE	<i>Rhus lanceolata</i> (A. Gray) Britton	prairie sumac
ANACARDIACEAE	<i>Rhus trilobata</i> Nutt. var. <i>trilobata</i>	aromatic sumac
ANACARDIACEAE	<i>Toxicodendron radicans</i> (L.) Kuntze	poison ivy
APIACEAE	<i>Chaerophyllum tainturieri</i> Hook.	hairyfruit chervil
APIACEAE	<i>Daucus carota</i> L.	Queen Anne's lace (*)
APIACEAE	<i>Eryngium leavenworthii</i> Torr. & A. Gray	Leavenworth's eryngo
APIACEAE	<i>Polytaenia nuttallii</i> DC.	Nuttall's prairie parsley
APIACEAE	<i>Sanicula canadensis</i> L.	Canadian blacksnakeroot
APIACEAE	<i>Torilis arvensis</i> (Huds.) Link	spreading hedgeparsley (*)
APIACEAE	<i>Zizia aurea</i> (L.) W.D.J. Koch	golden zizia
ASCLPIADACEAE	<i>Asclepias viridis</i> Walter	green antelopehorn
ASTERACEAE	<i>Ambrosia artemisiifolia</i> L.	annual ragweed

ASTERACEAE	Arnoglossum plantagineum Raf.	groovestem Indian plantain
ASTERACEAE	Artemisia ludoviciana Nutt.	white sagebrush
ASTERACEAE	Bidens bipinnata L.	Spanish needles
ASTERACEAE	Brickellia eupatorioides (L.) Shinnery var. texana (Shinnery) Shinnery	false boneset
ASTERACEAE	Carduus nutans L.	Nodding plumeless thistle (*)
ASTERACEAE	Centaurea americana Nutt.	American star-thistle
ASTERACEAE	Cirsium texanum Buckley	Texas thistle
ASTERACEAE	Echinacea angustifolia DC.	blacksamson echinacea
ASTERACEAE	Eclipta prostrata (L.) L.	false daisy
ASTERACEAE	Engelmannia peristenia (Raf.) Goodman & C.A. Lawson	Engelmann's daisy
ASTERACEAE	Erigeron philadelphicus L.	Philadelphia fleabane
ASTERACEAE	Erigeron tenuis Torr. & A. Gray	slenderleaf fleabane
ASTERACEAE	Evax candida (Torr. & A. Gray) A. Gray	silver pygmyweed
ASTERACEAE	Gaillardia pulchella Foug.	firewheel
ASTERACEAE	Gutierrezia texana (DC.) Torr. & A. Gray	Texas snakeweed
ASTERACEAE	Grindelia lanceolata Nutt.	narrowleaf gumweed
ASTERACEAE	Helianthus maximiliani Schrad.	Maximilian sunflower
ASTERACEAE	Hymenopappus scabiosaeus L'Hér.	Carolina woollywhite
ASTERACEAE	Lactuca floridana (L.) Gaertn.	woodland lettuce
ASTERACEAE	Liatis mucronata DC.	cuspl blazing star
ASTERACEAE	Lindheimera texana A. Gray & Engelm.	Texas yellowstar
ASTERACEAE	Marshallia caespitosa Nutt. ex DC.	puffballs
ASTERACEAE	Rapistrum rugosum (L.) All.	bastard cabbage (*)
ASTERACEAE	Rudbeckia hirta L.	black eyed susan
ASTERACEAE	Solidago altissima L.	Canada goldenrod
ASTERACEAE	Solidago ulmifolia Muhl. ex Willd.	elmleaf goldenrod
ASTERACEAE	Solidago sp.	goldenrod
ASTERACEAE	Symphyotrichum drummondii (Lindl.) G.L. Nesom	Drummond's aster
ASTERACEAE	Symphyotrichum ericoides (L.) G.L. Nesom	white heath aster
ASTERACEAE	Symphyotrichum praealtum (Poir.) G.L. Nesom	willowleaf aster
ASTERACEAE	Thelesperma filifolium (Hook.) A. Gray	stiff greenthread
ASTERACEAE	Verbesina alternifolia (L.) Britton ex Kearney	wingstem
ASTERACEAE	Vernonia baldwinii Torr.	Baldwin's ironweed
BORAGINACEAE	Lithospermum incisum Lehm.	Narrowleaf pacoan
BRASSICACEAE	Lepidium virginicum L.	peppergrass
BRASSICACEAE	Lesquerella gracilis (Hook.) S. Watson	spreading bladderpod
CACTACEAE	Opuntia humifusa (Raf.) Raf.	spreading bladderpod
CAMPANULACEAE	Lobelia cardinalis L.	Cardinal flower
CAMPANULACEAE	Triodanis perfoliata (L.) Nieuw.	devil's-tongue
CAPRIFOLIACEAE	Symphoricarpos orbiculatus Moench	coralberry
CAPRIFOLIACEAE	Lonicera albiflora Torr. & A. Gray	Western white honeysuckle
CAPRIFOLIACEAE	Lonicera japonica Thunb.	Japanese honeysuckle (*)
CAPRIFOLIACEAE	Lonicera maackii (Rupr.) Herder	Amur honeysuckle (*)
CAPRIFOLIACEAE	Lonicera sempervirens L.	coral honeysuckle

CAPRIFOLIACEAE	<i>Viburnum rufidulum</i> Raf.	rusty blackhaw
CARYOPHYLLACEAE	<i>Paronychia virginica</i> Spreng.	yellow nailwort
CARYOPHYLLACEAE	<i>Sambucus nigra</i> L.	Black elderberry
CARYOPHYLLACEAE	<i>Silene stellata</i> (L.) W.T. Aiton	white catchfly
CORNACEAE	<i>Cornus drummondii</i> C.A. Mey.	roughleaf dogwood
EBENACEAE	<i>Diospyros virginiana</i> L.	eastern persimmon
EUPHORBIACEAE	<i>Croton monanthogynus</i> Michx.	oneseed croton
EUPHORBIACEAE	<i>Argythamnia mercurialina</i> (Nutt.) Müll. Arg. var. <i>mercurialina</i>	tall silverbush
EUPHORBIACEAE	<i>Euphorbia bicolor</i> Engelm. & A. Gray	snow on the prairie
EUPHORBIACEAE	<i>Euphorbia spathulata</i> Lam.	warty spurge
EUPHORBIACEAE	<i>Phyllanthus polygonoides</i> Nutt. ex Spreng.	smartweed leaf-flower
EUPHORBIACEAE	<i>Tragia brevispica</i> Engelm. & A. Gray	shortspike noseburn
FABACEAE	<i>Acacia angustissima</i> (Mill.) Kuntze	Prairie acacia
FABACEAE	<i>Amorpha fruticosa</i> L.	desert false indigo
FABACEAE	<i>Astragalus crassicaucus</i> Nutt.	Groundplum milkvetch
FABACEAE	<i>Astragalus nuttallianus</i> DC.	Smallflowered milkvetch
FABACEAE	<i>Baptisia australis</i> (L.) R. Br.	blue wild indigo
FABACEAE	<i>Cercis canadensis</i> L. var. <i>canadensis</i>	eastern red bud
FABACEAE	<i>Dalea candida</i> Michx. ex Willd.	white prairie clover
FABACEAE	<i>Dalea purpurea</i> Vent.	purple prairie clover
FABACEAE	<i>Desmodium glutinosum</i> (Muhl. ex Willd.) Alph. Wood	pointedleaf ticktrefoil
FABACEAE	<i>Desmanthus illinoensis</i> (Michx.) McM. ex Robins. & Fern.	Illinois bundleflower
FABACEAE	<i>Gleditsia triacanthos</i> L.	honeylocust
FABACEAE	<i>Medicago lupulina</i> L.	black medick
FABACEAE	<i>Mimosa strigillosa</i> Torr. & A. Gray	powderpuff
FABACEAE	<i>Psoraleum tenuiflorum</i> (Pursh) Rydb.	slimflower scurfpea
FABACEAE	<i>Styphnolobium affine</i> (Torr. & A. Gray) Walp.	Eve's necklacepod
FABACEAE	<i>Vicia ludoviciana</i> Nutt.	Louisiana vetch
FAGACEAE	<i>Quercus macrocarpa</i> Michx.	bur oak
FAGACEAE	<i>Quercus muhlenbergii</i> Engelm.	Chinquapin oak
FAGACEAE	<i>Quercus buckleyi</i> Nixon & Dorr.	Texas oak
GERANIACEAE	<i>Erodium cicutarium</i> (L.) L'Hér. ex Aiton	Redstem stork's bill (*)
GERANIACEAE	<i>Geranium carolinianum</i> L.	Carolina geranium
JUGALNDACEAE	<i>Carya illinoensis</i> (Wangenh.) K. Koch	pecan
JUGALNDACEAE	<i>Juglans nigra</i> L.	black walnut
KRAMERIACEAE	<i>Krameria lanceolata</i> Torr.	rattany
LAMIACEAE	<i>Hedeoma hispida</i> Pursh	rough false pennyroyal
LAMIACEAE	<i>Hedeoma reverchonii</i> (A. Gray) A. Gray	Reverchon's false pennyroyal
LAMIACEAE	<i>Monarda citriodora</i> Cerv. ex Lag.	lemon beebalm
LAMIACEAE	<i>Salvia azurea</i> Michx. ex Lam.	Azure blue sagee
LAMIACEAE	<i>Scutellaria drummondii</i> Benth.	Drummond's skullcap
LAMIACEAE	<i>Linum berlandieri</i> Hook.	Berlandier's yellow flax
MALVACEAE	<i>Callirhoe involucrata</i> (T. & G.) Gray	winecup
MELIACEAE	<i>Melia azedarach</i> L.	Chinaberry (*)
MENISPERMACEAE	<i>Cocculus carolinus</i> (L.) DC.	Carolina snailseed vine

MORACEAE	<i>Morus rubra</i> L.	red mulberry
OLEACEAE	<i>Forestiera pubescens</i> Nutt.	elbowbush
OLEACEAE	<i>Fraxinus albicans</i> Buckley	Texas ash
OLEACEAE	<i>Fraxinus pennsylvanica</i> Marshall	green ash
OLEACEAE	<i>Ligustrum sinense</i> Lour.	Japanese privet (*)
ONAGRACEAE	<i>Calylophus berlandieri</i> Spach	Berlandier's sundrops
ONAGRACEAE	<i>Gaura</i> sp.	beeblossom
ONAGRACEAE	<i>Oenothera macrocarpa</i> Nutt. ssp. <i>macrocarpa</i>	Missouri primrose
ONAGRACEAE	<i>Oenothera speciosa</i> Nutt.	showy primrose
OXALIDACEAE	<i>Oxalis dillenii</i> Jacq.	wood sorrel
PLANTAGINACEAE	<i>Plantago virginica</i> L.	Virginia plantain
POLEMONIACEAE	<i>Ipomopsis rubra</i> (L.) Wherry	standing-cypress
POLYGONACEAE	<i>Eriogonum annuum</i> Nutt.	annual buckwheat
RAHMNACEAE	<i>Berchemia scandens</i> (Hill) K. Koch	rattan vine
RANUNCULACEAE	<i>Anemone berlandieri</i> Pritz.	tenpetal thimbleweed
RHAMNACEAE	<i>Ceanothus herbaceus</i> Raf.	Jersey tea
RHAMNACEAE	<i>Frangula caroliniana</i> (Walter) A. Gray	Carolina buckthorn
ROSEACEAE	<i>Geum canadense</i> Jacq.	white avens
ROSEACEAE	<i>Prunus mexicana</i> S. Watson	Mexican plum
ROSEACEAE	<i>Rubus riograndis</i> Bailey	Rio Grande dewberry
RUBIACEAE	<i>Galium aparine</i> L.	stickywilly
RUBIACEAE	<i>Galium texense</i> A. Gray	Texas bedstraw
RUBIACEAE	<i>Stenaria nigricans</i> (Lam.) Terrell var. <i>nigricans</i>	<i>Stenaria nigricans</i>
RUTACEAE	<i>Zanthoxylum clava-herculis</i> L.	Hercules club
SALICACEAE	<i>Populus deltoides</i> Bartram ex Marsh.	eastern cottonwood
SALICACEAE	<i>Salix nigra</i> Marsh.	black willow
SAPOTACEAE	<i>Sideroxylon lanuginosum</i> Michx. ssp. <i>albicans</i> (Sarg.) artes & Gandhi	gum bully
SCROPHULARIACEAE	<i>Agalinis</i> sp.	false foxglove
SCROPHULARIACEAE	<i>Castilleja indivisa</i> Engelm.	Indian paintbrush
SCROPHULARIACEAE	<i>Penstemon cobaea</i> Nutt.	cobaea beardtongue
SOLANACEAE	<i>Physalis angulata</i> L.	cutleaf groundcherry
SOLANACEAE	<i>Solanum carolinense</i> L.	Carolina horsenettle
ULMACEAE	<i>Celtis laevigata</i> Willd.	sugarberry
ULMACEAE	<i>Ulmus crassifolia</i> Nutt.	cedar elm
ULMACEAE	<i>Ulmus rubra</i> Muhl.	slippery elm
URTICACEAE	<i>Parietaria pensylvanica</i> Muhl. ex Willd.	Pennsylvania pellitory
VALERIANELLACEAE	<i>Valerianella radiata</i> (L.) Dufr.	beaked cornsalad
VERBENACEAE	<i>Glandularia bipinnatifida</i> (Nutt.) Nutt. var. <i>bipinnatifida</i>	<i>Glandularia bipinnatifida</i>
VERBENACEAE	<i>Verbena halei</i> Small	Texas vervain
VITACEAE	<i>Parthenocissus quinquefolia</i> (L.) Planch.	Virginia creeper
VITACEAE	<i>Vitis mustangensis</i> Buckl.	mustang grape
VITACEAE	<i>Vitis vulpina</i> L.	frost grape

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MEMO

DATE: April 24, 2014
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 14-11 – CityLine East

REQUEST

Scott Ozymy, on behalf of KDC Real Estate Development and Investments, is requesting amendment of the Planned Development (PD) zoning that currently regulates approximately 63 acres of undeveloped land located at the southeast corner of the President George Bush Turnpike (PGBT) and Plano Road. The proposed amendment would convert the existing conventional zoning regulations to a form-based code similar to that adopted for properties located west of Plano Road. The proposed code accommodates a mixed use development on a 52.6-acre tract, preserves a 5.7-acre open space tract and includes 4.2 acres of CityLine Drive right-of-way.

BACKGROUND

In December 2012 City Council adopted Ordinance No. 3893, which established the current zoning on the subject property as part of a larger PD district covering 147.5 acres located on the south side of the PGBT between Plano Road and Wyndham Lane. The PD potentially provides for up to 4.58 million square feet of non-residential development throughout the district, but geographically limits residential uses exclusively to the subject property – a maximum of 1,925 residential units at a minimum density of 30 units per acre. This request does not increase the number of residential units allowed.

The traffic impact analysis (TIA) approved in conjunction with the existing PD zoning established a threshold of 2.5 million square feet of non-residential development for the entire 147.5 acres based on required traffic mitigation improvements. Any additional non-residential development beyond 2.5 million square feet would first require approval of an updated TIA. This requirement would continue to apply to the 63-acre subject property.

Overall, the proposed development rights remain unchanged except for the following:

- Maximum allowable building height would be increased from 300 to 350 feet for the north half of the subject property (i.e., in the TOD Core Zone) and decreased from 300 feet to 225 feet for the south half of the property (i.e., in the TOD Mixed Use Zone). Heights could also be increased by up to 20% subject to approval of a minor modification.
- Parking requirements would be amended to match those used in the Bush Central Station Code west of Plano Road. Parking could be further reduced with approval of a minor modification provided adequate justification can be demonstrated with a parking demand analysis.
- No limitation would be imposed on the amount of non-residential development allowed specifically on the subject property; however, the TIA-imposed threshold of 2.5 million square feet would remain in effect for the entire 147.5 acre area, including the subject property.

The proposed CityLine East PD is similar to the existing Bush Central Station PD. However, the proposed code does allow for greater flexibility relative to street types, development frontages and the location of open space; provides for minor modifications related to parking ratios and building height; and includes another special frontage designation (Office Campus Frontage).

Compared to the existing conventional zoning, the proposed form-based code ensures a more predictable and market-resilient development outcome while also providing for a more streamlined development review and approval process.

No written correspondence has been received regarding this request and there were no speakers at the City Plan Commission public hearing.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 6-1 (Commissioner Linn opposed), recommended approval of the request subject to the attached CityLine East Planned Development Code and Regulating Plan.

ATTACHMENTS

- | | |
|-------------------------------|---|
| CC Public Hearing Notice | Proposed Code & Regulating Plan (Exhibit “B”) |
| CPC Draft Minutes (4-15-2014) | Applicant’s Statement |
| Staff Report | Notice of Public Hearing |
| Zoning Map | Notification List |
| Aerial Map | Ordinance 3893 |
| Area Oblique Aerials | |



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: 4/8/2014
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: April 11, 2014

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:30 p.m. on Monday, April 28, 2014, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 14-05

A request by Jim Douglas, representing Douglas Properties, Inc., for a change in zoning from I-M(1) Industrial and I-M(2) Industrial to PD Planned Development for the development of a single-family community to be located on approximately 13.6 acres of land located on the west side of Telecom Parkway at the northern city limits. The property is currently zoned I-M(1) Industrial and I-M(2) Industrial.

ZF 14-11

A request by Scott Ozymy, representing KDC Real Estate Development and Investments, to convert the conventional zoning standards under a PD Planned Development District to form-based standards under a PD Planned Development District to accommodate a mixed-use development on approximately 63 acres. The property is located on the south side of President George Bush Turnpike, east of Plano Road and is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**DRAFT - EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – April 15, 2014**

8. **ZF 14-11 – CityLine East:** Consider and take necessary action on a request to convert the conventional zoning standards under PD Planned Development District to form-based standards under a PD Planned Development District to accommodate a mixed-use development on approximately 63 acres. The property is located on the south side of President George Bush Turnpike, east of Plano Road.

Mr. Shacklett reported the applicant was requesting to convert the conventional Planned Development (PD) regulations on the property located at the southeast corner of President George Bush Highway (PGBH) and Plano Road to a form based code similar to the code for the property on the west side of Plano Road. He added the property in question was bounded by PGBH on the north, Plano Road on the west, CityLine Drive on the south, and additional open space (not part of the request) on the east.

Mr. Shacklett gave a brief history on the property noting that in the original zoning request in 2012, the property was rezoned to a PD and the allowable development rights were divided into four (4) distinct sub-districts - E1 through E4, with E1 as the area where the most density and the highest floor-to-area ratio (FAR) would be located. In addition, a Traffic Impact Analysis (TIA) was conducted and approved limiting the development to 2.5 million square feet of non-residential development with anything above that requiring another TIA.

Mr. Shacklett reviewed the character zones (TOD Core and TOD Mixed-use), building and garage heights, landscape and open space requirements, minor modifications, and street types - six (6) in all.

Mr. Shacklett closed his presentation by emphasizing the development rights would be similar to the property on the west side of Plano Road (State Farm campus), and noted the code would allow, upon approval, minor parking reduction, if justified; however, certain requirements could not be changed such as increasing height, add additional uses, and building relation to the street. He added that no correspondence, either in favor or opposed had been received.

Commissioner Frederick asked about the dotted gray line on the regulating plan.

Mr. Shacklett replied the line indicated a non-mandatory street that could allow for variations in street location, but if the developer decided not to build the street it would not have a major impact on the development.

Commissioner Roland asked to confirm that the Commission was not being asked to approve buildings that were closer to the existing residential or increase multi-family. He also wanted to know if the property in question would be similar in density and height to the property west of Plano Road being developed for State Farm.

Mr. Shacklett replied there would be no increase to the existing multi-family and the taller buildings would not be moved closer to the existing residential, and confirmed the height and density would be similar to the State Farm property.

Commissioner Linn expressed concern with the form based code application because it did not indicate where the buildings would be located. He also cited changes that had taken place in the development to the west, including moving one of the towers that affected the DART Light Rail station, and wanted to make sure the proposed development was similar in design and building location to that of the State Farm campus.

Mr. Shacklett replied the regulating plan indicated the character zones proposed for the property and the fifty pages of text in the code defined where the open spaces would be located, how buildings would be designed and located in relation to the street.

Regarding changes that took place on the property to the west, Mr. Shacklett said in 2010-2011 the property was rezoned from traditional standards to form based code and at that time it had a regulating plan with a specific layout of where the street would be located. However, in 2012, zoning for the northern 38.5 acres was amended and a new regulating plan was provided showing the layout of the streets and what is currently being developed.

Commissioner Linn asked if the applicant would be required, moving forward, to provide any renderings or elevations for the proposed buildings. He was also concerned that skyways were part of the State Farm development and was the addition of the skyways considered a minor modification.

Mr. Shacklett replied that Section 8 of the proposed code laid out the building design standards allowing the developer more flexibility to make minor changes as long as those changes stayed true to the regulating plan and building design standards of the code. Anything outside of the regulating plan or design standards would have to come back before the Commission for approval.

Regarding the skyway, Mr. Shacklett stated it was not in the code, but was not contrary to the code and was approved by staff as part of site plan approval.

Commissioner DePuy asked for clarification on what the Optional Campus Frontage would look like, particularly the screening of the parking area.

Mr. Shacklett replied the code states the screening could consist of vegetation, vertical structural elements, or double rows of canopy trees. Also, on page 12 of the PD code, Exhibit B, there is a definition of "Optional Transitional Campus Frontage" and five illustrative images suggesting different ways to screen the parking area.

Commissioner Maxwell asked what the difference was between Frontage Type A and B and where was the definition located in the code.

Mr. Shacklett replied that in Sections 5 and 9 there are the definitions of street types and cross sections, which are very descriptive of the location for the travel lanes, parking, pedestrians, street trees, etc. (i.e., street types 1 – 4 would be more compatible with a Type A - a more pedestrian oriented frontage). Also, in the staff report on pages 7 and 8, there are descriptions of how cross sections and street types interact.

Mr. Chavez added that if the developer wanted to front a parking garage on a street that would alert staff that the street would require a Type B Street frontage and the standards for that type street would apply.

Commissioner Maxwell asked if something was allowed by minor modification in the code, would that be a rubber stamp by the City, or is there some type of oversight on the process.

Mr. Shacklett stated when the developer goes through the development plan submittal process, there will be items on the plans that meet the code, but if a minor modification is requested and was within one of the set standards, then staff could approve the modification. However, if the request did not meet the standard as described in the code, then the plans would be sent back to the developer to be changed or they could submit documentation justifying their request. If staff still denies the developer's request, the developer has the option to appeal the decision to the City Council.

Commissioner Maxwell stated the proposed code seemed to have more allowable minor modifications than the PD on the west side of Plano Road. He added that there seemed to be a more liberal use of minor modifications in the proposed code and thought the applicant might be able to provide some insight.

Mr. Shacklett acknowledged there were a few more modifications in the proposed code; however, the list would only act as a guideline for quantifiable minor modifications. The main test of whether a request was truly a minor modification was found on page 6, Section 3.8.1 through 3.8.6.

Mr. Chavez added that whenever there is a request for a minor modification, the request is reviewed by a staff committee.

Commissioner Roland asked if the 2.5 million square feet mentioned in the TIA included the proposed buildings on the east side of Plano Road.

Mr. Shacklett replied the square footage limitation in the TIA pertained to the entire 147 acres on the east side of Plano Road and anything above that limit would require another TIA and approval from the Commission.

Chairman Hand asked how much of the square footage limitation was dedicated to the future development for the Raytheon Company.

Mr. Shacklett said he was not sure how much square footage would be used by Raytheon.

Commissioner Springs asked for clarification regarding “per City standards” as it related to parking ratios listed on the chart comparing existing entitlements versus the proposed entitlements.

Mr. Shacklett replied the City has different parking standards for different uses (office, retail, restaurant, etc.) and those ratios would apply in the proposed development. In addition, Mr. Chavez noted the standards were the same as those used on the west side of Plano Road.

Commissioner Springs noted the use of the terms “attics” and “mezzanines” on page 8 of the Code and since those terms have very specific terms in the building code, he suggested that it be made clear the definitions did not usurp the building code.

With no further questions for staff, Chairman Hand opened the public hearing.

Mr. Michael Alost, representing KDC, 20 Ashton Court, Dallas, Texas, stated the success of the development on the west side of Plano Road was driving the growth for the property to the east, and their goal was to develop a balance of uses with live, work and play intermixed with public amenities.

Mr. Alost pointed out that the form based code used on the west side of Plano Road benefited the development by allowing it the speed to meet the market demands, but wanted to assure the Commission that the code had very specific requirements from the spacing of sidewalks, amount of treatment for the buildings, spacing of trees, etc., by unifying control over the whole development and allowing the creation of character zones similar to other areas in the Metroplex.

Mr. Alost said the goal of the development on the east side of Plano Road was to take what was done on the west side and carry it over to the east side to create an east/west connection so there will be continuity between the two developments. He noted that the form based code controls would maintain the quality and character of the west allowing the graduation of scale from high density on the northern edge and transitioning down to the surrounding neighborhoods to the south.

Mr. Alost concluded his presentation by stating that form based codes are a powerful economic development tool that helps get the product to market quickly, shapes the form of the buildings and streets, sets the requirements for the public amenities, and ties the two developments together.

Chairman Hand said there had been concern about the amount of covered parking at the State Farm development and wanted to know what the parking rate was for the current development, and how many people are anticipated to live on property and take the DART Light Rail.

Mr. Alost replied the parking ratio was 4.5:1,000 for the buildings, plus first floor parking that will support the retail. In addition, ridership statistics had been received from DART,

but the parking ratios would be based on the City's requirements of a certain number of spaces needed per square foot based on the type of business.

Chairman Hand asked about the land on the northern edge of the property closest to PGBH and if that would be parking or another building.

Mr. Alost replied they anticipated the property would be another building site.

Commissioner Maxwell expressed concern that the proposed form based code allowed more minor modifications, especially on the street cross sections, than the code for the property to the west.

Mr. Alost said their plan was to maintain the same palate of roadways and streets as on the west side of Plano Road, as indicated in the plan, but at the same time allow flexibility in the plan. He gave an example of a minor modification on CityLine West where the form based code required the street trees to be in the sidewalk, but that requirement created a very narrow path for the pedestrian traffic so work was done with staff to move the trees to "bump outs" within the parking zone.

Commissioner Maxwell asked if the cross section of any of the streets shown on the regulating plan, either mandatory or non-mandatory, could be modified through minor modification.

Mr. Alost replied a minor modification could be granted, but only after the staff committee reviewed the request and the applicant's justification for the change. He added that Type A streets were already committed and could not be changed.

Mr. Shacklett stated that although the regulating plan calls out each of the street sections, if justification was made the cross sections could be adjusted if the modification met the specific criteria.

Commissioner Linn asked if the applicant thought the area of land north of State Street would be large enough to handle another building and parking. He also expressed concern about the height of any parking structure and the fact that it was not called out on the regulating plan. Linn asked the applicant if the structure would be the same height as those on the west side of Plano Road.

Mr. Alost replied that the parcel in question would be large enough to handle an office project with structured parking in addition to the parking for State Farm Phase 2, Tower 4.

Regarding the height of the parking structures, Mr. Alost said the height would be similar to the west.

Commissioner Linn asked if the applicant would be agreeable to limiting the height of any new parking structure to same height as those on the west side of Plano Road.

Mr. Alost said they would not be disagreeable to any suggestions that were reasonable, but wanted to maintain flexibility until the development was further along.

Commissioner Linn noted the skywalks between the buildings on the west and asked if a skyway was planned to span Plano Road. He also expressed concern that the existing skyways were counterintuitive by taking pedestrian traffic off the street while trying to encourage commercial retail at street level.

Mr. Alost acknowledged there were skyways between some of the buildings under construction on the west, but they were not open to the public and would only be used by State Farm employees to allow ease of movement between their buildings. In addition, he said there may be functional reasons to have a skyway across Plano Road, but that was not a certainty at the present time.

No further questions or comments were received and Chairman Hand closed the public hearing.

Motion: Commissioner Roland moved to recommend approval of Zoning File 14-11 as presented; second by Commissioner Maxwell. Motion approved 6-1 with Commissioner Linn opposed.



Staff Report

TO: City Council
THROUGH: Michael Spicer, Director of Development Services **MS**
FROM: Sam Chavez, Assistant Director – Development Services **SC**
DATE: April 24, 2014
RE: **Zoning File 14-11:** CityLine East

REQUEST:

Amend the existing PD Planned Development District (Ord. 3893) relative to approximately 63 acres of land by converting the existing conventional zoning standards to form-based standards to accommodate a mixed-use development.

APPLICANT / PROPERTY OWNER:

Scott Ozymy, KDC Real Estate Development and Investments / BCS East Land Investments, LP

TRACT SIZE AND LOCATION:

Approximately 63 acres, located on the south side of President George Bush Turnpike, east of Plano Road, including a 52.6-acre development tract, a 5.7-acre open space tract and approximately 4.2 acres of CityLine Drive right-of-way.

EXISTING DEVELOPMENT:

The property is currently undeveloped.

ADJACENT ROADWAYS:

PGBT: Freeway/Turnpike; 72,900 vehicles per day on all lanes, eastbound and westbound, east of Central Expressway (2013).

Plano Road: Six-lane, divided arterial; 24,800 vehicles per day on all lanes, northbound and southbound, south of Renner Road (February 2013).

SURROUNDING LAND USE AND ZONING:

North: City of Plano
South: Undeveloped; PD Planned Development
East: Undeveloped; PD Planned Development and C-M Commercial
West: Mixed-use; PD Planned Development

FUTURE LAND USE PLAN:

Regional Employment

Higher density development is appropriate with the primary use being high-rise office. Secondary uses include retail centers and entertainment venues.

Future Land Uses of Surrounding Area:

North: City of Plano

South: Regional Employment

East: Regional Employment

West: Transit Village and Regional Employment

EXISTING ZONING:

PD Planned Development

TRAFFIC IMPACTS:

The following traffic impact information is being provided as background information only. The applicant's current request does not warrant a revised Traffic Impact Analysis (TIA) as it does not increase land use intensity or modify the proposed mix of land uses beyond what was studied in 2012 and described below.

As part of the 2012 rezoning application for the subject property and additional property extending eastward to Wyndham Lane and southward to Renner Road (approximately 147.5 acres), a Traffic Impact Analysis (TIA) was submitted by the applicant. The TIA was conducted by Kimley-Horn & Associates, Inc., a traffic engineering and planning consulting firm hired by the applicants to evaluate the combined impact of the developments on the roadway system.

The applicant's consultant utilized the City's standard TIA guidelines and prior Kimley-Horn studies conducted in Richardson. As part of the study, new traffic counts were conducted at signalized intersections and on all surrounding arterial roadway and frontage roads.

The following scenarios were initially analyzed per the City TIA guidelines:

- 2020 Background Traffic (existing 2010 plus typical growth)
- 2020 Background Traffic plus Full Site build-out Traffic
- 2035 Background Traffic (existing 2010 plus typical growth)
- 2035 Background Traffic plus Full Site build-out Traffic

To assess traffic impacts associated with the proposed development modification, basic land use assumptions were established by the applicant. The table below depicts land use intensity assumptions utilized in the TIA for the proposed zoning revision.

The table below depicts new automobile trip generations associated with the proposed development.

Trip Generation Table

East Side Tract

Land Uses	Amount	Units	ITE Code	Daily Total	AM Peak Hour			PM Peak Hour		
					IN	OUT	TOTAL	IN	OUT	TOTAL

East Side Corporate Office

General Office	922,000	SF	710	7,102	995	136	1,131	189	922	1,111
<i>Transit Reduction 5%</i>				355	50	7	57	9	46	55
<i>External Automobile Trips</i>				6,747	945	129	1,074	180	876	1,056

East Side Mixed-Use Site

General Office	1,100,000	SF	710	8,122	1,147	156	1,303	223	1,087	1,310
Shopping Center/Retail	200,000	SF	820	10,656	148	90	238	457	496	953
Hotel	300	Rooms	310	2,312	92	64	156	92	88	180
Apartment/Multifamily	2,000	DU	220	12,244	197	787	984	727	391	1,118
<i>Gross Trip Generation</i>				33,334	1,584	1,097	2,681	1,499	2,062	3,561
<i>Internal Trips</i>				3,040 <i>9.1%</i>	35	35	70 <i>2.6%</i>	141	141	282 <i>7.9%</i>
<i>External Trips After Internal Capture</i>				30,294	1,549	1,062	2,611	1,358	1,921	3,279
<i>Transit Reduction 5%</i>				1,515	77	53	130	68	96	164
<i>External Automobile Trips</i>				28,779	1,472	1,009	2,481	1,290	1,825	3,115
<i>Combined East Side External Automobile Trips</i>				35,526	2,417	1,138	3,555	1,470	2,701	4,171

Based on the findings of the TIA, several roadway improvements were recommended as mitigation measures to be implemented by the developer and would adequately accommodate future traffic conditions.

- Renner Road:
 1. Westbound right-turn deceleration lane at all proposed driveways between Wyndham Lane and Plano Road
- Plano Road:
 1. Northbound Right Turn bays / Auxiliary Lane – Renner Road to Bush Turnpike
 2. Southbound Left Turn Lanes at existing median opening for Infocom Drive and , Retail Street
 3. Traffic Signals at Infocom Drive and Retail Street Drive. Infocom Drive will be located between Renner Road and the PGBT frontage road, closer to Renner Road. Retail Street Drive will be located north of Infocom Drive and south of the PGBT frontage road.
 4. Improved Right Turn Lane on Renner Road with free-flow into auxiliary lane on Plano Road
- PGBT Frontage Road:
 - Eastbound right-turn deceleration lane at all proposed driveways between Plano Road and Wyndham Lane

After a thorough review of the TIA and its recommendations, City staff was able to conclude the following:

- Adequate provision of access and circulation drives will evenly distribute the traffic to the Arterial and Freeway frontage road system minimizing the impact to any specific link on the roadway network.
- Significant levels of roadway capacity enhancements including additional turn bays and auxiliary lanes on Plano Road, Renner Road, and the PGBT Frontage Road are proposed by the applicant as part of the zoning to maximize the efficiency of the roadway network.
- Residents in the Foxboro neighborhood south of Renner Road may find it more difficult to enter and exit their neighborhood in the future when traffic volumes along Renner Road and Plano Road increase. A potential solution to this issue might be to signalize the intersection of Renner at Owens Boulevard if warrants are met.
- Some local residents are concerned that the additional traffic will tempt motorists to use the local streets and cut-through the existing neighborhood. City staff will conduct traffic counts at each of the five residential street entrances to the neighborhood to establish an existing base line traffic volume condition. If issues occur in the future, Staff will use these base counts to evaluate if cut-through traffic is increasing and to help determine the appropriate remedy to the situation.

The above conclusions were based on the land use assumptions utilized in the TIA. The applicant has agreed to cap the intensity of some land uses; however, if a significant increase in land use intensity or a major modification to the proposed mix of land uses is proposed in the future, a revised TIA will be required.

As part of the approved PD ordinance (Ordinance 3893), a condition was included stating that if development were to exceed 2.5 million square feet of non-residential development, an updated TIA must be submitted for each phase of development in excess of 2.5 million square feet of non-residential development. As part of this zoning request, the 2.5 million square foot condition regarding an updated TIA would remain intact.

STAFF COMMENTS:

Background:

The subject property was rezoned from R-1500-M Temp, R-1800-M Residential, LR-M(2) Local Retail, and I-M(1) Industrial to PD Planned Development and C-M Commercial in 1987. The subject property was divided into four (4) separate tracts within the PD. A mix of uses including residential (single-family or multi-family), retail, and office were allowed throughout the 147.5-acre property. This property was zoned along with much of the property along PGBT between Custer Parkway and Jupiter Road in anticipation of the construction of the SH 190.

In December of 2012, City Council approved a rezoning request for the subject property to a PD Planned Development District that accommodated a mixed-use development. The 147.5-acre PD was divided into four (4) development tracts and two (2) open space tracts. Overall, a total of approximately 7.8 million square feet of non-residential development and 1,925 residential units are allowed per the existing zoning; however, no more than 2.5 million square feet of non-residential development is allowed until an updated TIA is submitted and approved.

The subject development parcel (Parcel E-1 in Ordinance 3893) is approximately 52.6 acres and currently includes the development rights for approximately 4.58 million square feet of non-

residential development and 1,925 residential units (to be built at a minimum density of 30 dwelling units per acre).

Applicant's Request

The applicant's request is to convert the current development rights for the 52.6-acre subject development parcel from conventional zoning standards to form-based standards. The proposed Code is similar to the form-based code approved on the west side of Plano Road, the current site of the KDC/State Farm development. The applicant, who owns the property on the west side of Plano Road, desires to utilize a form-based code on this property as well. The proposed code allows for a predictable vision through its regulatory nature. The visual aspect of the development is regulated through building heights, façade treatment and the relationship of the building to the street. The Code provides the community and developer with the opportunity to respond to market demands in an expedient and predictable manner, both in terms of a streamlined staff level approval and the flexibility to allow a mix of uses in the buildings as markets shift in the future.

The proposed CityLine East Planned Development Code creates two (2) distinct Character Zones which provide for different building forms within the subject site. Each Character Zone is identified on the Regulating Plan. The following provides a brief description of the major sections of the CityLine East Planned Development Code.

Regulating Plan (Appendix A) represents the zoning map for the subject site. There are two (2) proposed Character Zones including TOD Core (north half of property) and TOD Mixed Use (south half of property). For a detailed list of proposed allowed uses in each Character Zone please refer to the Schedule of Uses (Section 6, Table 6.1) in the Code.

Administration (Section 3) establishes provisions for review and approval of development applications within the District. The Code allows the City Manager or designee the authority to approve development plans that conform to the PD and Chapter 21 of the City of Richardson Code of Ordinances. The Code further provides authority for the City Manager or designee to approve requests for minor modifications for changes that do not:

- Materially change the circulation or building location
- Change the relationship between the building and street
- Allow a use not authorized in the Code
- Allow a greater height than authorized in the Code
- Change street cross-sections except as related to unique development context

Any other changes that do not meet the above criteria would be processed as an amendment to the Code and is subject to a public hearing before the City Plan Commission and City Council.

Building Form & Development Standards (Section 7) are established in text and graphic form for each Character Zone, which shall be reviewed for compliance and includes following elements:

- Building Placement
 - Build-To Zone / Setback
 - Building Frontage

- Building Height
- Special Frontage Requirements
 - Ground floor height requirements and use restrictions for certain frontages
- Parking & Service Access
 - Parking Location, Off-Street Parking Standards
 - Driveways and Services
- Encroachments

Building Design Standards (Section 8) are used to establish a coherent urban character, which will be reviewed for compliance and includes the following elements:

- Building Orientation
- Design of Parking Structures and Single-family Garages
- Design of Automobile Related Building Site Elements
- Roof Form
- Façade Composition
- Windows and Doors

The table below provides a comparison of the current traditional zoning standards with the proposed CityLine East PD Code form-based standards.

	EXISTING (Ord. 3893 – Parcel E-1)	PROPOSED CityLine East PD
Allowed Uses	Retail, Restaurant, Office, Church, Full-service Hotel, Limited Service Hotel (by Special Permit only), Movie Theater, Research Labs, Institutional uses, Data Centers, and Single-family & Multi-family dwelling units	Same uses allowed in PD. Additional uses allowed within the Bush Central Station PD would be allowed in this PD as well.
Building Regulations	Minimum 85% masonry material, including brick, stone, cast stone, 3-step stucco, rock, marble, granite, curtain glass, glass block, ventilated façade systems (architectural metal panels), factory painted metal panels and concrete tilt wall panels	Minimum 85% masonry on each building façade including brick, stone, cast stone, 3-step stucco, rock, marble, granite, curtain glass, glass block and architectural pre-cast concrete panels. Additional materials may be allowed through a minor modification.
Height Regulations	Maximum 300 feet, excluding mechanical rooms and non-occupied penthouses	TOD Core: 350 feet TOD Mixed Use: 225 feet (the maximum height can be increased by up to 20% through a minor modification) Although the maximum height allowed is higher in TOD Core Character Zone than currently allowed, the TOD Mixed Use has been reduced to limit the increased height to the properties to the north side of the tract, adjacent to PGBT.

Density	<p>Non-residential: maximum floor area ratio FAR of 2:1 (allows up to 4,582,512 s.f. on non- residential development but subject to revised TIA requirements)</p> <p>Residential: maximum 1,925 dwelling units at a minimum density of 30 units/acre</p>	<p>Non-residential: No maximum (subject to revised TIA requirements)</p> <p>Residential: maximum 1,925 dwelling units</p>
Landscaping	Minimum 10% of gross land area, excluding land within floodways	Minimum 10% of CityLine East PD; although a portion will be located in existing floodway, a minimum of 2.06 acres of the subject 52.6-acre development tract will be required to be landscaped. Including the required 6.44 acres of mandatory open space along Plano Road and in the floodway, a minimum of 14.6% of landscaping will be provided between the two tracts.
Parking	Parking is required per the City’s standard parking ratios for retail, restaurant, office, hotels, and residential uses	<p>1 space per 300 s.f. for non-residential uses</p> <p>1.5 spaces per residential unit</p> <p>1 space per hotel room</p>
Minor Modifications	Minor modifications are allowed by approval of the City Manager or designee for changes, including changes a building footprint that comply with approved development standards, changes that do not increase building coverage, F.A.R., building height, or density, and changes that do not substantially change circulation on or adjacent to the site.	The same modifications are allowed in the proposed PD along with additional modifications as described below in a comparison between the Bush Central Station PD and the CityLine East PD.

Differences Between Bush Central Station PD & Proposed Code

Street Types: The Bush Central Station PD contains a regulating plan that specifically designates the location of streets, whether the street is Type ‘A’ frontage (pedestrian-oriented) or Type ‘B’ frontage (vehicle/service-oriented), and the specific cross-section for each individual street. Through a minor modification, cross sections can be modified as it relates to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation, and street tree plantings. However, the required street designation for each street is specifically noted on the Regulating Plan, and all streets are mandatory.

The Bush Central Station PD Code and proposed CityLine East Code use similar terminology when referring to streets and how buildings are constructed in relation to the street. First, a street cross-section refers to the physical layout of the street as graphically depicted in each code. The cross-sections graphically depict the right-of-way width, number and width of lanes, on-street

parking configuration, and pedestrian easement. Secondly, the way in which buildings address the street is referred to as the development frontage (either a Type 'A' frontage or Type 'B' frontage). Last, proposed streets are shown on the Regulating Plan as either mandatory or non-mandatory.

The CityLine East Code, as proposed, contains street cross sections (Street Types 1-6 as listed in Section 9 of the Code) as well as regulations regarding Type 'A' or Type 'B' frontage requirements (which includes build-to-zone requirements, building frontage requirements, garage design requirements, allowable parking location). The street, including whether it is a Type 'A' or Type 'B' frontage and the specific cross-section are not mandated by the Regulating Plan except as stated below. However, Street Types 1-4 are more conducive to use with Type 'A' frontage whereas Street Types 5-6 are conducive to use with Type 'B' frontage.

The proposed code designates recommended Type 'A' and Type 'B' frontages and allows for multiple cross-sections to be utilized allowing for maximum flexibility depending on the proposed development for each block. This flexibility does not apply to the street shown in blue on the Regulating Plan (noted as Street Type '1A' on Regulating Plan and located in southwest portion of the tract). That street will be subject to Type 'A' frontage requirements as well. Also, the flexibility is further limited by requiring that, for each block, at least on block face per each block shall meet the Type 'A' frontage standards. The goal is to maintain continuity of adjacent street or block face frontages when determining which block face shall be a Type 'A' frontage.

Office Campus Frontage: The Bush Central Station PD contains special frontage requirements which are in place to address specific requirements and transitions based on street frontage and adjacency for certain blocks based on their specific location within the Character Zones. An example is a Main Street Frontage Requirement that requires that ground floors not be occupied by residential units for a depth of thirty (30) feet so as to provide ground floor retail space for those frontages designated Main Street Frontage.

The proposed CityLine East Code includes Special Frontage Requirements including Main Street Frontage as well as a new Special Frontage called Transitional Campus Frontage. This frontage is located on either side of the central east-west street on the eastern side of the subject development tract as shown on the Regulating Plan. This frontage is optional and allows for the development of a more traditional office campus as it relates to the building's relationship to the street. Rather than requiring the building to be located within a build-to-zone close to the street, the building is allowed to be set back up to one-hundred (100) feet behind the sidewalk. Furthermore, surface parking would be allowed within an area in front of the building, not to exceed 70% of the setback area and may utilize specialty paving, patterns or textures within the parking area. Screening of the parking area and vehicles would be required and could be provided with a vegetative screen, freestanding vertical structural elements, or a double row of canopy trees.

Minor Modifications: The Bush Central Station PD allows for minor modifications which are changes that do not increase height or building area, change the building relationship to the street, or do not materially change the circulation on the site. These modifications can be

approved by the City Manager or designee for changes as noted in the table in Section 3 of the Code. Allowable changes include:

- Increase/reduction in the size of a Character Zone, up to 25%.
- Increase/reduction of build-to-zones/setbacks, up to 20%.
- Reduction of building frontage requirements, up to 15%.
- Movement of street location up to 150 feet in any direction as long as connectivity is maintained.
- Changes to street cross section to accommodate specific and unique development context.

The proposed CityLine East Code would allow the same minor modifications as allowed in the Bush Central Station PD, but also includes additional minor modifications as follows:

- Addition of new streets – The streets are required to be selected from the cross-sections in Section 9 and cannot create block faces smaller than 200 feet.
- Increase in building height – A building can exceed the maximum building height within a Character Zone by up to 20%. This would allow a maximum height of 420 feet in the TOD Core Character Zone and 275 feet in the TOD Mixed Use Character Zone.
- Change of Development Frontage Designation – Up to 30% of a required Type ‘A’ frontage could be converted to a Type ‘B’ frontage to allow for buildings along a portion of that frontage to deviate from the Type ‘A’ requirements. This would allow parking at the ground floor along the street for that portion; however, such ground floor parking facades shall be treated consistently with the rest of the block to maintain the continuity of the Type ‘A’ street as much as possible.
- Reduction in off-street parking – Parking within the PD may be reduced by up to 20%.
- Allowance of additional building materials – This would allow additional material types to be counted as masonry materials to provide flexibility in the use of materials as builder and tenant preferences change, specifically related to the use of materials by retailers.

Parking: The proposed parking requirements are the same as the Bush Central Station PD with the exception of the addition of a specific requirement for hotel uses. The proposed ratio of one (1) space per room is consistent standard City parking requirements for hotels. In addition, the applicant has also proposed that a Minor Modification to allow up to a 20% reduction in parking be included in this Code. The modification request may be subject to a shared parking agreement and/or a parking demand analysis being provided to the City.

Open Space: The Bush Central Station PD specifically designates the amount and location of the mandatory park and open space as well as non-mandatory greens and squares. Within the entirety of the 57-acre Bush Central Station PD, there is a requirement for 5.37 acres of mandatory open space (approx. 9.4% of PD) and 0.54 acres on non-mandatory open space (approx. 0.1% of the PD) for a total of approximately 9.5% of open space within the PD. Additional civic/open space may also be provided within the Character Zones that are not specifically designated on the Regulating Plan.

The proposed CityLine East Code provides similar requirements for open space. Within the 58.3 acres within the PD (52.6-acre development tract and 5.7-acre open space tract) which excludes CityLine right-of-way, the minimum amount of open space to be provided is as follows:

- A 5.56-acre Civic/Open Space shall be provided along the east side of the PD as shown on the Regulating Plan and 0.88 acres shall be provided along Plano Road for a total of 6.44 acres as noted on the Regulating Plan.
- Additionally, a minimum of 60% (2.06 acres) of the 3.44 acres shown as “Civic Space – 60% Mandatory/40% Non-Mandatory) on the Regulating Plan shall be required within the PD.

The total minimum Civic/Open Space that shall be provided within the PD is 8.5 acres which is approximately 14.6% of the entire PD, excluding CityLine right-of-way.

Conclusion

Based on staff’s review of the applicant’s request, proposed Code and Regulating Plan are appropriate. The proposed changes do not increase the allowable number of residential units nor does it allow non-residential development in excess of the already approved TIA for the subject property and surrounding area. The proposed Code and Regulating Plan create a tool that furthers the proposed community vision through its regulatory nature and its predicable physical result by its concentration on the visual aspect of the development through building heights, façade treatment and the relationship of the building to the street through compact, walkable urbanism.

Compared with the current zoning entitlements, the key differences are an increase in allowable building height along PGBT (with a decrease in allowable building height along CityLine Drive), the ability to request a Minor Modification for up to a 20% reduction in parking, and the removal of a maximum F.A.R. (although the current entitlements and proposed entitlements are limited to the amount of allowable non-residential as determined by the approved TIA).

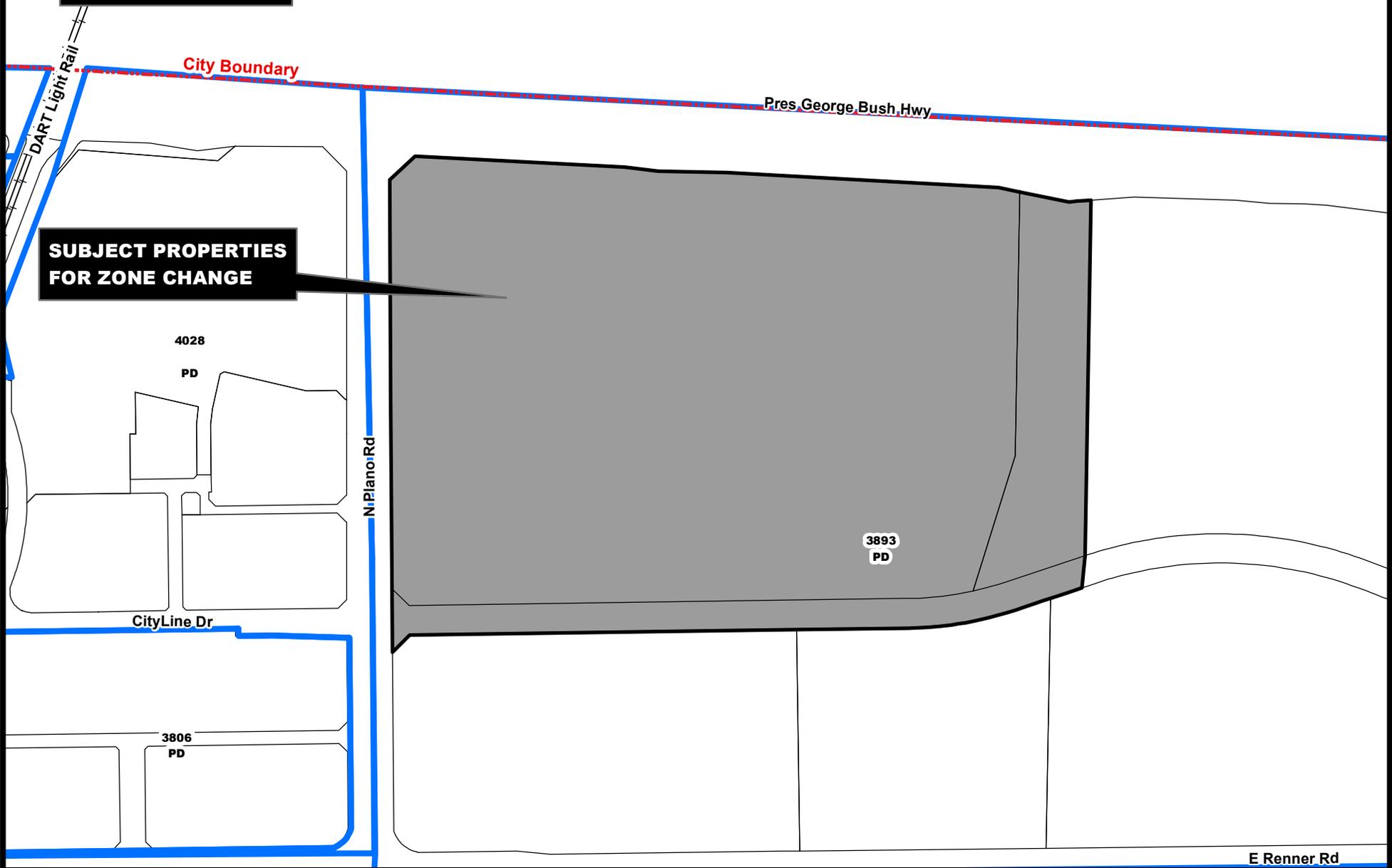
Correspondence: As of this date, no correspondence has been received.

Motion: On April 15, 2014, the City Plan Commission recommended approval of the request as presented on a vote of 6-1 (Commissioner Linn opposed) subject to the following conditions:

1. CityLine East PD Code, attached hereto as Exhibit “B”, shall be the governing development code for implementation for 62.5 acres of land described on attached Exhibit “A” and depicted on Appendix A-1 of Exhibit “B”. Said tract of land shall be zoned PD Planned Development and shall be developed and used in conformance with Exhibit “B” for all purposes.
2. The maximum number of residential units shall be 1,925 constructed at a minimum density of thirty (30) units per acre.
3. In the event development exceeding 2.5 million square feet of non-residential development is ever proposed for the subject property and property referenced in Ordinance 3893, a traffic analysis must be submitted with the development plan for each

phase of development in excess of 2.5 million square feet on non-residential development.

ZF 14-11



ZF 14-11 Zoning Map

Updated By: shacklett, Update Date: April 1, 2014
File: DSI\Mapping\Cases\Z\2014\ZF1411\ZF1411 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 14-11 Aerial Map

Updated By: shacklett, Update Date: April 1, 2014
File: DSI\Mapping\Cases\Z\2014\ZF1411\ZF1411 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





US-75

DART Light Rail

Routh Creek Pkwy

PG&B T

Subject Property

State Farm /
CityLine

CityLine Dr

Zale Corson Project

Plano Rd

Renner Rd



Subject Property

**State Farm /
CityLine**

State St

Routh Creek Pkwy

DART Light Rail

PGBT

Remner Rd

Plano Rd

CityLine Dr

**Oblique Aerial
Looking East**

CITYLINE EAST PLANNED DEVELOPMENT DISTRICT

Exhibit B



DRAFT
APRIL 11, 2014

DEVELOPED FOR



BY
GATEWAYPLANNING
A VIALTA GROUP PARTNER

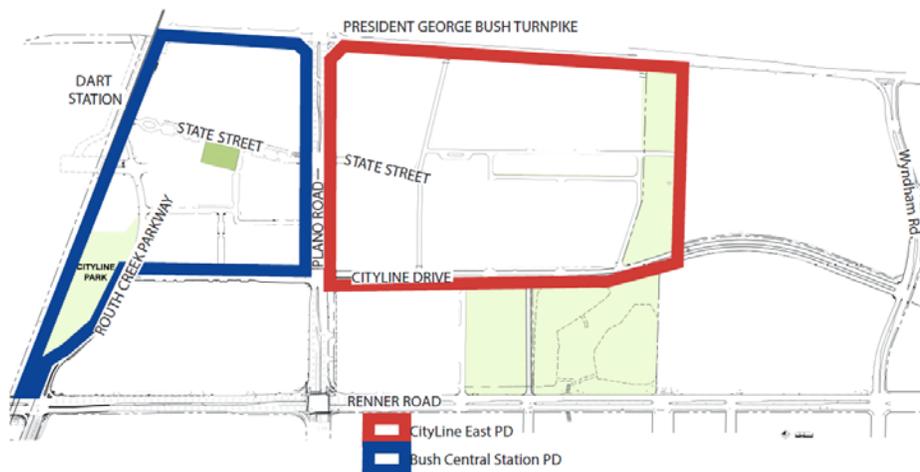
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Section 1. Purpose and Intent:

The purpose of the CityLine East Planned Development Code, hereafter known as the CityLine East PD, is to support the expansion of the Bush Central Station eastward across Plano Road into a pedestrian-oriented, mixed-use urban development environment. It builds on the success of the Bush Central Station development with convenient access to rail transit, shopping, employment, housing, and regional retail services. The goal of the CityLine East PD is to promote the expansion of a regional employment center within an efficient, compact land use pattern; encourage pedestrian activity; reduce the reliance on private automobiles; and provide a more functional and attractive community through the use of recognized principles of urban design.

- 1.1 Economic Development – The CityLine East PD and corresponding standards are created to support economic development, sustainable tax base, and job creation by establishing adjacency predictability of private development within a flexible, market responsive framework that supports and leverages investment in and around the CityLine East PD.
- 1.2 Implement the Design Goals of the CityLine East – In conjunction with Bush Central Station PD, the objective of the CityLine East PD is to foster a major regional employment center with significant regional retail and residential uses within convenient walking distance from the existing transit station and potential transfer station to the Cotton Belt rail line. The existing transit station provides a connection to 12 member cities of Dallas Area Rapid Transit (DART) including Dallas. Development within this area would be of high intensity, accommodating large scale office and retail users while providing for moderate scale mixed use and residential within portions of the CityLine East PD (see location map below).
- 1.3 Establish Specific Development Standards – The CityLine East PD implements the vision for Bush Central Station as established in the City’s Comprehensive Plan and the CityLine East Regulating Plan, hereafter known as the Regulating Plan (Appendix A). The Regulating Plan shall provide guidance to property owners, developers, and the City on the form, character, and intensity of future development in the CityLine East. Creation of different Character Zones within CityLine East enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote sustainability, public welfare, walkable mixed use development, housing variety and transportation choice.



CityLine East Location Map

Section 2. Components of the Code:

2.1 The standards in this CityLine East PD shall apply to all CityLine East development unless otherwise specified in this Code. Development of property within the CityLine East PD shall comply with all applicable development standards set forth in this Code. The components of this CityLine East PD consist of:

2.1.1 CityLine East Regulating Plan: The CityLine East PD Regulating Plan, hereafter known as the “Regulating Plan”, is its official zoning map (Appendix A). It identifies the applicable character zones within CityLine East including:

- i. Character Zones – The CityLine East PD is divided into different “Character Zones”. A Character Zone creates a distinct urban form within that Zone which is different from urban forms in other Character Zones. Each Character Zone shall establish use and development standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots within the CityLine East into one of two Character Zones.
- ii. Special Frontage Standards – The Special Frontage Standards establish exceptions and special conditions for all buildings along designated frontages. Special Frontage Standards shall apply in addition to the underlying Character Zone standards.
- iii. Street Network, Type, and Development Frontage Designations– The Street Network within the CityLine East PD shall be generally classified by Mandatory and Non-Mandatory Streets. Mandatory Streets shall be required and shall generally meet the locational and connectivity goals of the Regulating Plan. Non-Mandatory Streets indicate the desired locations of future streets needed to implement the overall vision of the proposed development. The alignment of Non-Mandatory Streets is intended to be flexible. Street Type designations shall establish the actual cross section characteristics of the street. Appropriate Street Types are provided within Section 9 of this Code as a palette of pedestrian-oriented streets. Development Frontage designations relate to the appropriate development context by denoting them on the Regulating Plan as Required or Recommended Type ‘A’ or Type ‘B’ Frontages.
- iv. Civic/Open Space – Mandatory: Mandatory Civic/Open Space areas shown on the Regulating Plan designate the locations of proposed civic/open spaces (including parks, plazas, greens, and squares).
- v. Civic/Open Space -60% Mandatory and 40% Non-Mandatory: This Civic/Open Space designation indicates the general locations of desired civic/open space of which at least 60% of the area designated as Civic/Open Space shall be mandatory and the remainder of the designated area is optional. The optional aspect provides planning flexibility as the property is developed overtime. The combined total area of all Civic/Open Space shall be no less than 10% of the CityLine East PD.

2.1.2 Development Standards: The CityLine East PD (the text portion of this Code) enumerates the development standards with text and graphics for Character Zones, Special Frontages, building form, civic open space, landscape, building design, signage, lighting, and related standards for all streets, public and private development.

Section 3. Administration

This section sets forth the provisions for reviewing and approving development applications within the CityLine East PD. The intent is to ensure that all development is consistent with the provisions of this Code. All sections of this Code shall be applied during the review process.

3.1 The development standards under Articles XIII-A thru XVI and Article XXI-C of the City of Richardson Comprehensive Zoning Ordinance, as amended, shall not apply to the CityLine East PD except as specifically referenced herein. Development standards not addressed in this ordinance shall be governed by the City of Richardson Comprehensive Zoning Ordinance to the extent they are not in conflict with the intent or text of the CityLine East PD.

3.2 Sign Standards under Chapter 18, as amended, of the City of Richardson Code of Ordinances, shall not apply to the CityLine East PD except as specifically referenced herein.

3.3 Using this Code:

The following basic steps should be followed to determine the uses and development standards applicable on property within the CityLine East PD:

3.3.1 Locate the subject property on the Regulating Plan.

3.3.2 Identify:

- i. the Character Zone in which the property is located;
- ii. the Street Network and Type designation along all its street frontages; and,
- iii. any Special Frontage Requirements that may be applicable to the subject property.

3.3.3 Review the Schedule of Uses by Character Zone as listed in Table 6.1 to determine allowed uses.

3.3.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section 7 to determine the applicable development standards.

3.3.5 Refer to Section 5.5 for Special Frontage Standards and Section 5.6 for Civic/Open Space Standards.

3.3.6 Refer to Section 8 for Building Design Standards.

3.3.7 Refer to Section 9 for Street Type and Streetscape Standards.

The information from the above listed steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it.

3.4 Development within CityLine East PD that complies with the provisions of this Code shall follow the City's development process as outlined in Chapter 21, Article II of the City of Richardson's Code of Ordinances and shall be approved by the City Manager or designee (see Appendix C for flow chart of the review process). In addition to complying with applicable City regulations that are not in conflict with this Code, the applicant shall provide the information required to adequately show compliance with this Code.

3.5 Standard for Approval of development plans: If a development plan conforms to the standards set forth in this Code and applicable City regulations not in conflict with this Code, the development plan shall be approved. Upon request by an applicant, the authority charged with approving the development plan shall certify the reason(s) for an action taken on a development plan.

- 3.6 The City Manager or designee shall be responsible for the following:
- 3.6.1 Reviewing development plan applications for compliance with the requirements of CityLine East PD.
 - 3.6.2 Approving development plan applications that are in compliance with the requirements of the CityLine East PD.
 - 3.6.3 Making determinations on the applications and interpretations of standards in this Code.
 - 3.6.4 Approving revisions to previously approved development plans that comply with this Code and all applicable city ordinances.
 - 3.6.5 Approving any minor modifications to the approved CityLine East PD Regulating Plan and Code per Section 3.8.
 - 3.6.6 Making recommendations on any SDP applications to the City Plan Commission (CPC) and City Council.
- 3.7 Special Development Plans: A request for a modification to any of the standards of this Code other than minor modifications permitted under Sections 3.8 shall be reviewed and processed as Special Development Plans.
- 3.7.1 Special Development Plans (SDP) are intended to allow applicants development flexibility to address specific market opportunities and/or contexts. An application for a Special Development Plan shall be processed as an amendment to the zoning ordinance under Article XXIX of the City of Richardson Zoning Ordinance and may only be considered by the City Council (CC) after the CPC has made a recommendation. The City Manager or designee shall review, make recommendations on any SDPs, and shall forward all SDP applications to the CPC. In evaluating an SDP, CC may consider the extent to which the application meets any of the following:
 - i. provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
 - ii. fits the adjoining context by providing appropriate transitions.

- 3.8 Minor Modifications to the CityLine East PD:
- The City Manager or designee shall have the authority to approve a request for minor modifications to CityLine East PD that:
- 3.8.1 Does not materially change the circulation and building location on the site;
 - 3.8.2 Does not increase the height beyond what is allowed under this section of the Code;
 - 3.8.3 Does not change the relationship between the buildings and the street;
 - 3.8.4 Does not allow a use not otherwise authorized in this Code;
 - 3.8.5 Does not allow reduction of any parking requirement beyond what is allowed under this section of the Code; or
 - 3.8.6 Allows changes to established street cross sections per Table 3.1 below and Section 9 of this Code.

The City Manager or designee shall also have the authority to approve minor modifications outlined in Table 3.1. Any appeals to the decisions of the City Manager on minor modifications shall be heard by the City Council. Any City Council denials of minor modifications or any changes beyond those that meet the criteria above, the thresholds established in Table 3.1, shall be processed as an amendment to this Code under Article XXIX of the City of Richardson Comprehensive Zoning Ordinance.

Table 3.1 Minor Modifications Allowed

<i>Standard</i>	<i>Minor Modification Allowed</i>	<i>Comments</i>
Area/boundary of Character Zones	No more than a 25% change (increase or decrease) in the area of any Character Zone (aggregate or per	<ul style="list-style-type: none"> • Shall not eliminate any Character Zone • 25% measurement shall be based on the total area of that specific Character Zone within the entire CityLine East PD

<i>Standard</i>	<i>Minor Modification Allowed</i>	<i>Comments</i>
	block)	
Location of a Required new Street	Location shall not move more than 150' in any direction	<ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan
Addition of new streets not shown on the Regulating Plan	New streets and additional blocks not on the regulating plan may be permitted	<ul style="list-style-type: none"> • Streets shall be selected from the palette of streets established in Section 9 of this Code and based on the development context proposed • In no case shall block faces be smaller than 200'
Building height	No more than 20% increase in the building height permitted within each character zone	<ul style="list-style-type: none"> • Allowed in both character zones
Building Form and Development Standards		
<ul style="list-style-type: none"> • Build to zones/ setbacks 	No more than a 20% change in the maximum or minimum setback or BTZ.	<ul style="list-style-type: none"> • Changes to the build-to-zones or setbacks may only be due to any changes to the street cross sections, change in the width of a sidewalk, or if needed to accommodate Porte-cocheres or other utility easements. • In no case shall the sidewalk be less than 6 feet in width.
<ul style="list-style-type: none"> • Development Frontage 	No more than a 15% reduction in the required development frontage along each block face of a Required Type 'A' Frontage	<ul style="list-style-type: none"> • Any reduction in the required Development Frontage shall be to accommodate Porte-cocheres for drop-off and pick-up.
<ul style="list-style-type: none"> • Development Frontage Designation 	Up to 30% of a required Type 'A' frontage may be converted to a Type 'B' Frontage along any given block face	<ul style="list-style-type: none"> • Changes to the Development Frontage designation shall be based on: <ul style="list-style-type: none"> ○ maintaining continuity of Type 'A' Frontages to the extent possible ○ addressing ground floor parking garage access and frontages along the outer blocks of the development (blocks along CityLine or PGBT access road), ○ Minimizing impact on opposite block face frontages, and maintaining a consistent streetscape along the street • Ground floor parking garage facades shall be treated consistently with the rest of the block (with respect to façade rhythm and materials) and any view of parked cars shall be architecturally screened.
<ul style="list-style-type: none"> • Required Off-Street Parking 	No more than a 20% reduction in the required off-street parking	<ul style="list-style-type: none"> • Shared parking agreements may be required between adjoining properties. • A parking demand analysis may be required based on the mix of uses being proposed.
<ul style="list-style-type: none"> • Street screen 	Waiver of Street screen requirement along a Type 'B' Frontage	<ul style="list-style-type: none"> • Requirement for a street screen may only be waived along a Type 'B' Frontage along the frontage of any interim surface parking lot (off-street) that is intended to be in-filled with a parking structure. • In no case shall any portion of the surface parking have frontage along a Required Type 'A' Frontage without a required street screen • In no case shall the (off-street) surface parking lot be located at a street intersection with a Required Type 'A' Frontage designation for a minimum depth of 30' along each street frontage.
Street Cross Sections	Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation, and street tree planting	<ul style="list-style-type: none"> • Any changes in the street cross sections shall be based on creating a specific and unique development context and to address any existing vegetation, natural features, drainage, and fire access and is subject to approval by the City. • Street cross sections may allow encroachment of Porte-cocheres into the street right-of-way and parking lanes, but not within any travel lanes, subject to approval by the City.
Street Cross Sections	On-street parking configuration adjustments	<ul style="list-style-type: none"> • On-street parking may be eliminated or adjusted from angled to parallel or angled to drop-off lanes to accommodate valet drop-off and pick up and similar functions subject to a Development Plan or parking plan submitted by the applicant and subject to approval by the City.

Section 4. Definitions

In addition to Definitions in Article I of the City of Richardson Comprehensive Zoning Ordinance, the following terms shall have the corresponding interpretations.

Arcade means a portion of the building façade line is at or near the sidewalk at the ground floor and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

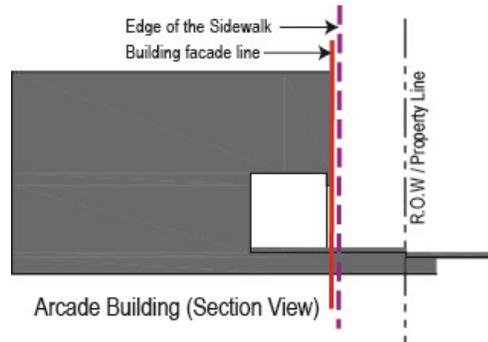


Image of an arcade or colonnade

Attics/Mezzanines means the interior part of a building contained within a pitched roof structure or a partial story between two main stories of a building.

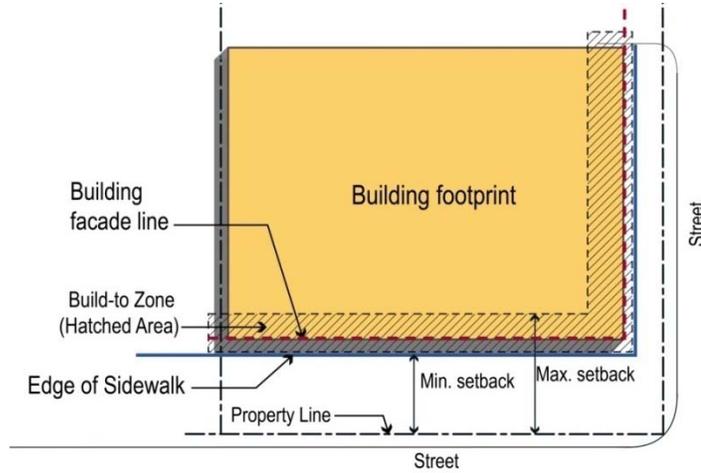
Auto-Related Sales and Service Uses means establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Block Face Dimensions means the linear dimension of a block along one of its street frontages.

Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed on all sides by streets.

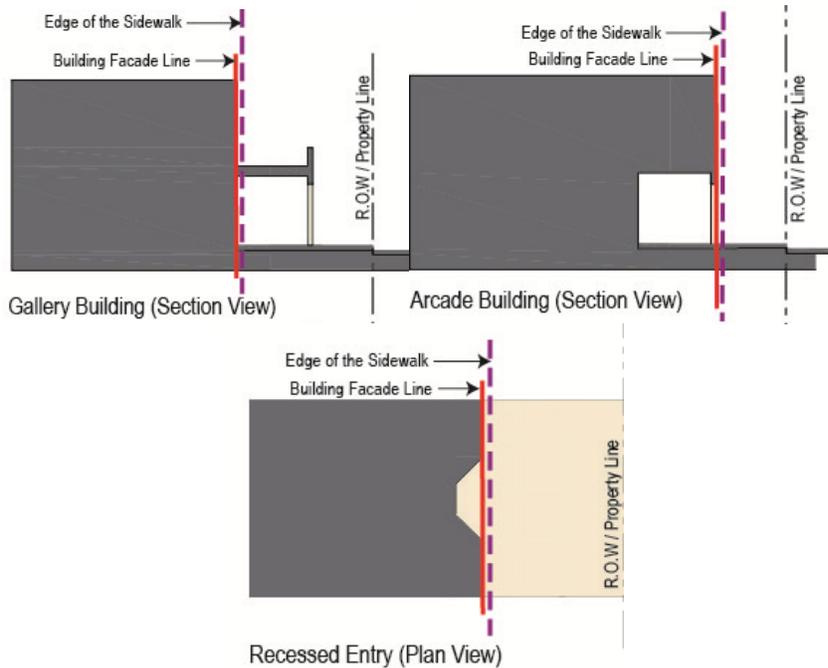
Build-to Line means the line at which the principal building's front façade at the ground floor shall be built.

Build-to Zone (BTZ) means the area within which the principal building's front façade at the ground floor is to be built.



Build-to-zone Illustration

Building Façade Line means the vertical plane along a lot where the building’s ground floor front façade is actually located.



Building Façade Line Illustrations

Building Form Standards means the standards established for each Character Zone that specify the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage means the percentage of the building’s ground floor front façade that is required to be located at the front Build-to Line or Zone as a proportion of that lot’s frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

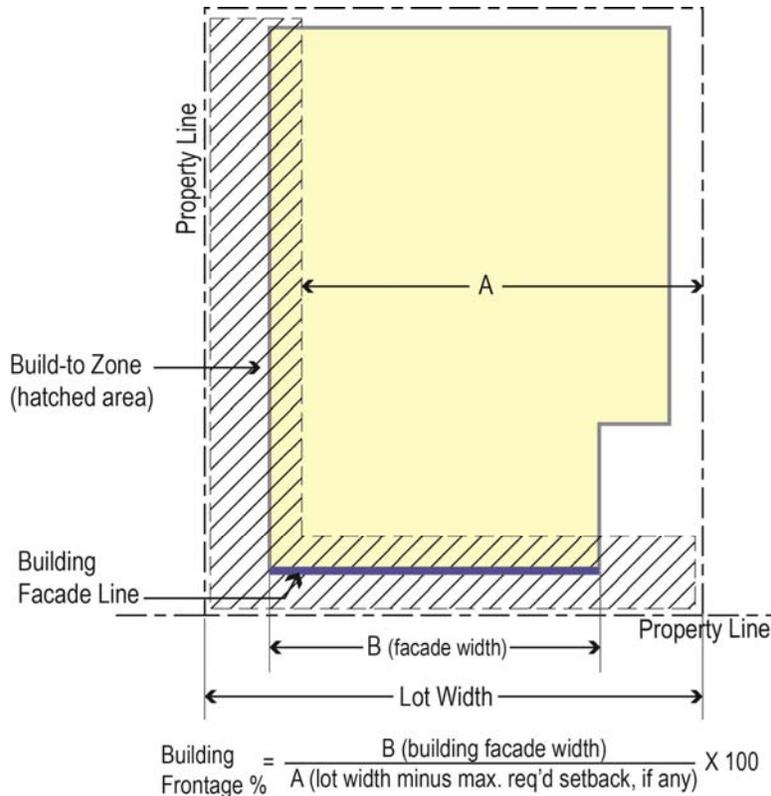


Image showing how a lot's building frontage is calculated.

Character Zone means an area within the CityLine East PD that creates a distinct urban form different from other areas within the CityLine East PD. Character Zones are identified in the Regulating Plan.

City Manager means the City Manager of the City of Richardson or his/her designee.

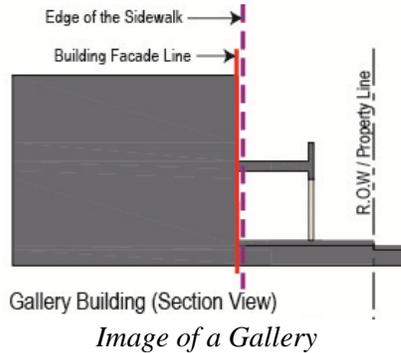
Civic/Open Space means publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, linear greens, pocket parks, playgrounds, etc. Section 11 establishes a palette of appropriate civic/open space types within the CityLine East PD. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of this ordinance. Building façades facing a Civic/Open Space shall be treated as a Type 'A' Frontage. Kiosks are permitted within any of the Civic/Open Spaces below. Permanent Kiosks may occupy no more than 10% of the area of any Civic/Open Space nor shall the size of each kiosk be larger than 2,500 sq.ft. The design and quality of permanent kiosks shall be consistent with the overall development character of CityLine East development (refer to the images under the definition of Kiosks for appropriate character and design).

Comprehensive Plan means the City of Richardson Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City as adopted on the effective date of this Code.

Development Plan means any submittal as defined by Chapter 21, Article II of the City of Richardson's Code of Ordinances.

Encroachment means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R.O.W, or above a height limit.

Gallery means an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.



Kiosk means a small temporary or permanent structure often open on one or more sides used for retail sales or food service in civic/open spaces.



Images of appropriate permanent kiosk structures for food or retail sales and service

Live-Work Unit means a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Living Screen means a Street Screen composed of landscaping in the form of vegetation.

Main Street Frontage means a special frontage requirement along identified Required Type ‘A’ Frontages as indicated in the Regulating Plan.

Mandatory New Street means a required new street to meet the street network standards as established in the Regulating Plan.

Master Sign Plan means a unique sign plan to implement a specific vision for a portion or all of the development that meets Section 10.2 of this Code.

Minor Modification means any changes to the CityLine East PD that meet the threshold criteria established in Section 3.8 and Table 3.1.

Non-Mandatory New Street means an optional new street intended to meet the street network as established in the Regulating Plan. A Non-Mandatory New Street may be at the option of the developer.

Optional Transitional Campus Frontage means a special frontage requirement that may be applied as indicated in the Regulating Plan. The images included in this section are only illustrative of some of the screening options that are to be employed along the Optional Transitional Campus Frontage.



Illustrative Images for treatment options along the Optional Transitional Campus Frontage

Pedestrian Easement means a grant of use of private property for pedestrian access and use.

Recommended Type 'A' Frontage means the development frontages identified as such on the Regulating Plan. Recommended Type 'A' Frontage designations are intended to be the primary pedestrian-oriented streets and development along Type 'A' Frontages are intended to be held to the highest standard of pedestrian-oriented design. At least one block-face of each block within the CityLine East PD shall be developed to meet the Type 'A' Development Frontage requirement in that Character Zone (see standards in Section 5.3).

Required Type 'A' Frontage means the development frontages identified as such on the Regulating Plan. Required Type 'A' Frontage designations are the primary pedestrian streets and

development along Required Type 'A' Frontages shall be held to the highest standard of pedestrian-oriented design with respect to continuous development frontage, limitation of parking uses on the ground floor, and ground floor façade treatment.

Regulating Plan means the Zoning Map attached hereto as Appendix A that shows the Character Zones, Street Designations, Civic Spaces, location of Special Frontages, Streets, and other Special Requirements applicable to the CityLine East PD subject to the standards in this Code. For the purposes of this Code, the Regulating Plan shall also be the Concept Plan for the CityLine East PD.

Residential Loft means a residential unit that is built to commercial standards and adapted for residential uses.

Retail Sales Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Service Uses means a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Special Development Plan means a development application that meets Section 3.7 of this Code.

Special Frontage Requirements means standards applied to certain blocks as indicated in the Regulating Plan in order to address specific requirements and transitions based on street frontage and adjacency in addition to the underlying Character Zone standards.

Street Screen means a freestanding wall or living screen built along the BTZ or in line with the building façade line or immediately behind the pedestrian easement along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Type means a specific cross section for permitted streets in CityLine East that establishes a certain character to improve walkability within the CityLine East PD.

Street Network means the network for new and existing streets within the CityLine East PD as established in the Regulating Plan. Street segments within the overall street network may be designated as Mandatory or Non-Mandatory.

Tree Well means an unpaved area around the trunk of a tree within the sidewalk area that is either landscaped with ground cover or covered with a tree grate.



Example of a tree well with a tree grate



Example of a tree well with landscaping

Type 'B' Frontage means the frontages identified as such on the Regulating Plan. Type 'B' Development Frontages are intended to primarily accommodate access to parking, service, and other auto-related functions.

Section 5. The Regulating Plan

- 5.1 The Regulating Plan (Appendix A) is hereby adopted as the official zoning map for the CityLine East PD.
- 5.2 Character Zones Established – the following Character Zones are established. The boundaries of the specific Character Zones shall be established in the Regulating Plan.
- 5.2.1 TOD Core: The TOD Core provides the most opportunity for the highest intensity development. It is the area that has significant development impact and the highest pedestrian activity due to the mix of uses and intensity. The TOD Core consists of the highest density and height, with the greatest variety of uses. Development within the TOD Core Zone shall meet the Building Form and Development Standards in Section 7.1 of this Code.
- 5.2.2 TOD Mixed Use: The TOD Mixed Use is the area adjacent to the TOD Core that is intended for high intensity commercial and residential uses in addition to supporting retail and restaurant uses. Development within the TOD Mixed Use Zone shall meet the Building Form and Development Standards in Section 7.2 of this Code.
- 5.3 Development Frontage Designations Established – The Regulating Plan shall establish the following Development Frontage Designations.
- 5.3.1 Required Type ‘A’ Frontages Established – Required Type ‘A’ Frontages shall be the primary pedestrian streets and development along Type ‘A’ Frontages shall be held to the highest standard of pedestrian-oriented design. Required Type ‘A’ Frontages are as identified in the Regulating Plan.
- 5.3.2 Recommended Type ‘A’ Frontages Established – Recommended Type ‘A’ Frontages indicate the desired development frontages along primary pedestrian streets and buildings along these frontages are intended to be held to the highest standard of pedestrian-oriented design. Recommended Type ‘A’ Frontages are as identified in the Regulating Plan. A minimum of one block face per each block shall be required to be developed to meet the standards of Required Type ‘A’ Development Frontage and the Type ‘A’ Development Frontage shall be maintained on both sides of the street. Maintaining continuity of adjacent street or block face Type ‘A’ frontages shall inform the selection of the specific block face to be converted to Required Type ‘A’ Frontage.
- 5.3.3 Type ‘B’ Frontages Established – Type ‘B’ Frontages are intended to balance pedestrian orientation with automobile orientation. Development along Type ‘B’ Frontages may be permitted to accommodate some service and auto-related functions including parking. The Type ‘B’ Frontages are as identified in the Regulating Plan. Type ‘B’ Frontages may be converted to Type ‘A’ Frontages at the time of development plan.
- 5.4 Street Network and Street Type Standards – The Street Network indicates the location of Mandatory and Non-Mandatory new streets needed to implement the CityLine East PD Regulating Plan. All new streets in the CityLine East shall be chosen from the palette established in Section 9 based on the development context and design criteria established in Section 9. Per Section 3.8 and Table 3.1, additional new streets may be added within the CityLine East PD.
- 5.5 Special Frontage Requirements – In order to address specific requirements and transitions based on street frontage and adjacency, the following Special Frontages have been established per the Regulating Plan:

- 5.5.1 Main Street Frontage: Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by parking uses, residential units, and/or lodging rooms in hotels to a minimum depth of 30 feet as measured from the front building line.
- 5.5.2 Optional Transitional Campus Frontage: Buildings with this frontage may be developed to the alternative development and frontage standards established in Section 7.1.3 and 7.2.3 upon selection by the developer.
- 5.6 Civic/Open Space – The Regulating Plan indicates Mandatory and 60% Mandatory/40% Non-Mandatory Civic/Open Spaces. The specific standards for Civic/Open Space are established in Section 11. Mandatory Civic/Open Space designation indicates locations where all the area shown as Mandatory Civic/Open Space shall be required. The 60% Mandatory/40% Non-Mandatory designation indicates the general locations of desired civic/open space of which at least 60% of the area designated as such shall be mandatory and the remainder of the designated area is optional. The area shall be based on the cumulative area designated in the Regulating Plan as 60% Mandatory/40% Non-Mandatory over the entire PD. The optional aspect provides planning flexibility as the property is developed over time.
- 5.7 Terminated Vistas –Buildings which are located on axis with a terminating street (as indicated on the Regulating Plan) or at the intersection of streets shall be considered as feature buildings. Buildings with features that take advantage of that location, such as an accentuated entry and a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line. Buildings at a terminated vista shall not include a blank wall, service areas, or parking uses on the ground floor to a minimum depth of 30 feet from the building façade line.

Section 6. Schedule of Permitted Uses

6.1 Generally: Due to the emphasis on urban form over land uses in this PD, general use categories have been identified by character zones. Uses not listed in the following schedule, but are substantially similar, may be permitted upon the approval of the City Manager or designee, subject to appeal directly to the City Council.

6.2 Schedule of Uses:

Table 6.1

	Character Zone	TOD Core	TOD Mixed Use
Land Use			
Commercial Uses (Office, Retail, Sales & Service Uses)			
Retail Sales or Service with <u>no drive through facility</u> (includes alcohol sales which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances). Excluded from this category are Auto-Retail Sales and Service Uses (see Section 4 of the Code for Definition of Retail, Service uses, and Auto-related Sales and Service)		P	P
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u>		P	P
Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc.		P	P
Research laboratory headquarters, laboratories and associated facilities		P	P
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u> Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances.		P	P
Any use with a drive through facility		P/C	P/C
Auto-related Sales and Service		NP	NP
Arts, Entertainment, and Recreation Uses			
Art galleries		P	P
Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)		P	P
Games arcade establishments		P	P
Theater, cinema, dance, music or other entertainment establishment		P	P
Museums and other special purpose recreational institutions		P	P
Fitness, recreational sports, gym, or athletic club		P	P
Parks, greens, plazas, squares, and playgrounds		P	P
Educational, Public Administration, Health Care and Other Institutional Uses			
Business associations and professional membership organizations		P	P
Child day care and preschools		P	P
Schools, libraries, and community halls		P	P
Universities and Colleges		P/C	P/C
Hospital		P	P
Civic uses		P	P
Social and fraternal organizations		P	P
Social services and philanthropic organizations		P	P
Religious Institutions		P	P
Funeral homes		P	P
Residential Uses			
Home Occupations		P/A	P/A
Multi-family residential			
Ground Floor		P/C	P
Upper Floors		P	P
Residential Lofts		P	P
Live-work unit		P	P
One- and two-story multi-family residential		NP	NP

Character Zone	TOD Core	TOD Mixed Use
Other Uses		
Model homes for sales and promotion**	P	P
Hotels, full-service	P	P
Hotels, limited service and suite hotels	P/SUP	P/SUP
Parking, surface (primary use of property)	NP	NP
Parking, surface (accessory use of property)	P	P
Parking, structured	P	P
Sales from kiosks	P	P
Veterinary clinic	NP	P
Community garden	P	P
Incidental Outdoor Display (subject to standards in Section 7 of the Code)	P/A	P/A
Antennas including cell, accessory, and mounted on top of buildings.	P/A/C	P/A/C
Wind energy equipment	P/A	P/A
Solar energy equipment	P/A	P/A
Special Event	P	P
Rain harvesting equipment	P/A/C	P/A/C
Utility equipment (includes electrical transformers, gas meters, etc)	P/A/C	P/A/C

** Model homes are limited to a time period until all the homes are sold in the neighborhood.

P= Permitted by right NP= Not Permitted P/C= Permitted with design criteria per Table 6.2 P/A = Permitted Accessory Use NA= Not applicable
 A = Accessory use to not exceed 25% of the primary use building square footage P/SUP = Permitted with a Special Permit (standards in the City of Richardson Comprehensive Zoning Ordinance shall apply)

6.3 Use Criteria: All uses listed as P/C in Table 6.1 shall also meet the following standards in Table 6.2

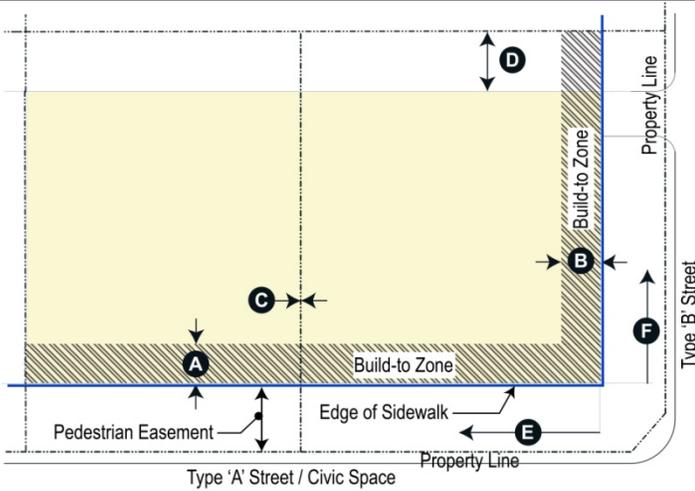
Use	Zone	Location & Design Criteria
Non-Residential Uses		
Any permitted use with a drive through facility	TOD Core, TOD Mixed Use	<ul style="list-style-type: none"> All drive through access (driveways) shall be from Type 'B' Frontages. Drive through lanes and/or canopies shall not have frontage along on or be located along any Type 'A' Frontage designation. Drive through areas screened by a 4' high Street Screen.
Universities and Colleges	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> Shall be required to provide structured parking as part of the build-out for the university/college campus
Residential Uses		
Multi-family residential Ground Floor	TOD Core	<ul style="list-style-type: none"> Ground floors may be occupied by residential uses unless designated as Main Street Frontage. Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by parking uses, residential units, or lodging rooms to a minimum depth of 30 feet as measured from the front building line.
Other Uses		
Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> Antennas shall be permitted on rooftops. Antennas shall be screened entirely with a screen of same color as the principal building. Antennas shall not be visible from any adjacent Type 'A' Frontage.
Rain water harvesting equipment	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> Rain water harvesting equipment may not be installed along Type 'A' Frontage. On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.
Utility equipment (includes electrical transformers, gas meters, etc)	TOD Core & TOD Mixed Use	<ul style="list-style-type: none"> On all frontages, utility equipment shall be screened with a Street Screen at least as high as the equipment being screened. On Type 'A' Frontages, utility equipment shall also be recessed into the building.

Section 7. Building Form and Development Standards

The following section establishes the Building Form and Development Standards for the two Character Zones within the CityLine East PD. Diagrams and reference letters are used for illustrations purposes only. Reference letters may not be in continuous sequence.

7.1 TOD Core Zone

7.1.1 Building Placement



Legend



Build-To Zone (BTZ)

(Distance from edge of sidewalk to edge of the BTZ) (see #12)

Front (Type 'A' and Civic Space Frontage) (unless the Optional Transitional Campus Frontage in 7.1.3 is chosen)	0- 10 feet	A
Front (Type 'B' Frontage except PGBT Frontage Road)	0 - 10 feet (see #1)	B
Front (PGBT Frontage Road)	10' min. setback; no max. setback	

Setback

Side (from property line)	0 feet (see #2)	C
Rear (from property line)	5 feet	D

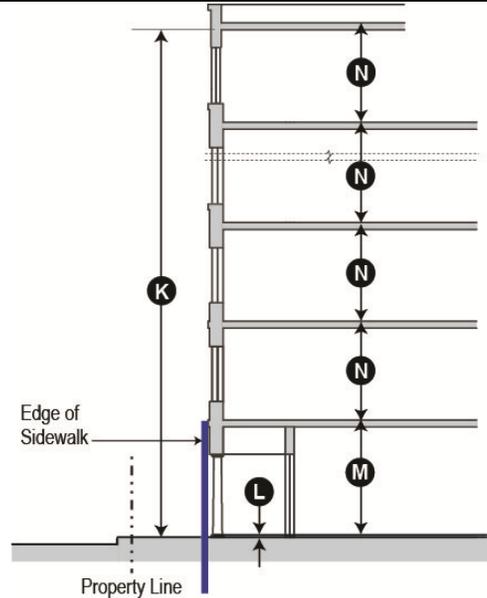
Building Frontage

Building Frontage required along Type 'A' Frontage /civic space BTZ	90% (min.) (see #3 and #6)	E
Building Frontage required along Type 'B' Frontage BTZ	None required unless along a corner lot with Type 'A' Frontage also (see #3 and #6)	F

Notes

- #1 - The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 - Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 - Corner building street facades shall be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards. This standard shall apply to any street intersection with a Type 'A' Frontage (even if the cross street has a Type 'B' Frontage designation).

7.1.2 Building Height



Principal Building Standards

Building maximum	350 feet (see #7)	K
First floor to floor height	15 feet (min.) (with Main Street Frontage designation) 10' min (for all other frontages) (see #4)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floors of Main Street Frontage buildings)	L
Upper floor(s) height (floor-to-ceiling)	10 feet min.	N

7.1.3 Special Frontage Requirements

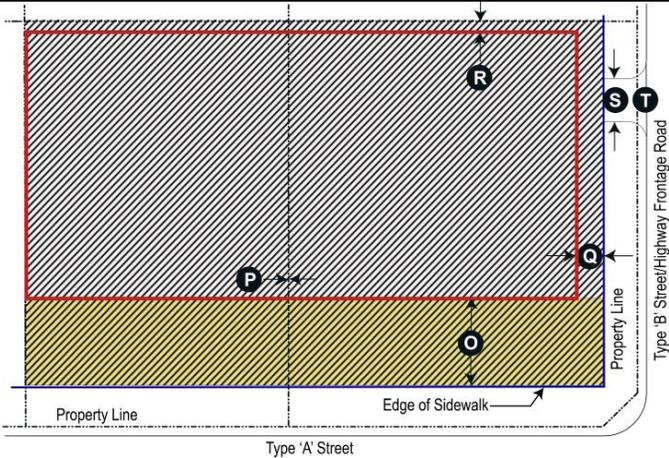
Requirements Specific to Main Street Frontage

- Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan:
- shall not be occupied by parking uses, residential units, or lodging rooms to a minimum depth of 30 feet as measured from the front building line.
 - shall be built to commercial standards which include minimum first floor-to-floor height, ingress and egress and handicap access.

Requirements Specific to Optional Transitional Campus Frontage

- If Optional Frontage is chosen, buildings along this frontage shall be limited to 225' in building height (minor modification allowing a 20% increase in height may be permitted)
- Buildings may be setback a maximum of 100' as measured from the edge of the sidewalk along that frontage
- Surface parking for visitors may be permitted within this setback area but shall be limited to 70% of the setback area. Any surface parking frontage shall be screened along the sidewalk/pedestrian easement to help better define a street wall along the sidewalk and to provide for streetscape and screening of vehicles. Such treatments may include any combination of the following treatments (appropriate images are included in Definitions section under Optional Transitional Campus Frontage):
 - A 6' high vegetative screen along any surface parking lot frontage.
 - Use of free standing vertical structural elements such as colonnades, pergolas or other similar features
 - Use of a double alee of canopy trees along the surface parking lot frontage spaced at 40' on center
 - Use of specialty paving, patterns, or textures for a portion of the surface parking lot
- Development along this frontage shall be exempt from the Building Frontage requirement along this frontage.

7.1.4 Parking & Service Access



Legend

Property Line	Building Footprint
Surface Parking Area	Above Grade Parking Area

(i) Parking Location

Surface/At Grade Parking

Type 'A' Frontage and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Frontage setback	Min. of 3 feet behind the building facade line along that street or 6' behind the edge of the sidewalk along that frontage	Q
Side setback (distance from property line)	0 feet min.	P
Rear setback (distance from property line)	0 feet min.	R

Above Grade Parking

Setback along Type 'A' Frontage, Type 'B' Frontage and Civic Space (distance from edge of the sidewalk)	0 feet min.	O
Side and rear setbacks (distance from property line)	0 feet min.	

Upper Floors May be built up to the building line

(ii) Required Off-Street Parking Spaces (see #10 and #11)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit
Hotel/Lodging uses	1 space per hotel room or suite

(iii) Driveways and Service Access

Parking driveway width	30 feet max. (except when drives may need to be wider to address service access or fire lane standards)	S
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No more than one driveway per 400 feet of block frontage shall be permitted on a Type 'A' Frontage
Off-street loading and unloading docks shall not be located on a Type 'A' Frontage.
Porte cocheres may be permitted on Type 'A' Frontage to provide drop-off and valet service.

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

7.1.5 Encroachments

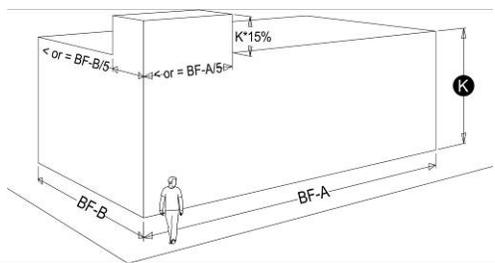
Canopies, signs, awnings and balconies may encroach over the sidewalk or build-to-zone area as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.1.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

- #4 – First floor heights shall not apply to parking structures.
- #5 – All buildings in the TOD Core Zone shall meet the Building Design Standards in Section 8.
- #6– Any frontage along all streets (except alleys) defined by surface parking shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the CityLine East Planting List in Appendix B of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage or immediately behind the pedestrian easement.
- #7– Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade. This allowance applies only if no Minor Modification for additional height has been approved for the building.



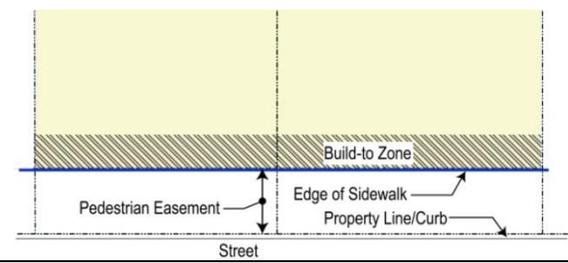
#8- Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#9– Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line (see definition for details). In no case shall the depth of the arcade or colonnade be more than twice the width of the sidewalk (pedestrian easement width as established in the street cross sections in Section 9 of this Code) in front of the building.

#10– Required parking may be provided anywhere within the CityLine East PD.

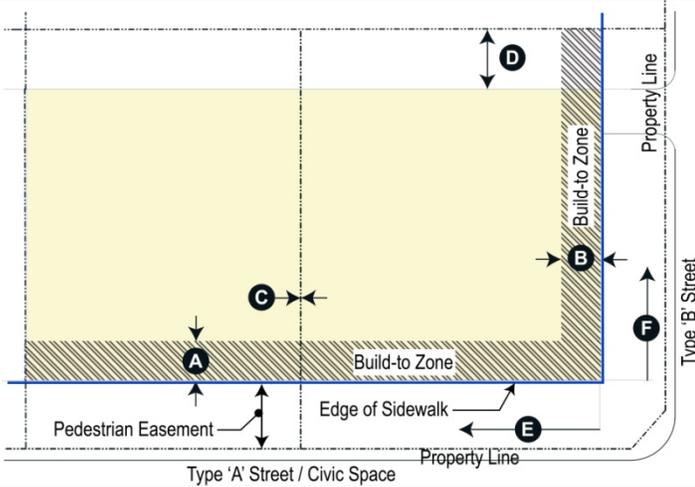
#11– Article III, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

#12 – Note about measuring build-to-zones and setbacks: Build-to-zones and setbacks shall be measured from the edge of the sidewalk closest to the building. This standard shall not apply if outdoor café seating, patios, forecourts, or other amenities that activate the sidewalk are incorporated between the building façade and sidewalk. Existing utility easements may also require measuring of build-to-zones and setbacks from such easements.



7.2 TOD Mixed Use Zone

7.2.1 Building Placement



Legend



Build-To Zone (BTZ)

(Distance from edge of the sidewalk to edge of the BTZ) (see #12)

Front (Type 'A' and Civic Space Frontage) (unless the Optional Transitional Campus Frontage in 7.2.3 is chosen)	0- 10 feet	A
Front (Type 'B' Frontage)	0 - 10 feet (see #1)	B

Setback

Side (distance from property line)	0 feet(see #2)	C
Rear (distance from property line)	0 feet (see #2)	

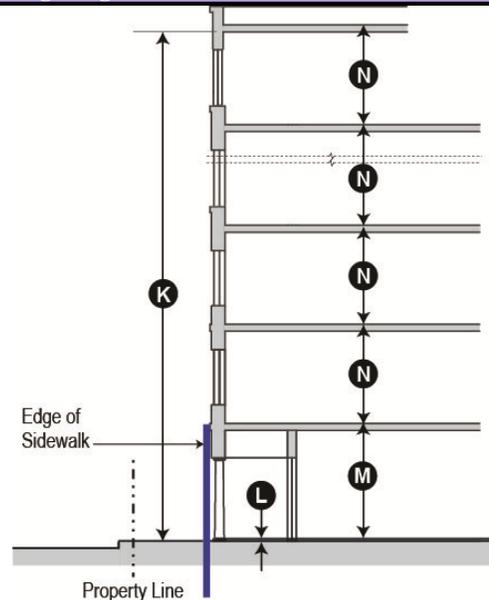
Building Frontage

Building Frontage required along Type 'A' Frontage/civic space BTZ	80% (min.) (see #3 and #6)	E
Building Frontage required along Type 'B' Frontage BTZ	None required unless along a corner lot with Type 'A' Frontage also (see #3 and #6)	F

Notes

- #1 - The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 - Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 - Corner building street facades shall be built to the BTZ for a minimum of 30 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards. This standard shall apply to any street intersection with a Type 'A' frontage (even if the cross street has a Type 'B' Frontage designation).

7.2.2 Building Height



Principal Building Standards

Building maximum	225 feet (see #7)	K
First floor to floor height	15 feet min. (buildings with Main Street Frontage designation) 10' min. (for all other frontages) (see #4)	M
Ground floor finish level	12 inches max. above sidewalk (for ground floors of Main Street Frontage buildings)	L
Upper floor(s) height (floor-to-ceiling)	10 feet min.	N

7.2.3 Special Frontage Requirements

Requirements Specific to Main Street Frontage

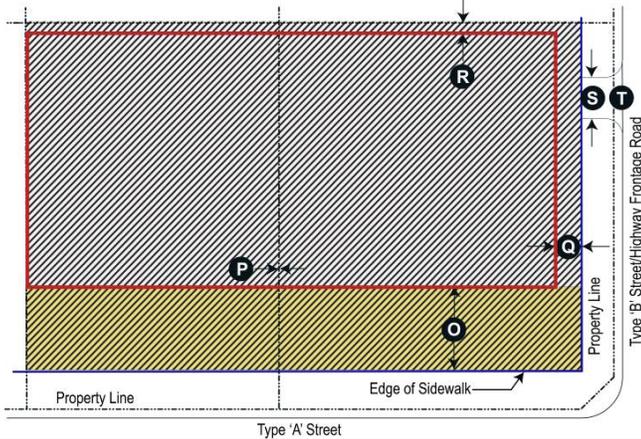
Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan:

- shall not be occupied by parking uses, residential units or lodging rooms to a minimum depth of 30 feet as measured from the front building line.
- shall be built to commercial standards which include minimum first floor-to-floor height, ingress and egress and handicap access.

Requirements Specific to Optional Transitional Campus Frontage

- Building may be setback a maximum of 100' as measured from the edge of the sidewalk along that frontage
- Surface parking for visitors may be permitted within this setback area but shall be limited to 70% of the setback area. Any surface parking frontage shall be screened along the sidewalk/pedestrian easement to help better define a street wall along the sidewalk and to provide for streetscape and screening of vehicles. Such treatments may include any combination of the following treatments (appropriate images are included in Definitions section under Optional Transitional Campus Frontage):
 - A 6' high vegetative screen along any surface parking lot frontage.
 - Use of free standing vertical structural elements such as colonnades, pergolas or other similar features
 - Use of a double ale of canopy trees along the surface parking lot frontage spaced at 40' on center
- Use of specialty paving, patterns, or textures for a portion of the surface parking lot Development along this frontage shall be exempt from the Building Frontage requirement along this frontage.

7.2.4 Parking & Service Access



Legend

- Property Line
- Building Footprint
- Surface Parking Area
- Above Grade Parking Area

(i) Parking Location

Surface/At Grade Parking

Type 'A' Street and Civic Space setback	Shall be located behind the principal building	O
Type 'B' Street setback	Min. of 3 feet behind the building facade line along that street or 6' behind the edge of the sidewalk along that street (if no building along that street frontage)	Q
Side setback (distance from property line)	0 feet min.	P
Rear setback (distance from property line)	0 feet min.	R

Above Grade Parking

Setback along all Type 'A' Streets, Type 'B' Street and Civic Space (distance from edge of the sidewalk)	0 feet min.	O
Side and rear setbacks (distance from property line)	0 feet min.	
Upper Floors	May be built up to the building line	

(ii) Required Off-Street Parking Spaces(see #10 and #11)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit
Hotel/Lodging uses	1 space/room or suite

(iii) Driveways and Service Access

Parking Driveway	24feet max. (except when drives may need to be wider to address service access or fire lane standards)	S
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No more than one driveway per 400 feet of block frontage shall be permitted on a Type 'A' Frontage
 Off-street loading and unloading docks shall not be located on Type 'A' Frontages.
 Porte cocheres may be permitted on Type 'A' Frontages to provide drop-off and valet service.
 Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

7.2.5 Encroachments

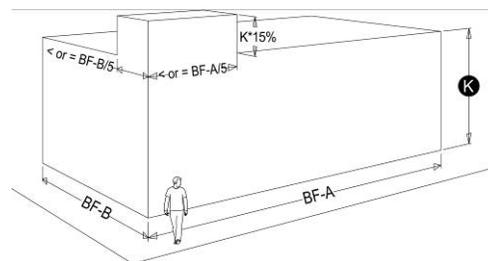
Canopies, signs, awnings and balconies may encroach over the sidewalk or build-to-zone area as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.2.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

- #4- First floor heights shall not apply to parking structures.
- #5- All buildings in the TOD Mixed Use Zone shall meet the Building Design Standards in Section 8.
- #6- Any frontage along all streets (except alleys) defined by surface parking shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the CityLine East Planting List in Appendix B of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage or immediately behind the pedestrian easement.
- #7- Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade. This allowance applies only if no Minor Modification for additional height has been approved for the building.



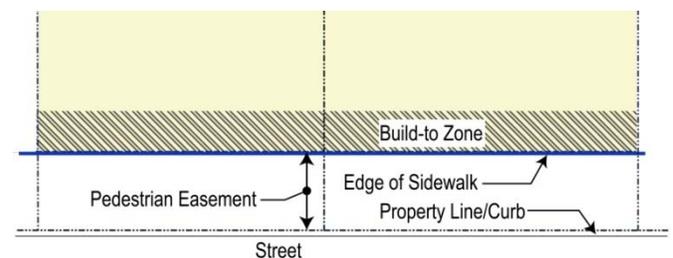
#8- Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#9- Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line (see definition for details). In no case shall the depth of the arcade or colonnade be more than twice the width of the sidewalk (pedestrian easement width as established in the street cross sections in Section 9 of this Code) in front of the building.

#10- Required parking may be provided anywhere within the CityLine East PD.

#11- Article III, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

#12 - Note about measuring build-to-zones and setbacks: Build-to-zones and setbacks shall be measured from the edge of the sidewalk closest to the building. This standard shall not apply if outdoor café seating, patios, forecourts, or other amenities that activate the sidewalk are incorporated between the building façade and sidewalk. Existing utility easements may also require measuring of build-to-zones and setbacks from such easements.



Section 8. Building Design Standards

The Building Design Standards and Guidelines for the CityLine East PD shall establish a coherent urban character and encourage enduring and attractive development. Development plans shall be reviewed by the City Manager or designee for compliance with the standards below.

The key design principles establish essential goals for development in the CityLine East PD to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- i. Buildings shall be oriented towards Type 'A' Frontages, where the lot has frontage along Type 'A' Frontage designation. All other buildings shall be oriented towards Type 'A', Type 'B' frontages or Civic Spaces.
- ii. Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- iii. All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

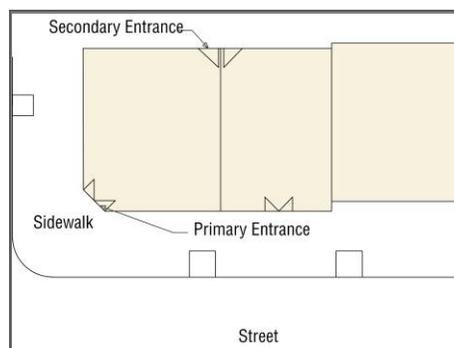


Figure showing required building orientation and location of primary entrances

8.1.2 Design of Parking Structures

- i. All frontages of parking structures located on Type 'A' Frontages shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type 'A' frontage. If the frontage is along a designated Main Street Frontage, then the Main Street Frontage requirement shall supersede.

- ii. Parking structure facades on all Type ‘A’ Frontages and along CityLine Drive shall be designed with both vertical (façade rhythm of 20 feet to 40 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- iii. Where above ground structured parking is located at the perimeter of a building with frontage along a Type ‘A’ Frontage; it shall be screened in such a way that cars on all parking levels are completely hidden from view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ideally, ramps should not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- iv. When parking structures are located at street intersections, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- v. Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Images showing appropriate design of Parking Structures along Type ‘A’ Streets

- vi. Design of Garage Facades along Plano Road and Type ‘B’ Frontages: Garage facades along the Plano Road and Type ‘B’ frontages shall be precast concrete spandrels with vertical elements at intervals of no greater than 80 feet.
- vii. Design of Garage Facades along George Bush Turnpike access road: Garage facades along the George Bush Turnpike access road shall be precast concrete spandrels.

8.1.3 Design of Automobile Related Building Site Elements

- i. Drive-through lanes for commercial uses shall not be located along any Type ‘A’ frontages. Drive-through lanes shall be hidden behind a Street Screen along any Type ‘B’ frontages.
- ii. All off-street loading, unloading, and trash pick-up areas shall be located along alleys or Type ‘B’ frontages only unless permitted in the specific building form and development standards in Section 7. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

8.1.4 Roof Form

- i. Buildings shall have simple, flat fronts with minimal articulations with flat or low pitched roofs (pitches 2.5:12 or lower) with parapets. Corner hip roof elements and gable accents at the parapet may be permitted. Projecting mansard roofs shall not be permitted.



8.1.5 Façade Composition

- i. Buildings shall maintain a façade rhythm of 20 feet to 40 feet along all Type ‘A’ Frontages.
- ii. This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- iii. Storefronts on facades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.
- iv. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- v. Buildings shall generally maintain the alignment of horizontal elements along the block.
- vi. Corner emphasizing architectural features, pedimented gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



Buildings with architectural features and storefront elements that add interest along the street.

8.1.6 Windows and Doors

- i. Windows and doors on street (except alleys) fronting facades shall be designed to be proportional and appropriate to the specific architectural style of the building. First floor windows shall NOT be opaque, tinted or mirrored glass.
- ii. All ground floor front facades of buildings along Type ‘A’ Frontages or Civic/Open Space shall have transparent storefront windows covering no less than 50% of the façade area. Each upper floor of the same building facades facing a Type ‘A’ Frontage or Civic/Open Space shall contain transparent windows covering at least 30% of the façade area. All other street facing facades (except alleys) shall have transparent windows covering at least 15% of the façade area for all floors.



Images showing appropriate storefront display and transparency

8.1.7 Building Materials

- i. At least 85% of each building's façade (excluding doors and windows) along all streets shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, vertically and/or horizontally articulated architectural pre-cast concrete panels, cast stone, rock, marble, granite, curtain glass, or glass block)
- ii. No more than 15% of each façade along all streets shall use accent materials such as wood, architectural metal panel, split-face concrete block, or tile.
- iii. Ground floor facades along Main Street Frontages shall be exempt from the 85% minimum masonry requirement to allow for greater flexibility in storefront design.



Images showing appropriate building materials within TOD Core and TOD Mixed Use zones,.



Images showing appropriate use of architectural precast concrete panels as primary building materials

- iv. Use of EIFS along all building façades shall be eight (8) feet or higher and shall be limited to exterior trim and molding only.
- v. Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any commercial frontage on any street or alley façade and shall be limited to no more than 15% along all streets.
- vi. Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.

Section 9. Street & Streetscape Design Standards

9.1 Generally: Streets in the CityLine East PD need to support the overall goal of a mixed use, compact, pedestrian oriented district. They should balance all forms of mobility while maximizing convenience for residents and visitors.

The Regulating Plan designates the Mandatory and Non-Mandatory Street Network within the CityLine East PD. This section establishes a palette of pedestrian-oriented streets that are appropriate within the CityLine East PD. The palette specifies the typical configuration of streets within the CityLine East PD including vehicular lane widths parkway widths, R.O.W widths, number of travel lanes, on-street parking, and pedestrian accommodation. The character of streets in the CityLine East PD may vary based on the location. The service road of President George Bush Turnpike (State Highway 190) is under the purview of TxDOT while the remaining streets are city streets.

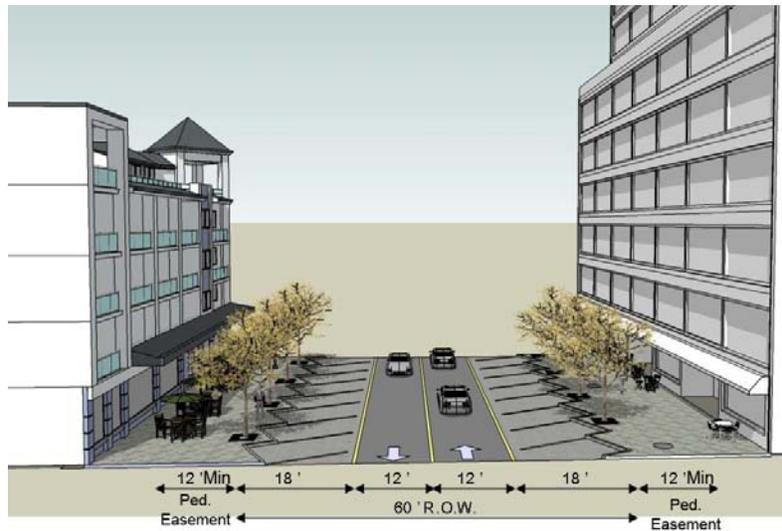
9.2 New Streets: This section specifies standards for all new streets in the CityLine East PD. Location of new streets shall be based on the Regulating Plan while the cross section shall be chosen from the street type palette established in this section. Additional new streets not identified in the Regulating Plan may be permitted per Table 3.1.

9.3 Street Type Palette Established: The following street cross sections are established for allowable street types within both the character zones of the CityLine East PD. The cross sections (including vehicular lane and on-street parking configurations, street tree placement, etc.) may be adjusted to fit existing contexts or other development contexts consistent with the vision for CityLine East with the approval of the City Engineer per Table 3.1. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

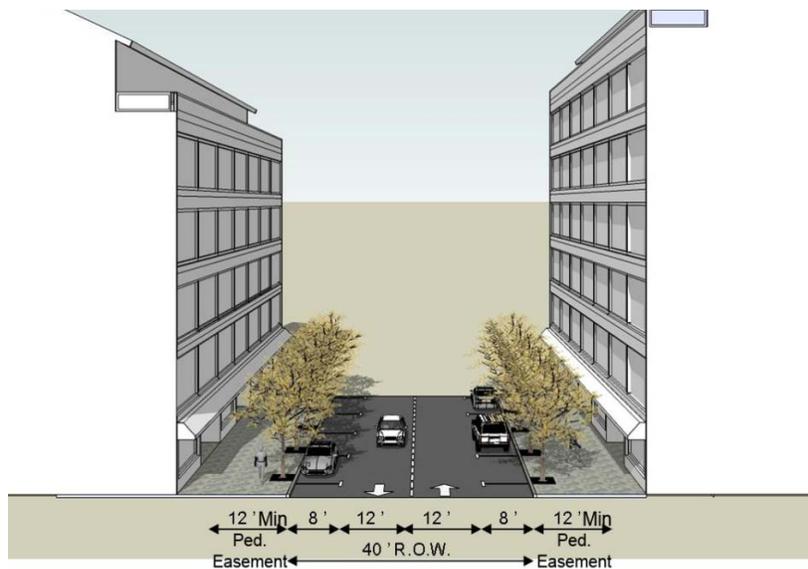
9.4 Street Cross Sections

9.4.1 Street Types 1 and 2: The following development criteria and context shall generally apply to all Street Types 1 and 2:

- i. Pedestrian-oriented development context, retail commercial and residential Type 'A' Development Frontage
- ii. Need for on-street parking (either angled or parallel)
- iii. Mostly continuous development context with few or limited driveway cuts (no continuous center turn lane required)
- iv. Pedestrian amenities and streetscape elements including curb extensions may be incorporated.
- v. Turn lanes may be provided only at key intersections



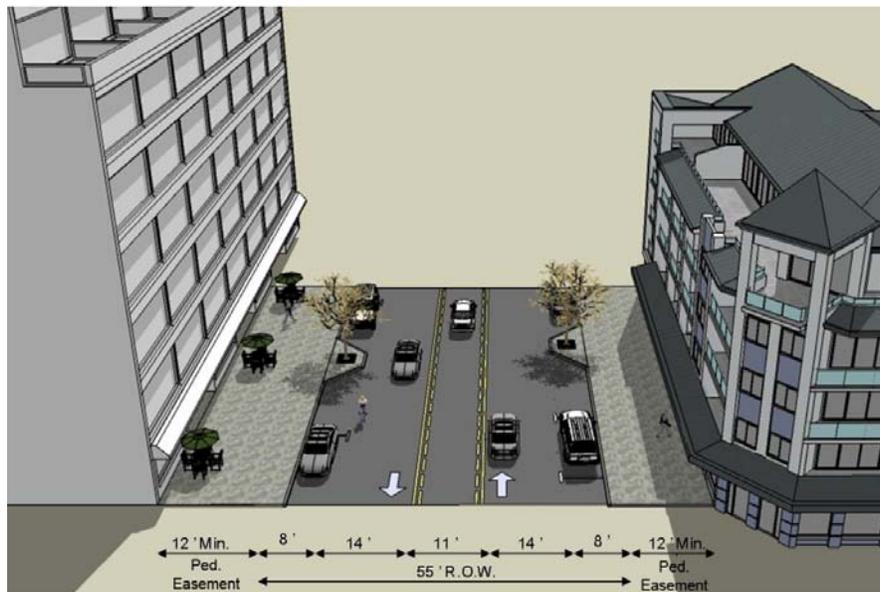
Street Type 1



Street Type 2

9.4.2 Street Types 3 and 4 : The following development criteria and context shall generally apply to all Street Types 3 and 4:

- i. Pedestrian-oriented development context, retail commercial and residential Type ‘A’ Development Frontage
- ii. Need for on-street parking (parallel parking on one or both sides)
- iii. Mostly continuous development context with some driveway cuts (optional continuous center turn lane)
- iv. Pedestrian amenities and streetscape elements including curb extensions may be incorporated.
- v. Street Type 4 shall be appropriate along civic/open space frontages. Turn lanes may or may not be incorporated based on specific development context. Parallel parking may be provided on one or both sides of the street.



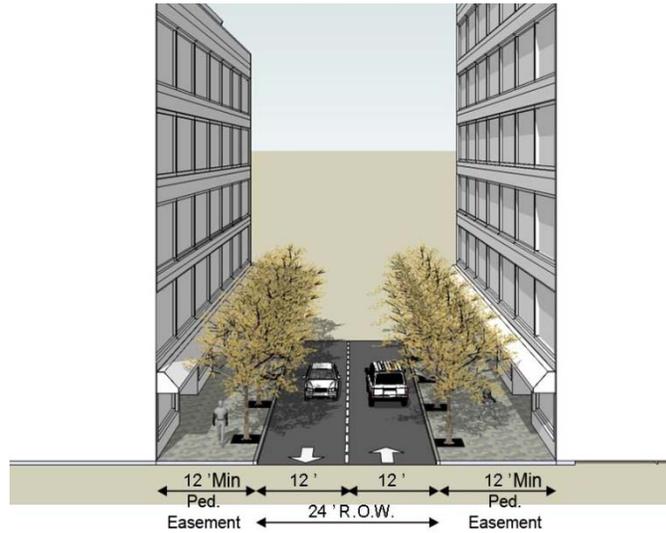
Street Type 3



Street Type 4

9.4.3 Street Types 5 and 6: . The following development criteria and context shall generally apply to all Street Types 5 and 6:

- i. Generally service and utility functions (Type ‘B’ Development Frontage)
- ii. Limited need to accommodate on-street parking
- iii. Access to parking garages and other service functions is important (optional continuous center turn lane may be provided as shown in Street Type 6 based on specific circulation and traffic operational considerations)
- iv. Basic pedestrian sidewalk and streetscape amenities shall still be incorporated.
- v. The width of the lanes in Street Type 6 may be adjusted down to 12’ each (and a corresponding reduction of the R.O.W) if no bicycle accommodation is proposed.



Street Type 5



Street Type 6

- 9.5 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets within the CityLine East PD. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all streetscape and landscape shall be by the property owners association established for the CityLine East PD. All dedicated public rights-of way and landscaping within them shall be maintained by the City of Richardson.
- 9.6 Street Trees and Landscaping (within the pedestrian easement):
- 9.6.1 Street trees shall be required on all CityLine East PD Streets (except along PGBT access road.)
 - 9.6.2 Street trees shall be planted approximately 3 feet behind the curb line or placed in curb extensions (bump-outs into the parking lane) as long as the spacing meets the standard below. Street trees may be planted in tree wells with either landscaping or tree grates or in a continuous landscape strip. Continuous landscape strips may be more appropriate within residential development contexts.
 - 9.6.3 Spacing shall be an average of 40 feet on center (measured per block face) along all streets unless otherwise specified in the cross sections.
 - 9.6.4 The minimum caliper size for each tree shall be 3 in. and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 36 sq. feet. However, the tree well area may be no smaller than 5'X5'.
 - 9.6.5 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof. Turf grass must be installed as solid sod and not seeded on.
 - 9.6.6 Species shall be selected from the CityLine East PD Planting List in Appendix B of this ordinance.
 - 9.6.7 Maintenance of all landscape materials shall meet the requirements of the City of Richardson Landscape Ordinance Requirements.
 - 9.6.8 Along arterials and highway access roads, street trees shall be planted within the required landscape parkway as per the City of Richardson Landscape Ordinance/Policies.
- 9.7 Street Furniture, Lighting, and Materials:
- 9.7.1 Pedestrian scale lighting shall be required along all CityLine East PD streets (except on PGBT access road). They shall be no taller than 25 feet.
 - 9.7.2 Pedestrian-scale and regular street lights shall be placed at uniform locations based on the placement of street trees and other street furniture to provide safety for both pedestrians and automobiles while limiting spill-over and light pollution effects of such street lights. The placement and illumination intensity shall be subject to City approval at the time of Development Plan.
 - 9.7.3 The light standard selected shall be compatible with the design of the street and buildings.
 - 9.7.4 Trash receptacles and bike racks shall be required along all Required Type 'A' Frontages. A minimum of one each per block face shall be required.
 - 9.7.5 Street furniture and pedestrian amenities such as benches are recommended along all Required Type 'A' Frontages.
 - 9.7.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.
 - 9.7.7 Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

Section 10. Signage

10.1 All new signs shall comply with Chapter 18 of the City of Richardson Code of Ordinances, as amended unless a Master Sign Plan is developed and approved per the section below.

10.2 Master Sign Plan: An applicant may establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City Manager or designee and are subject to approval of the City Plan Commission. In evaluating a Master Sign Plan, the City Plan Commission shall consider the extent to which the application:

10.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;

10.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;

10.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and

10.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

Section 11. Civic/Open Space Standards

11.1 The design of Civic/Open Space shall be regulated by the Civic/Open Space standards herein which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from larger parks to neighborhood-scaled greens to urban squares and plazas. Public art is permitted and even encouraged in all civic/open space types. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike. Standards in Article XIII-A, Section 5 of the City of Richardson Zoning Ordinance shall not apply to any development in the CityLine East PD. Any of the following open space types may be implemented on any designated Civic/Open Space on the Regulating Plan (Appendix A). The Regulating Plan indicates Mandatory and 60% Mandatory/40% Non-Mandatory Civic/Open Spaces. Mandatory Civic/Open Space designation indicates locations where all the area shown as Mandatory Civic/Open Space shall be required. The 60% Mandatory/40% Non-Mandatory designation indicates the general locations of desired civic/open space of which at least 60% of the area designated (aggregate for the whole PD) as such shall be mandatory and the remainder of the designated area is optional. The optional aspect provides planning flexibility as the property is developed over time.

11.2 Park Standards



As designated on the Regulating Plan, the Mandatory Civic/Open Space on the eastern edge of the development will create an important public space within the CityLine East PD and allows for passive recreation. Parks shall primarily be naturally landscaped with many places to sit on benches or low walls. Passive recreation activities in parks may include grassy lawns for unstructured and informal active recreational activities. Appropriate civic elements, fountains or open shelters may be included. At a minimum a 10' wide multi-use trail, grassy lawns, and other passive recreation amenities shall be incorporated in the Mandatory Civic/Open Space located on the eastern edge of the property. Trails along public streets may be located in conjunction with a sidewalk in a pedestrian easement.

Typical Characteristics

General Character

- Large, open space
- Spatially defined by landscaping and building frontages
- Paths, trails, open shelters, lawns, trees and shrubs naturally disposed
- May be lineal, following the trajectories of natural corridors

Location and Size

Location and size shall be as shown on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating/picnicking

11.3 Green Standards



Greens can serve as important public space for the CityLine East PD. Greens are available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green.

Typical Characteristics

General Character

- Open space
- Spatially defined by landscaping and building frontages
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

Location and Size

Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses
- Residential address

11.4 Square Standards



Squares can serve as open spaces available for civic purposes, commercial activity, unstructured recreation and other passive uses. Asquare should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square. The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics

General Character

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Located at important intersection

Location and Size

Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses

11.5 Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets.

Typical Characteristics

General Character

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

Location and Size

- Location and size are to be based on the Regulating Plan (Appendix A).
- Shall front on at least one (1) street.

Typical Uses

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining
- Retail and food kiosks

11.6 Multi-Use Trail Standards



The multi-use trail provides an important place for active recreation and creates a connection to regional paths and biking trails. The multi-use trail shall run along north-south Plano Road and connect along CityLine Drive to the Mandatory Civic/open space on the eastern edge of the development and then loop south along Renner Road to provide for a local loop and regional connectivity. The multi-use trail will help activate connections between the open spaces and the uses throughout the CityLine East PD. The multi-use trail may have a different character as it passes through the park and along arterial roadways. Within the required park, the trail shall be naturally disposed with low impact paving materials so there is minimal impact to the existing creek bed and landscape. Along arterial roadways, it may be more formally aligned with concrete paving and landscaped buffers separating the trail from any adjacent travel lanes. It may also be located in conjunction with a sidewalk in a pedestrian easement.

Typical Characteristics

General Character

Park Multi-Use Trail:

Naturally disposed landscape

Low impact paving

Trees lining trail for shade

Appropriately lit for safety

Standards

Min. Width	10feet
------------	--------

Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

Active and passive recreation

Casual seating

11.7 Playground Standards



Playgrounds shall be permitted in parks and greens to provide open space designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the City prior to installation.

A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.

Typical Characteristics

General Character

- Focused toward children of all ages
- Fenced with minimal exits (non mandatory)
- Open shelter
- Shade and seating provided
- Play structure, interactive art or fountains

Standards

- Min. Size N/A
- Max. Size N/A
- As described by civic space type in which playground is located
- Protected from traffic
- No service or mechanical equipment

Typical Uses

- Active and passive recreation
- Unstructured recreation
- Casual seating

11.8 Ancillary Structure Standards



Ancillary structures should be formal in character and generally related to but clearly subordinate to surrounding buildings. Each individual structure should keep in character with the style of nearby buildings. Typically, these structures are located at prominent locations within an appropriate civic space. Ancillary structures such as kiosks located in Civic/Open Spaces in both the zones may have minor commercial uses, such as small food, retail or news vendors, but may also serve as civic elements for general public use with more passive activities. Permanent kiosk structures shall be limited to no more than 10% of the area of any Civic/Open Space and shall not exceed 2,500 sq.ft. per structure.

Typical Characteristics

General Character

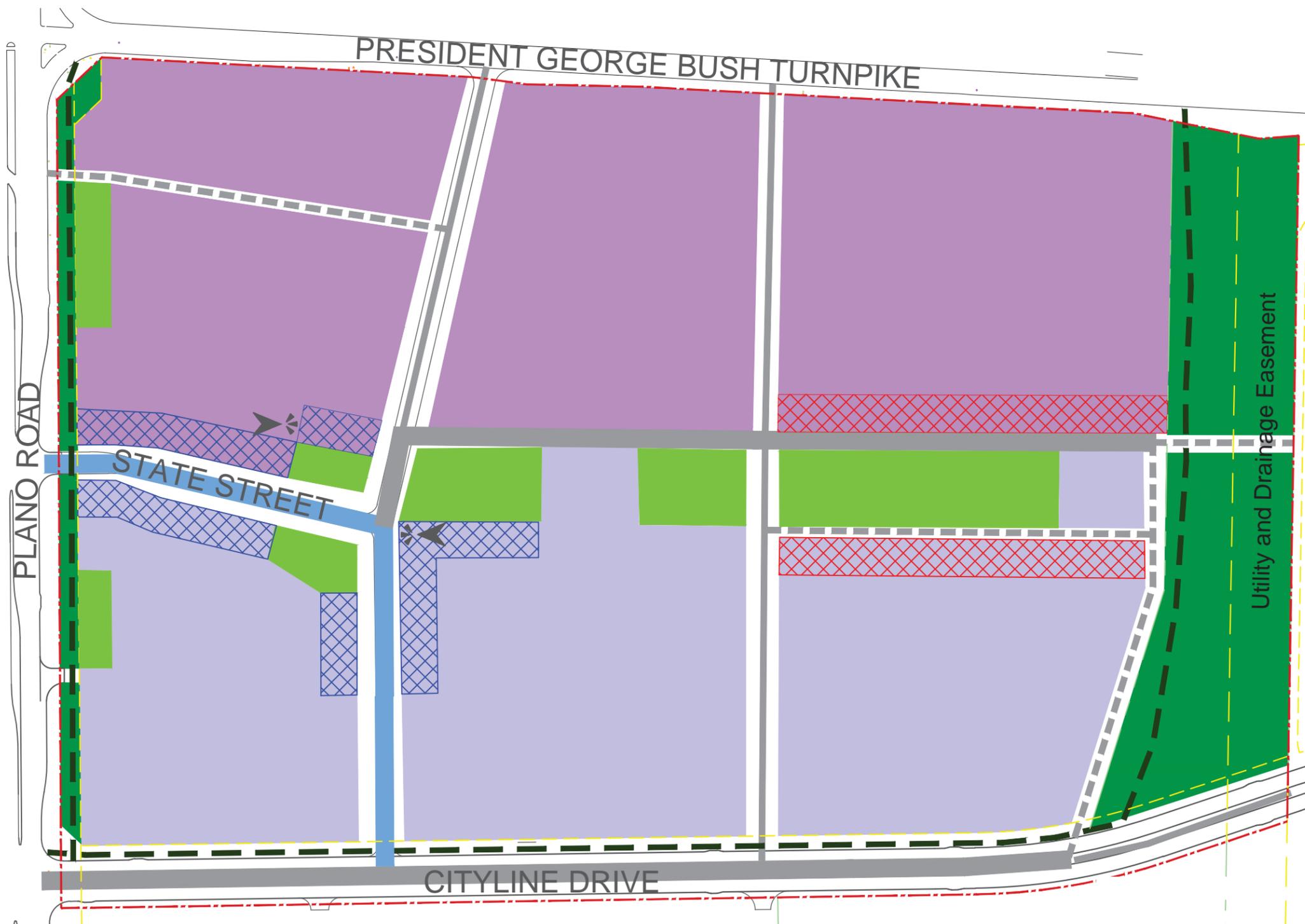
- Formal character
- Relating to style of surrounding buildings
- One or more open sides
- Covered or providing shade
- Small, stand alone structure
- Located within Park, Green, Square or Plaza

Standards

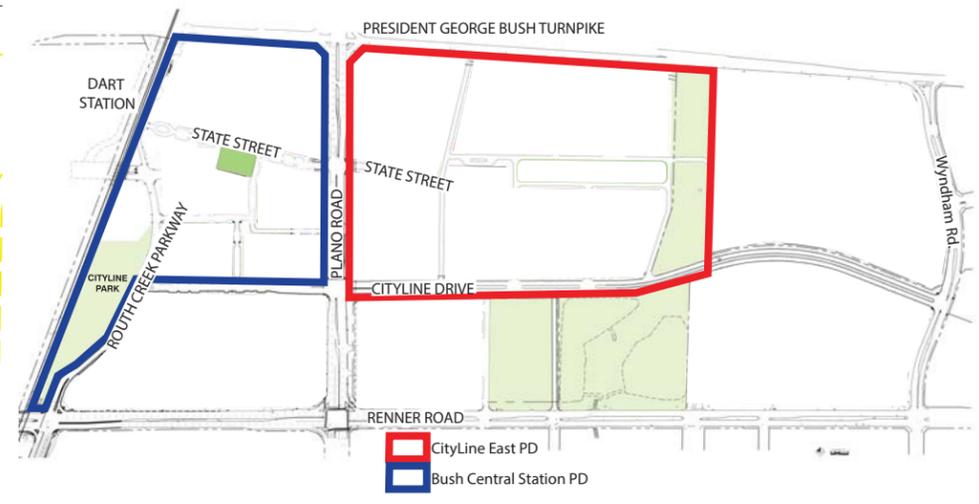
Min. Size	N/A
Max. Size	N/A

Typical Uses

- Civic purposes
- Minor commercial uses
- Casual seating/picnicking

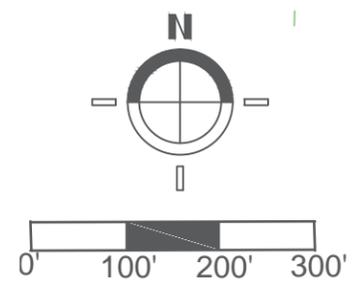


PD Area Key Map



LEGEND

CHARACTER ZONES		STREET NETWORK	
	TOD Core 21.81 Acres		Street Type 1
	TOD Mixed Use 19.39 Acres		Mandatory Street
CIVIC / OPEN SPACE TYPES			Non-Mandatory Street
	Civic/Open Space 100% Mandatory 6.44 Acres	DEVELOPMENT FRONTAGE	
	Civic/ Open Space 60% Mandatory/ 40% Non-Mandatory 3.44 Acres		Type A Frontage Required
OTHER			Type A Frontage Recommended*
	Approximate District Boundary		Type B Frontage Recommended
	Multi-Use Trail	*A minimum of one block face per block shall be developed to meet the standards of a Type 'A' Development Frontage	
	Utility Easement	Note: Plano Road and SH 190 Access Road shall be considered as Type 'B' frontages for the purposes of the CityLine East PD.	
	Terminated Vista	SPECIAL FRONTAGE DESIGNATIONS	
			Optional Transitional Campus Frontage
			Main Street Frontage



**Appendix B
Planting List**

The following lists contain all species approved for use in the CityLine East PD. It contains native and acceptable adapted species. Other species that are drought tolerant and adaptive may be used for planting within the CityLine East PD. The use of alternative species may be permitted with the approval of the City.

CANOPY/STREET TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Live Oak	<i>Quercusvirginiana</i>
Red Oak	<i>Quercusshumardi</i>
Bald Cypress	<i>Taxodiumdistichum</i>
Sweetgum	<i>Liquidambar styraciflua</i>
Cedar Elm	<i>Ulmuscraassifolia</i>
Lacebark Elm	<i>Ulmuspavifolia</i>
Bigtooth Maple	<i>Acer grandidentatum</i>
Caddo Maple	<i>Acer saccharum 'Caddo'</i>
Texas Ash	<i>Fraxinusvelutina 'Rio Grande'</i>
Bur Oak	<i>Quercusmacrocarpa</i>
Chinquapin Oak	<i>Quercusmuhlenbergii</i>
Escarpment Live Oak	<i>Quercusfusiformis</i>
Ginkgo	<i>Ginkgo biloba</i>

ORNAMENTAL TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Yaupon Holly	<i>Ilex vomatoria</i>
Crape Myrtle	<i>Lagerstromiaindica</i>
Deciduous Yaupon	<i>Ilex decidua</i>
Southern Crabapple	<i>Malus app.</i>
Chinese Pistache	<i>Pistaciachinensis</i>
Mexican Plum	<i>Prunus Mexicana</i>
Wax Myrtle	<i>Myricacarifera</i>
Chitalpa	<i>Chitalpatashkentensis</i>
Deciduous Holly	<i>Ilex decidua</i>
Desert Willow	<i>Chilopsislinearis</i>
Eve's Necklace	<i>Sophoraaffinis</i>

SHRUBS LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Nandina	<i>Nandinadomestica 'nana'</i>
Dwarf Burford Holly	<i>Ilex cornuta 'burfordi nana'</i>
AbeliaGrandiflora	<i>Abeliagrandiflora</i>
Barberry	<i>Barberry spp.</i>
Yucca (Red, Yellow or Soft Tip)	<i>Hesperaloeparviflora</i>
Texas Sage	<i>Leucophyllumfrutescans</i>
Indian Hawthorn	<i>Raphiolepisindica</i>

Dwarf Crape Myrtle	<i>Lagerstromiaindica 'nana'</i>
Dwarf Yaupon Holly	<i>Ilex vomitorria 'nana'</i>
Pampas Grass	<i>Cortaderiaselloana</i>
Black-Eyed Susan	<i>Rudbeckiahirta</i>
Dwarf Wax Myrtle	<i>Myricapusilla</i>
Needlepoint Holly	<i>Ilex cornuta 'Needle Point'</i>
Knockout Rose	<i>Rosa 'Knock Out'</i>
Rosemary	<i>Rosmarinusofficinalis</i>

GROUND COVER/VINES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Asian Jasmine	<i>TrachelosperumAsiaticum</i>
Big Blue Liriope	<i>Liriopemuscar</i>
Mondograss	<i>Ophiopogonjaponicus</i>
Purple Winter Creeper	<i>Euonymumcoloratus</i>
Santolina	<i>Santolinavirens</i>
Trumpet Vine	<i>Campsisradicans</i>
Virginia Creeper	<i>Parthenocissusquinquifolia</i>
Lady Banks Rose	<i>Rosa banksiawlutea</i>
Confederate Jasmine	<i>Trachelospermumjasminoides</i>
Crossvine	<i>Bignonia capreolata</i>
Evergreen Wisteria	<i>Millettiareticulata</i>
Lantana 'New Gold'	<i>Lantanacamara 'New Gold'</i>
Liriope 'Silver Dragon'	<i>Liriopemuscar'Silver Dragon'</i>
Prostrate Rosemary	<i>Rosmarinusofficinalisprostrata</i>
Sweet Autumn Clematis	<i>Clematis terniflora</i>

ORNAMENTAL GRASSES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Fountain Grass 'Little Bunny'	<i>Pennisetumalopecuroides'Little Bunny'</i>
Dwarf Maiden Grass	<i>Miscanthussinensis 'Adagio'</i>
Fountain Grass	<i>Pennisetumalopecuroides</i>
Inland Seaots	<i>Chasmanthiumlatifolium</i>
Maiden Grass	<i>Miscanthussinensis 'Gracillimus'</i>
Mexican Feather Grass	<i>Stipatenuissima</i>
Muhly Grass	<i>Muhlenbergiacapillaris</i>
Weeping Lovegrass	<i>Eragrostiscurvula</i>

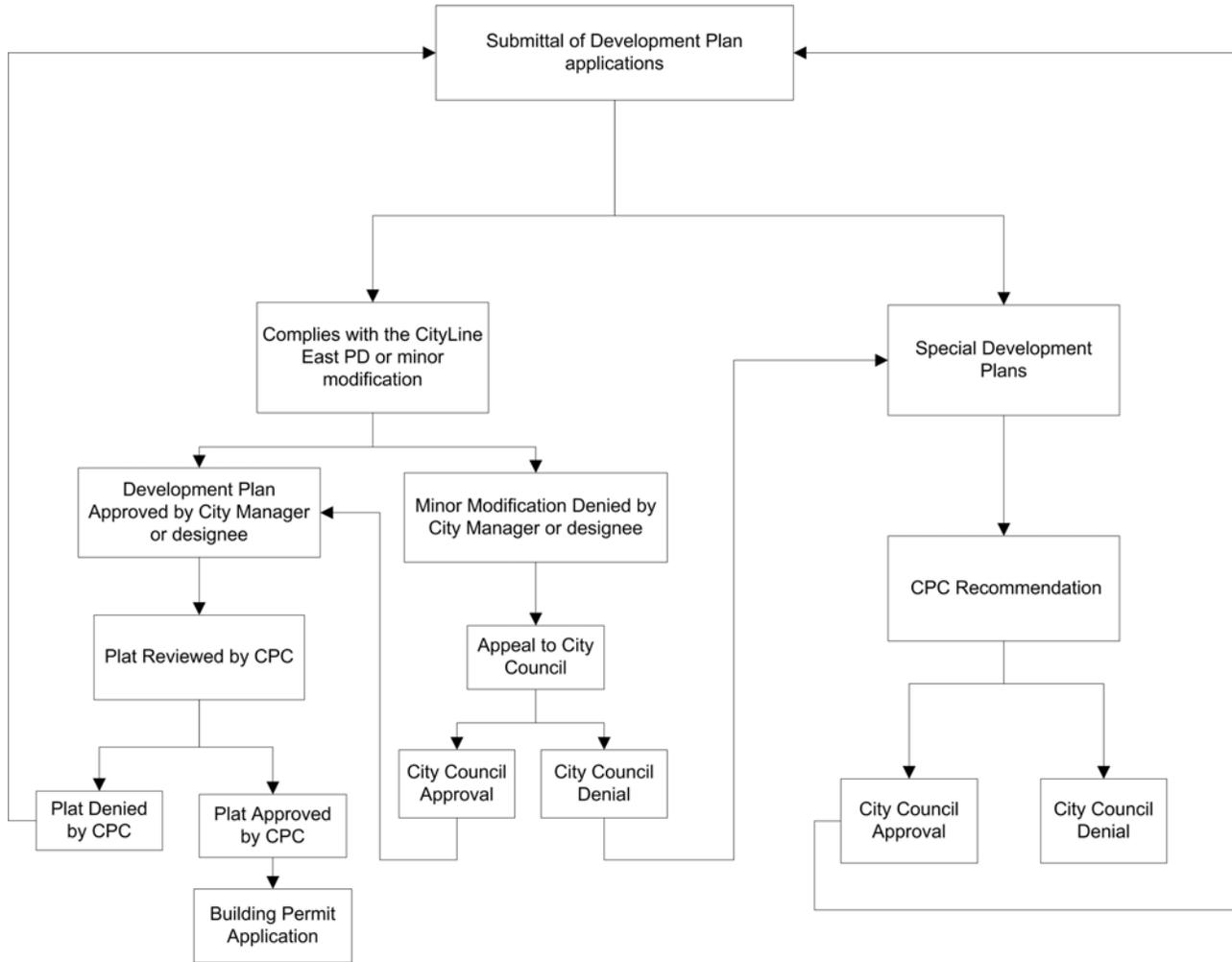
TURF

<u>Common Name</u>	<u>Botanical Name</u>
Bermuda	<i>Cynodondactylon</i>
St. Augustine	<i>Stenotaphrumsecondatum</i>
Zoysia	<i>Zoysiatenuifolia</i>

These plantings may be placed in Civic/Open Spaces or used to meet the private landscaping requirements of the Code. The applicant shall select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.

Appendix C

**CityLine East PD
Development Review Process**



CityLine East PD: CityLine East Planned Development
 CPC: City Plan Commission
 CC: City Council
 SDP: Special Development Plan

Note: Development Plans include site plans, building elevations, landscape plans, civil engineering plans, and all plats

ZF 14-11 Applicant's Statement
CityLine East Planned Development

The purpose of the CityLine East, Planned Development and the corresponding Planned Development Code is to support development of the area into a pedestrian-oriented, mixed-use urban environment, with convenient access to rail transit, shopping, employment, housing, and regional retail services.

The CityLine East, Planned Development will foster the creation of a major regional employment center with significant regional retail and residential uses within convenient walking distance from the existing transit station and potential transfer station to the Cotton Belt rail line. Development within this area would be of high intensity, accommodating large scale office and retail users while providing for moderate scale mixed use and residential within portions of the CityLine East, Planned Development.

The CityLine East, Planned Development and Planned Development Code are created to support economic growth, sustainable tax base, and job creation by establishing predictable adjacency for private development, promoting and leveraging investment in and around the existing transit stop. The standards established provide a high level of prescription on the building form and design with flexibility on the mix of uses.

CityLine East, Planned Development allows for development consistent with the Transit Village future land use designation for the property to the west and Regional Employment designation for the subject property as depicted in the City's Comprehensive Plan and as depicted on the Regulating Plan (Appendix A). The Regulating Plan provides guidance to property owners, developers, and the City on the form, character, and intensity of future development within CityLine East, Planned Development. Creation of different Character Zones within CityLine East, Planned Development enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote sustainability, public welfare, walkability, mixed use development, housing variety and transportation choice.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

PLANNED DEVELOPMENT

File No./Name: ZF 14-11 / CityLine East
Property Owner: Scott Ozymy / BCS East Land Investments LP
Applicant: Scott Ozymy / KDC Real Estate Development and Investments
Location: South side of President George Bush Turnpike, east of Plano Road
(See map on reverse side)
Current Zoning: PD Planned Development
Request: A request to convert conventional zoning standards under a PD Planned Development District to form-based standards under a PD Planned Development District to accommodate a mixed-use development on approximately 63 acres.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, APRIL 15, 2014
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

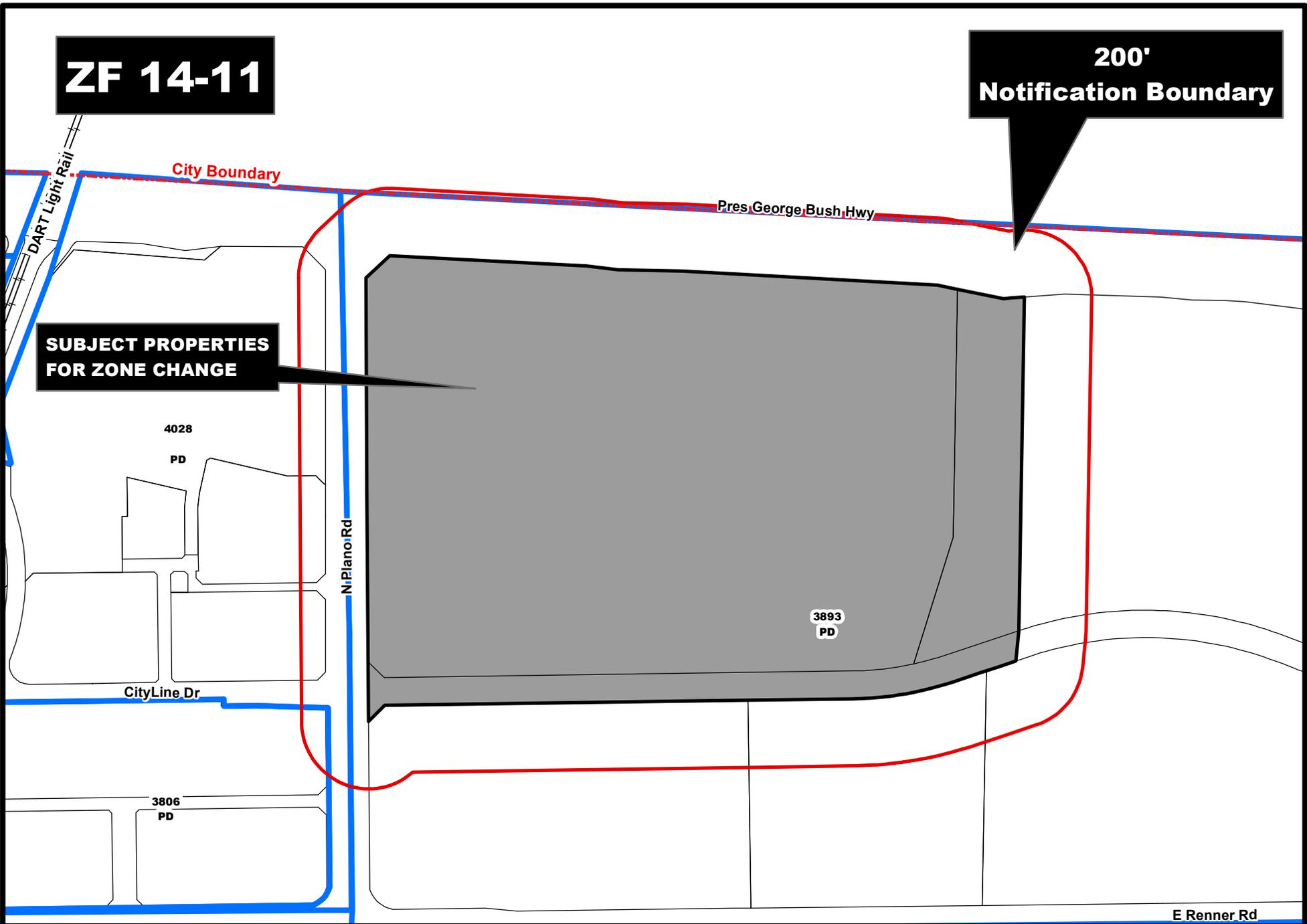
For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 14-11.

Date Posted and Mailed: 04/04/2014

ZF 14-11

**200'
Notification Boundary**

**SUBJECT PROPERTIES
FOR ZONE CHANGE**



ZF 14-11 Notification Map

Updated By: shacklett, Update Date: April 1, 2014
File: D:\Mapping\Cases\Z\2014\ZF1411\ZF1411 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



BCS WEST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

BCS EAST LAND INVESTMENTS LP
DBA GALATYN PARK NORTH HOA
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

BCS RICHARDSON LAND INVEST LLC
ATTN: MANAGER
8333 DOUGLAS AVE # 1500
DALLAS, TX 75225-5822

BCS OFFICE INVESTMENTS ONE LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

SUPERINTENDENT OF SCHOOLS
PLANO ISD
2700 W 15TH ST
PLANO , TX 75075-7524

CITY OF PLANO
PLANNING DEPARTMENT
P. O. BOX 680358
PLANO , TX 75086-0358

FACILITY PLANNING & CONSTRUCTION
ATTN: TONY PEARSON
PLANO ISD
6600 ALMA DR STE E
PLANO , TX 75023

SCOTT OZYMY, EVP, CIO
KDC REAL ESTATE DEVELOPMENT
AND INVESTMENTS
8115 PRESTON RD SUITE 700
DALLAS, TX 75225

SCOTT OZYMY, EVP, CIO
BCS EAST LAND INVESTMENTS LP
8115 PRESTON RD SUITE 700
DALLAS, TX 75225

ZF 14-11
Notification List

ORDINANCE NO. 3893

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, BY CHANGING THE ZONING OF A 147.5-ACRE TRACT OF LAND LOCATED IN THE F.J. VANCE SURVEY, ABSTRACT NO. 939, IN THE CITY OF RICHARDSON, COLLIN COUNTY, TEXAS, AND DESCRIBED IN EXHIBIT "A" HERETO, FROM PD PLANNED DEVELOPMENT AND C-M COMMERCIAL TO PD PLANNED DEVELOPMENT; ADOPTING USE AND DEVELOPMENT REGULATIONS INCLUDING, BUT NOT LIMITED TO, A CONCEPT PLAN AND A DEVELOPMENT PLAN; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 12-20).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE,**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended to change the zoning of a 147.5-acre tract of land located in the F.J. Vance Survey, Abstract No. 939, City of Richardson, Collin County, Texas ("the Property") described in Exhibit "A," attached hereto and incorporated herein by reference, from PD Planned Development and C-M Commercial to PD Planned Development..

SECTION 2. That in addition to the applicable provisions of the City of Richardson Comprehensive Zoning Ordinance, as amended, the Property shall be used and developed in accordance with the following:

I.
GENERAL

1. CONCEPT PLAN. Development of the Property must be in general conformance with the Concept Plan attached hereto as Exhibit "B" (the "Concept Plan").
2. DEVELOPMENT PLAN. A development plan must be approved for each phase of development in accordance with Chapter 21 of the Code of Ordinances.
3. BASE ZONING. The base zoning for each parcel shall be as set forth in the Subsections II, III, IV, and V, below.
4. DEVELOPMENT STANDARDS. Use, building height, area, and parking regulations for each parcel shall be as set forth in this Ordinance. In the event a development standard for a parcel is not expressly set forth in this Ordinance, the development standard set forth on the Comprehensive Zoning Ordinance in the base zoning for said parcel shall control.
5. LANDSCAPE REQUIREMENTS.
 - A. Parcels E-5 and E-6 are to be open space and detention areas.
 - B. Trees shall be required within the Renner Road medians west of Owens Boulevard with the first phase of development on Parcel E-2 and within the Renner Road medians east of Owens Boulevard with the first phase of development on Parcel E-4.
 - C. Trees shall be planted and maintained in accordance with City policy.
6. MINOR MODIFICATIONS. The City Manager or designee shall have the authority to approve a request for minor modifications to concept plans and development plans approved within or required by this Ordinance. For purposes of this planned development, a minor modification shall be defined as (i) a change to a footprint of a building in which the proposed footprint complies with all development standards set forth herein, and (ii) except as otherwise provided in (i), a change which does not (a) increase the building coverage, floor-to-area ratio or residential density of the planned development, (b) decrease any of the specified area regulations or enumerated parking ratios, nor (c) substantially changes the access or circulation on or adjacent to the site.
7. NONRESIDENTIAL DISTRICT. For purposes of this planned development district and the development and performance standards in the City's Comprehensive Zoning Ordinance, this planned development district, or any portion thereof, shall not be considered a residential or apartment district.
8. COMPLIANCE WITH PRESIDENT GEORGE BUSH HIGHWAY DESIGN GUIDELINES. Except as otherwise provided herein, landscaping for areas subject to the President George Bush Highway Design Guidelines shall comply with such Guidelines.

9. CONFLICT OF ORDINANCES. In the event any provision of this ordinance conflicts with any previously adopted ordinance, policy or resolution of the City, the provisions set forth herein shall control.
10. TRAFFIC STUDY. In the event development exceeding 2.5 million square feet of nonresidential development is ever proposed for the Property, a traffic analysis, completed in accordance with Article XXI-C, Sec. 5 of the Comprehensive Zoning Ordinance must be submitted with the development plan for each phase of development in excess of 2.5 million square feet of nonresidential development.
11. DEFINITIONS. For purposes of this planned development, the following words have the following meanings:
 - a. *Data center* means a building or facility primarily dedicated to housing computer systems and associated components generally including redundant or backup power supplies, redundant data communication connections, environmental controls, and security devices and also including office areas for support staff.
 - b. *Ventilated façade system* means a high-performance façade solution that consists of a rain screen and decorative façade (manufactured of type 304, 316 or 430 architectural grade stainless steel, zinc alloy, titanium or other metal material of comparable or greater quality that is approved by the City Manager), cavity depth and ventilation, insulation and sub-frame. Systems may include colorized, patterned and textured stainless steel sheet cladding systems; insulated core metal wall panel systems; metal composite wall panel systems, rear ventilated phenolic rain screen wall panel systems; titanium zinc alloy sheet metal roofing façade cladding and roof drainage components systems.

II.
PARCEL E-1

1. BASE ZONING. PD PLANNED DEVELOPMENT
2. USE REGULATIONS.
 - a. All uses permitted in the PD, Planned Development District.
 - b. In addition, the following uses shall be permitted:
 1. Hospital and medical research
 2. Institutional uses to include educational, governmental and non-profit organizations
 3. Retail sales and personal services
 - a) Motor vehicle service station, with Special Permit in accordance with the Comprehensive Zoning Ordinance
 - b) Grocery store,
 - c) Hardware store,
 - d) Repair Shop – personal items

- e) Musical instruments, sales and repair
- f) Pet Sales and Grooming, subject to Article XXII-E of the Comprehensive Zoning Ordinance.
- g) Laundry or dry cleaning services
- 4. Private clubs in accordance with Chapter 4 of the Code of Ordinances.
- 5. Hotel. Limited Service with Special Permit in accordance with the Comprehensive Zoning Ordinance
- 6. Child care center, as an accessory use
- 7. Public garage
- 8. Radio and television stations without broadcast towers
- 9. Data Centers

3. BUILDING REGULATIONS.

All building facades, excluding doors, windows, or other openings, shall be a minimum of 85% masonry material, defined as brick, stone, stucco utilizing a 3-step process, cast stone, rock, marble, granite, curtain glass, glass block, ventilated facade systems (see definition below), factory painted metal panels, and concrete tilt wall panels. A maximum of 15% of the building facade area may be constructed of materials other than those previously listed and shall be of non-combustible material, including factory installation of commercial grade Class PB Exterior Insulation and Finish Systems (EIFS). Said EIFS materials must be installed above a height of eight feet. In determining the percentage allowance, the total of all sides of the building shall be utilized in the calculation and a maximum of 20% of the facade per elevation shall be constructed of non-combustible materials other than those previously listed.

4. HEIGHT REGULATIONS.

- a. The maximum height of any building shall be 300 feet.
- b. Mechanical rooms and non-occupied penthouses shall not be measured in calculating the allowable height of a building.

5. AREA REGULATIONS.

- a. President George Bush Highway:
 - 1. Buildings: 60 feet
 - 2. Parking Structures: 40 feet
 - 3. Minimum Landscape Buffer: 40 feet
- b. Plano Road:
 - 1. Buildings: 20 feet
 - 2. Minimum Landscape Buffer: 20 feet
- c. Infocom Drive:
 - 1. Buildings: 20 feet
 - 2. Minimum Landscape Buffer: 10 feet
- d. All other streets:
 - 1. Buildings: 20 feet
 - 2. Minimum Landscape Buffer: 10 feet

6. INTERIOR SETBACKS. Except as otherwise provided herein, no building setback shall be required from interior lot lines, except as may be required by the City of Richardson Building Code.
7. DENSITY.
 - a. Nonresidential uses. The maximum Floor Area Ratio for nonresidential uses in the aggregate shall not exceed 2:1. Residential uses are not included in the calculation of Floor Area.
 - b. Residential uses. Minimum density 30 units per acre, not to exceed 1,925 units.
8. PARKING REGULATIONS. Parking shall be provided in accordance with Chapter 21, article III of the Code of Ordinances of the City of Richardson; provided, however, parking for data centers shall be provided at a ratio of one (1) space per 3,000 square feet for the data center portion of the development.
9. LANDSCAPE REQUIREMENTS. The minimum landscape area provided on any lot, parcel or tract shall be not less than ten percent (10%) of the gross land area, exclusive of any land within floodways.

III.
PARCEL E-2

1. BASE ZONING. PD PLANNED DEVELOPMENT
2. USE REGULATIONS.
 - a. Any use permitted in the C-M, Commercial District, except that no motor vehicle sales/leasing - new or motor vehicle rental shall be permitted. Motor vehicle service station shall be permitted with a Special Permit, in accordance with Article XXII-A of the Comprehensive Zoning Ordinance
 - b. Maximum building square footage allocated for office uses shall not exceed 100,000 sq. ft. on Parcel E-2.
3. BUILDING REGULATIONS.
All building facades, excluding doors, windows, or other openings, shall be a minimum of 85% masonry material, defined as brick, stone, stucco utilizing a 3-step process, cast stone, rock, marble, granite, curtain glass, glass block, ventilated facade systems (see definition below), factory painted metal panels, and concrete tilt wall panels. A maximum of 15% of the building facade area may be constructed of materials other than those previously listed and shall be of non-combustible material, including factory installation of commercial grade Class PB Exterior Insulation and Finish Systems (EIFS). Said EIFS materials must be installed above a height of eight feet. In determining the percentage allowance, the total of all sides of the building shall be utilized in the calculation and a maximum of 20% of the facade per elevation shall be constructed of non-combustible materials other than those previously listed.
4. HEIGHT REGULATIONS.
 - a. The maximum height of any building shall be 65 feet, inclusive of parapet walls.

- b. Within 150 feet from the existing south right-of-way line of Renner Road adjacent to residential uses, there shall be a maximum building height of 25 feet.
 - c. Mechanical rooms and non-occupied penthouses shall not be measured in calculating the allowable height of a building.
5. AREA REGULATIONS.
- a. Plano Road:
 - 1. Buildings: 20 feet
 - 2. Minimum Landscape Buffer: 20 feet
 - b. Renner Road:
 - 1. Buildings: 40 feet
 - 2. Minimum Landscape Buffer: 40 feet
 - c. Infocom Drive:
 - 1. Buildings: 20 feet
 - 2. Minimum Landscape Buffer: 10 feet
 - d. All other streets:
 - 1. Buildings: 20 feet
 - 2. Minimum Landscape Buffer: 10 feet
6. INTERIOR SETBACKS. Except as otherwise provided herein, no building setback shall be required from interior lot lines, except as may be required by the City of Richardson Building Code.
7. DENSITY.
The maximum Floor Area Ratio shall not exceed 0.6:1.
8. PARKING REGULATIONS. Parking shall be provided in accordance with Code Chapter 21, Article III of the Code of Ordinances of the City of Richardson.
9. LANDSCAPE REQUIREMENTS. The minimum landscape area provided on any lot, parcel or tract shall be not less than ten percent (10%) of the gross land area, exclusive of any land within floodways.

IV.
PARCEL E-3

1. BASE ZONING. PD PLANNED DEVELOPMENT
2. USE REGULATIONS.
- a. All uses permitted in the PD, Planned Development District, excluding residential uses (single-family detached and attached dwellings, patio homes, duplexes, townhomes and apartments).
 - b. In addition, the following uses shall be permitted:
 - 1. Hospital and medical research establishments

2. Institutional uses to include educational, governmental and non-profit organizations
3. Retail sales and personal services
 - a) Laundry or dry cleaning services
 - b) Grocery store
 - c) Hardware store
 - d) Repair Shop – personal items
 - e) Piano and Musical instruments, sales and repair
 - f) Pet Sales and Grooming, subject to Article XXII-E of the Comprehensive Zoning Ordinance.
4. Private clubs in accordance with Chapter 4 of the Code of Ordinances.
5. Hotel. Limited Service with Special Permit in accordance with the Comprehensive Zoning Ordinance
6. Child care center, as an accessory use
7. Public garage
8. Radio and television stations without broadcast towers
9. Data Centers

3. BUILDING REGULATIONS.

All building facades, excluding doors, windows, or other openings, shall be a minimum of 85% masonry material, defined as brick, stone, stucco utilizing a 3-step process, cast stone, rock, marble, granite, curtain glass, glass block, ventilated facade systems (see definition below), factory painted metal panels, and concrete tilt wall panels. A maximum of 15% of the building facade area may be constructed of materials other than those previously listed and shall be of non-combustible material, including factory installation of commercial grade Class PB Exterior Insulation and Finish Systems (EIFS). Said EIFS materials must be installed above a height of eight feet. In determining the percentage allowance, the total of all sides of the building shall be utilized in the calculation and a maximum of 20% of the facade per elevation shall be constructed of non-combustible materials other than those previously listed.

4. HEIGHT REGULATIONS.

- a. The maximum height of any building shall not exceed 300 feet.
- b. Mechanical rooms and non-occupied penthouses shall not be measured in calculating the allowable height of a building.

5. AREA REGULATIONS.

- a. President George Bush Highway:
 1. Buildings: 60 feet
 2. Parking Structures: 40
 3. Minimum Landscape Buffer: 40 feet
- b. Wyndham Road:
 1. Buildings: 20 feet
 2. Minimum Landscape Buffer: 20 feet
- c. Infocom Drive:
 1. Buildings: 20 feet
 2. Minimum Landscape Buffer: 10 feet

- d. All other streets:
 - 1. Buildings: 20 feet
 - 2. Minimum Landscape Buffer: 10 feet

- 6. INTERIOR SETBACKS. Except as otherwise provided herein, no building setback shall be required from interior lot lines, except as may be required by the City of Richardson Building Code.

- 7. DENSITY.
The maximum floor area shall not exceed 1.5:1.

- 8. PARKING REGULATIONS. Parking shall be provided in accordance with Chapter 21, Article III of the Code of Ordinances of the City of Richardson; provided, however, parking for data centers shall be provided at a ratio of one (1) space per 3,000 square feet for the data center portion of the development.

- 9. LANDSCAPE REQUIREMENTS. The minimum landscape area provided on any lot, parcel or tract shall be not less than ten percent (10%) of the gross land area, exclusive of any land within floodways.

- 10. FENCING. A maximum 8-foot wrought iron-type fence may be installed within any required yard. Said fence shall be depicted on the landscape plan during the development plan review process.

V.
PARCEL E-4

- 1. BASE ZONING. PD PLANNED DEVELOPMENT

- 2. USE REGULATIONS.
 - a. All uses permitted in the PD, Planned Development District, excluding residential uses (single-family detached and attached dwellings, patio homes, duplexes, townhomes and apartments).
 - b. In addition, the following uses shall be permitted:
 - 1. Institutional uses to include educational, governmental and non-profit organizations
 - 2. Retail sales and personal services
 - a) Laundry or dry cleaning service
 - b) Grocery store
 - c) Hardware store
 - d) Repair Shop – personal items
 - e) Piano and Musical instruments, sales and repair
 - f) Pet Sales and Grooming, subject to Article XXII-E of the Comprehensive Zoning Ordinance.
 - 3. Private clubs in accordance with Chapter 4 of the Code of Ordinances.
 - 4. Public garage
 - 5. Radio and television stations without broadcast towers
 - 6. Data Centers

3. BUILDING REGULATIONS.

All building facades, excluding doors, windows, or other openings, shall be a minimum of 85% masonry material, defined as brick, stone, stucco utilizing a 3-step process, cast stone, rock, marble, granite, curtain glass, glass block, ventilated facade systems (see definition below), factory painted metal panels, and concrete tilt wall panels. A maximum of 15% of the building facade area may be constructed of materials other than those previously listed and shall be of non-combustible material, including factory installation of commercial grade Class PB Exterior Insulation and Finish Systems (EIFS).

Said EIFS materials must be installed above a height of eight feet. In determining the percentage allowance, the total of all sides of the building shall be utilized in the calculation and a maximum of 20% of the facade per elevation shall be constructed of non-combustible materials other than those previously listed.

4. HEIGHT REGULATIONS.

- a. The maximum height of any building shall be 65 feet, inclusive of parapet walls.
- b. Within 150 feet from the existing south right-of-way line of Renner Road there shall be a maximum building height of 25 feet.
- c. Mechanical rooms and non-occupied penthouses shall not be measured in calculating the allowable height of a building.

5. AREA REGULATIONS.

- a. Renner Road:
 1. Buildings: 60 feet
 2. Minimum Landscape Buffer: 40 feet
- b. Wyndham Road:
 1. Buildings: 20 feet
 2. Minimum Landscape Buffer: 20 feet
- c. Infocom Drive:
 1. Buildings: 20 feet
 2. Minimum Landscape Buffer: 10 feet
- d. All other streets:
 1. Buildings: 20 feet
 2. Minimum Landscape Buffer: 10 feet

6. INTERIOR SETBACKS. Except as otherwise provided herein, no building setback shall be required from interior lot lines, except as may be required by the City of Richardson Building Code.

7. DENSITY.

The maximum floor area ratio shall not exceed 0.75:1.

8. PARKING REGULATIONS. Parking shall be provided in accordance with Chapter 21, article III of the Code of Ordinances of the City of Richardson; provided, however, parking for data centers shall be provided at a ratio of one (1) space per 3,000 square feet for the data center portion of the development.

9. LANDSCAPE REQUIREMENTS. The minimum landscape area provided on any lot, parcel or tract shall be not less than ten percent (10%) of the gross land area, exclusive of any land within floodways.
10. FENCING: A maximum 8-foot wrought iron-type fence may be installed within any required yard. Said fence shall be depicted on the landscape plan during the development plan review process.

SECTION 3. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all other provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

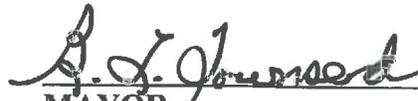
SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars

(\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 10th day of December, 2012.

APPROVED:


MAYOR

APPROVED AS TO FORM:


CITY ATTORNEY
(pgs:12/6/12:58531)

CORRECTLY ENROLLED:


CITY SECRETARY



EXHIBIT "A"
LEGAL DESCRIPTION
ZF 12-20

BEING a tract of land situated in the F.J. Vance Survey, Abstract No. 939, in the City of Richardson, Collin County, Texas, and being all of a called Tract 2 as described in a Special Warranty Deed to Bush/75 Partners L.P., recorded in Document No. 20090828001082150 of the Land Records of Collin County, Texas, and being all of a called 1.058 acre tract of land described in a Special Warranty Deed to Bush/75 Partners L.P., recorded in Document No. 20110408000369160 of the Land Records of Collin County, Texas and being more particularly described as follows (bearings system based on the City of Richardson (Texas) Coordinate System);

BEGINNING at the southwest corner of a corner clip at the intersection of the north right-of-way line of East Renner Road (a variable width right-of-way) and the west right-of-way line of West Wyndham Lane (a 85-foot wide public right-of-way) at a 5/8-inch iron rod with a cap stamped "KHA" set for the **POINT OF BEGINNING**;

THENCE with the north right-of-way line of East Renner Road, the following courses and distances, to wit:

South 89°20'56" West, a distance of 2020.45 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

South 89°10'46" West, a distance of 681.41 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

North 83°56'47" West, a distance of 100.26 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

South 89°10'46" West, a distance of 350.00 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the southeast corner of a corner clip at the intersection of the north right-of-way line of East Renner Road and the east right-of-way line of State Highway No. 5 (Plano Parkway, a 140-foot wide public right-of-way);

THENCE with said corner clip, North 45°35'38" West, a distance of 14.09 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

THENCE with the east right-of-way line of State Highway No. 5, North 00°26'05" West, a distance of 1313.04 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

THENCE continuing with the east right-of-way line of State Highway No. 5, North 00°18'59" West, a distance of 653.65 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the southwest corner of a corner clip at the intersection of the east right-of-way line of said State Highway No. 5 (also known as Plano Road) and the south right-of-way line of State Highway No. 190 (President George Bush Turnpike, a variable width public right-of-way);

THENCE with said corner clip, North 46°51'31" East, a distance of 102.48 feet to a TxDOT monument found for corner;

THENCE with the south right-of-way line of said State Highway No. 190, South 86°57'17" East, passing at a distance of 204.20 feet, the northwest corner of said 1.058 acre tract, continuing for a total distance of 617.30 feet to a TxDOT monument found for corner ;

THENCE continuing with the south right-of-way line of said State Highway No. 190, the following courses and distances, to wit:

South 82°55'01" East, a distance of 100.32 feet to a TxDOT monument found for corner;

South 88°55'32" East, a distance of 200.27 feet to a TxDOT monument found for corner;

South 86°51'32" East, a distance of 800.00 feet to a TxDOT monument found for corner;

South 78°33'27" East, a distance of 212.29 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

North 85°39'47" East, a distance of 191.47 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

South 88°15'53" East, a distance of 300.10 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

South 84°03'54" East, a distance of 100.15 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

South 89°13'05" East, a distance of 100.13 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

South 86°46'31" East, a distance of 65.91 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

South 83°03'40" East, a distance of 193.02 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

South 86°52'31" East, a distance of 215.52 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the beginning of a curve to the right in the west right-of-way line of Wyndham Lane (a 85-foot wide public right-of-way) dedicated to the City of Richardson according to the plat Right-of-Way Dedication-Galatyn Park

North, recorded in Cabinet L, Page 618 of the Plat Records of Collin County, Texas;

THENCE leaving the south right-of-way line of State Highway No. 190, with the west right-of-way line of Wyndham Lane, southeasterly, with said curve to the right, through a central angle of $66^{\circ}30'20''$, having a radius of 140.00 feet, and a chord bearing and distance of South $34^{\circ}53'52''$ East, 153.53 feet, an arc length of 162.50 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the beginning of a reverse curve to the left;

THENCE with the west right-of-way line of Wyndham Lane, the following courses and distances, to wit:

Southerly, with said curve to the left, through a central angle of $16^{\circ}48'38''$, having a radius of 842.50 feet, and a chord bearing and distance of South $10^{\circ}03'01''$ East, 246.30 feet, an arc length of 247.19 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the end of the curve;

South $18^{\circ}27'20''$ East, a distance of 229.45 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the beginning of a curve to the right;

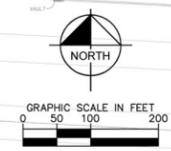
Southerly, with said curve to the right, through a central angle of $40^{\circ}14'11''$, having a radius of 957.50 feet, and a chord bearing and distance of South $01^{\circ}39'46''$ West, 658.68 feet, an arc length of 672.41 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the end of the curve;

South $21^{\circ}46'52''$ West, a distance of 251.13 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the beginning of a curve to the left;

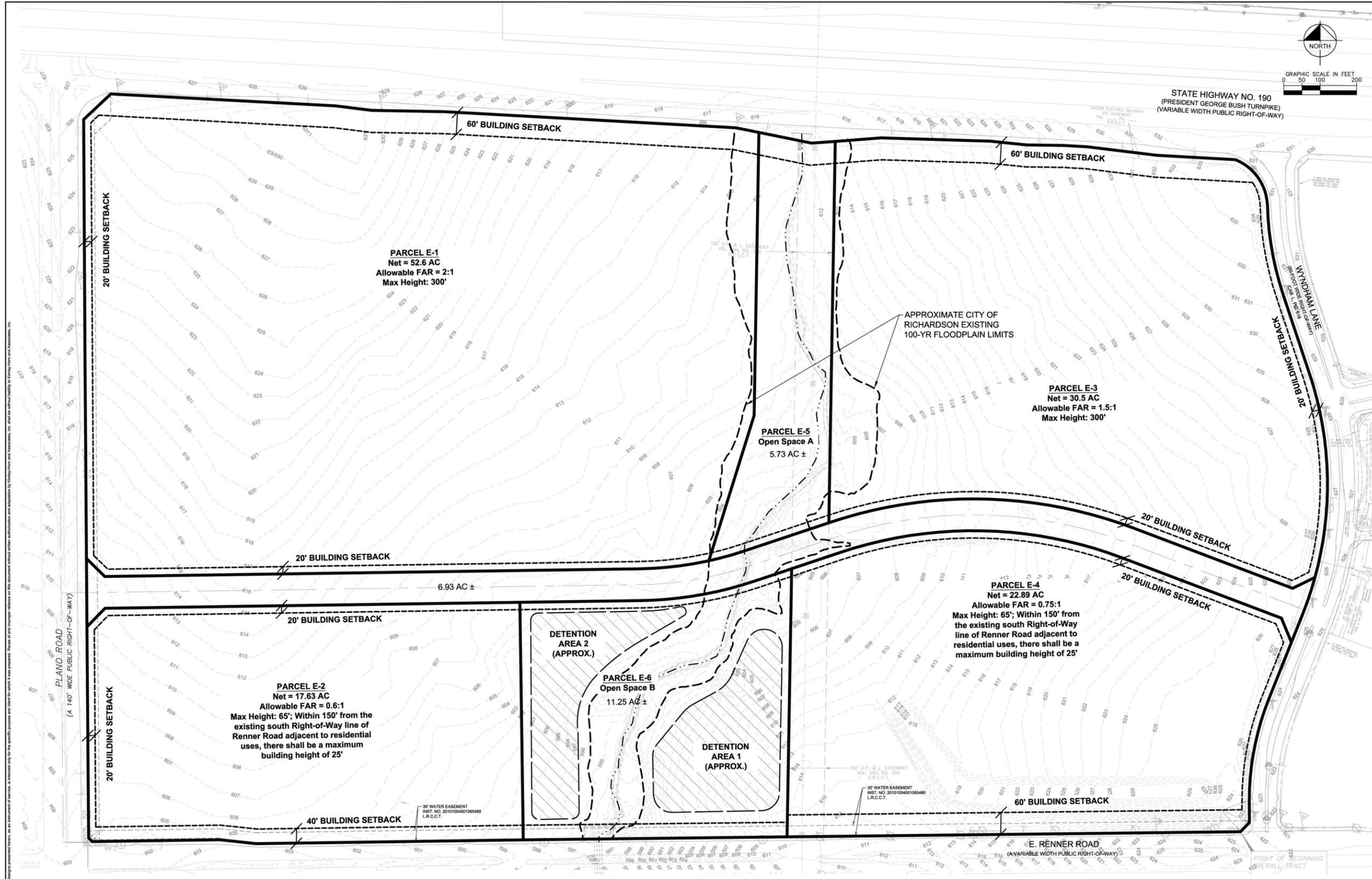
Southerly, with said curve to the left, through a central angle of $21^{\circ}48'34''$, having a radius of 742.50 feet, and a chord bearing and distance of South $10^{\circ}52'35''$ West, 280.93 feet, an arc length of 282.63 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the end of the curve;

South $00^{\circ}01'42''$ East, a distance of 60.63 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the northeast corner of a corner clip at the intersection of the west right-of-way line of said Wyndham Lane and the north right-of-way line of said East Renner Road;

THENCE with said corner clip, South $43^{\circ}55'28''$ West, a distance of 35.04 feet to the **POINT OF BEGINNING** and containing 147.516 acres of land.



STATE HIGHWAY NO. 190
(PRESIDENT GEORGE BUSH TURNPIKE)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



This document, together with the concepts and designs presented herein, is an instrument of service, to be recorded only for the specific purpose and client for which it was prepared. Review of this document without written authorization and subscription by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

*OTHER SETBACKS APPLY PER PD ORDINANCE

KHA PROJECT		DATE		SCALE		DESIGNED BY		DRAWN BY		CHECKED BY	
08/17/2015		12/2/2012		AS SHOWN		KHA		KHA		BJM	
RICHARDSON, TEXAS CONCEPT PLAN											
RICHARDSON, TEXAS RICHARDSON											
SHEET NUMBER E-1.1											
Kimley-Horn and Associates, Inc. 12750 METRO PARK DRIVE, SUITE 1000, DALLAS, TX 75244 PHONE: 972.770.1300 FAX: 972.720.3000 WWW.KIMLEY-HORN.COM TYP: F-08 © 2012 KIMLEY-HORN AND ASSOCIATES, INC.											
REVISIONS No. _____ BY _____ DATE _____											

Exhibit B - Part of Ordinance

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, ADOPTING STANDARDS OF CARE FOR YOUTH PROGRAMS OFFERED BY THE RICHARDSON PARKS AND RECREATION DEPARTMENT; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Texas Human Resource Code, Section 42.041 (b) (4) establishes requirements to exempt recreational programs operated by municipalities for elementary age (5-13) children from State child care licensing; and

WHEREAS, in order to receive exempt status for a youth recreation program, a municipality must adopt standards of care by ordinance after a public hearing for the program, then submit a copy of program standards, a notice of the public hearing for the program and a copy of the ordinance adopting the standards to the State; and

WHEREAS, the City Council after conducting a public hearing and affording a full and fair hearing to all citizens, and in the exercise of legislative discretion, has concluded that the attached standards of care should be approved.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the standards of care for youth programs offered by the Parks and Recreation Department of the City of Richardson, Texas attached hereto as Exhibit “A”, are hereby adopted. As required by Texas Human Resource Code, Section 42.041(b)(14), the Standards adopted by this ordinance include staffing ratios; minimum staff qualifications; minimum facility, health, and safety standards; and mechanisms for monitoring and enforcing the adopted local standards.

SECTION 2. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That if any section, paragraph, clause or provision of this ordinance shall for any reason be held invalid or unenforceable, "the invalidity or unenforceability of such section, paragraph, clause, or provision shall not affect any of the remaining provisions of this ordinance.

SECTION 4. That this ordinance shall take effect upon its passage and the publication of the caption, as the law and charter in such cases provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the ____ day of _____, 2014.

APPROVED:

MAYOR

CORRECTLY ENROLLED:

CITY SECRETARY

APPROVED AS TO FORM:

CITY ATTORNEY

(PGS:4-21-14:TM 65774)

- J. Any parent, visitor or staff may register a complaint by calling Richardson Heights Recreation Center at 972-744-7850, Monday through Friday, 8:00 a.m. to 5:00 p.m.

II. STAFFING

A. Day Camp Director-Job Descriptions and Essential Job Functions

Essential Job Functions:

1. Assists in the planning, budget reporting, scheduling and implementation of the day camp program.
2. Supervise summer staff that includes Day Camp Leaders and Leaders in Training.
3. Implement lesson plans as needed and assist day camp staff with keeping activities on schedule.
4. Plan and lead activities such as sports, games, arts and crafts, music and field trips.
5. Prepare payroll and maintain budget information.
6. Keep attendance records and camper information forms.
7. Communicate courteously and effectively with the other city employees, citizens and program patrons.
8. Implement appropriate discipline procedures when necessary.
9. Attend mandatory staff training session and conduct staff meetings as required.

Qualifications:

1. Must be mature, responsible and able to complete duties with minimal supervision.
2. Must be able to communicate well with the public, and skilled at interacting with children.
3. Must be skilled in supervising children of varying age levels in a group setting.
4. Must have First Aid and CPR certification prior to start of camp.
5. Must have a valid Texas Class C Driver's License.
6. Must complete departmental day camp staff training.
7. Must have previous experience supervising children in a day camp setting.
8. Must have previous experience supervising staff.
9. Must have strong organizational skills and have the ability to adapt easily to change.
10. Must pass city criminal background check prior to hiring.

B. Day Camp Leader-Job Descriptions and Essential Job Functions

Essential Job Functions:

1. Supervise programs and activities of the program during all scheduled hours
2. Maintain supply inventory.
3. Effectively follow lesson plans and instructions from Director.
4. Complete incident and accident reports effectively relating to participating patrons.
5. Communicate courteously and effectively with the other city employees, citizens and program patrons.
6. Attend mandatory staff training session and conduct staff meetings as required.

Minimum Qualifications:

1. Must be mature, responsible and able to complete duties with minimal supervision.

2. Must be able to communicate well with the public, and skilled at interacting with children.
 3. Must have experience working with children and the ability to cope with large groups of children and high noise levels.
 4. Must have First Aid and CPR certification prior to start of camp.
 5. Must be 16 years of age at the time of application.
 6. Must complete departmental day camp staff training.
 7. Must pass city criminal background check prior to hiring.
 8. Knowledge or skills in recreational games, sports, crafts and other activities.
- C. Other Requirements
1. Staff must complete the mandatory training program of at least 25 hours, in addition to planning hours with site staff prior to the start of camp. This training includes a departmental orientation, customer service, behavioral issues and discipline, as well as practical skills on activities for children in games, songs and crafts.
 2. Staff must exhibit competency, good judgment and self-control throughout the duration of the camp.
 3. Staff should relate to the children with courtesy, respect, acceptance and patience.
 4. Staff shall not abuse or neglect children.
- D. Criminal Background Checks: Criminal background checks will be conducted on prospective Day Camp employees.
- E. A prospective employee will be subject to a drug test prior to hiring.
- F. Staffing Ratios: The staff ratio will be 1 staff member per 10 children, ages 5-13 while on site and 1 staff member per 6 children off site.

III. FACILITY STANDARDS

- A. Emergency evacuation and relocation plans will be posted at each facility.
- B. Day Camp Directors and Leaders will inspect sites frequently for any sanitation or safety concerns. Those concerns should be passed on to the Camp Supervisor.
- C. Each camp must have a first aid kit. This shall be checked and stocked on a weekly basis by the on site Camp Directors. It shall include at the minimum bandages, first aid cream, rubber gloves, Neosporin, alcohol wipes, hot/cold packs, gauze, tweezers, ace bandages and scissors.
- D. In a situation where evacuation is necessary, the first priority of staff is to make sure all participants are in a safe location.
- E. Program sites will be inspected annually by the Fire Marshall. Each Facility Manager is responsible for compliance with Fire Marshall's directives.

- F. The recommended number of fire extinguishers shall be inspected prior to camp and indicate that they are properly charged.
- G. Medication will only be administered with written parental consent. Prescription medications shall be left with staff in their original container, labeled with the child's name, date, directions and physician's name. Medication shall be dispensed only as stated on the bottle, and not past the expiration date.
- H. Non-prescription medicine with the child's name and date on the medication may be brought if in the original container. Non-prescription medication will only be administered with written parental consent.
- I. Each indoor site shall have adequate indoor toilets and lavatories located such that children can use them independently and program staff can supervise as needed. Outdoor sites shall provide portable toilets based on number of children attending each day. Ratio of toilet to children will be 1:17.
- J. All participants must wear appropriate footwear daily. Sandals and flip flops will be allowed only in the pool area.

IV. SERVICE STANDARDS-Day Camp Staff

This information will be provided to each staff as a part of the day camp manual:

- A. Camp staff shirts, shorts and tennis shoes are to be worn at all times.
- B. City issued employee I.D. should be worn and clearly visible at all times except during swim time.
- C. Camp participants and parents will be treated with respect at all times.
- D. Camp staff will take it upon themselves to resolve complaints. Do not refer a customer to another staff person. If you are unable to resolve the complaint on the spot, take the customer's name and phone number, investigate complaint resolution and then follow up with the customer.
- E. Camp staff will keep parents informed of camp activities. A weekly schedule will be distributed on the Monday of each week and extra copies will be kept with the sign in log daily.
- F. Camp staff will note details of behavior of campers (accomplishments, discipline problems, general activities, etc.) and update parents on a daily basis if there is a problem.
- G. Camp staff will monitor the sign in/out log at all times.
- H. Camp staff will clean rooms after each activity. Floors will be swept/vacuumed, tables and chairs stacked, supplies put away. This is extremely important due to the fact that rooms are used throughout the day by other groups.

- I. Camp staff will spend 100% of their time actively involved with campers and/or parents.

V. OPERATIONAL ISSUES

- A. Emergency Phone numbers are kept with the Day Camp Director on field trips. Those numbers include fire, police, and ambulance services.
- B. A Day Camp Manual is given to every Day Camp Director and Leader. An additional manual will be located at each site where all staff can have access to the manual, which outlines the following:
 1. Discipline Issues
 2. City Rules and Regulations
 3. Forms that must be filled out
 4. Service Standards
 5. Game/activity leadership
 6. Ways to interact with children
- C. Sign in-sign out sheets will be used every day. Only adults listed on sign-in/out release will be allowed to pick up children. An authorized person must enter the building, present appropriate identification and sign the sheet in order for staff to release the child.
- D. Emergency evacuation and relocation plans will be posted at each facility.
- E. Parents will be notified regarding planned field trips and provided the required release forms.
- F. Enrollment information will be kept and maintained on each child and shall include:
 1. Child's name, birth date, home address, home telephone number, physician's phone number and address and phone numbers where parents may be reached during the day.
 2. Names and telephone numbers of persons to whom the child can be released.
 3. Field trip release form as needed.
 4. Liability waiver.
 5. Parental consent to administer medication, medical information and release on participant.
- G. Staff shall immediately notify the parent or other person authorized by the parent when the child is injured or has been involved in any situation that placed the child at risk.
- H. Staff shall notify parents or authorized persons of children in the facility when there is an outbreak of a communicable disease in the facility that is required to be reported to the County Department of Health. Staff must notify parents of children in a group when there is an outbreak of lice or other infestation in the group.
- I. Discipline:
 1. Discipline and guidance of children will be implemented in a consistent manner based on the Richardson Parks & Recreation Behavior Modification and Re-Enforcement Policy:
 - a. **First Offense** – warning
 - b. **Second Offense** – separation/time out (5 min.)

- c. **Third Offense** – removal from activity (10 min.)
 - d. **Fourth Offense** – removal from activity and sent to Director (20 min.)
 - e. **Fifth Offense** – severe clause; removal of child from program
2. Under no circumstances will there be cruel or harsh punishment or treatment.
 3. Incident reports will be filled out on any disciplinary cases, and information is to be shared with parents when picking up the child or sooner, when extreme cases occur. Continued disciplinary problems will result in the participant being asked to leave the program.
 4. A deliberate action of harm to any camper or leader, vandalism, possession of a concealed weapon or controlled substance, emotional outbursts or tantrums, uncooperative attitude or any severe discipline problem disruptive to the program will result in immediate measures to remove the child from camp.

J. **Illness or Injury**

1. Parents shall be notified in cases of illness or injury.
2. An ill child will not be allowed to participate if the child is suspected of having a temperature and/or accompanied by behavior changes or other signs or symptoms until medical evaluation indicates that the child can be included in the activities. In the event an injury cannot be administered through basic first aid, staff will call 911.
3. When an injury occurs, an incident report shall be filled out immediately. The form shall be filled out completely with the original sent to the Community Events Supervisor's office and a copy kept in the Day Camp files.

VI. GENERAL GUIDELINES FOR CHILDREN

As a part of the Day Camp Manual, staff will be given the following information:

- A. Children must stay off of tables, counter tops, ping pong tables, etc.
- B. Children should walk in the building. Running is permitted only in designated areas.
- C. Bouncing and throwing balls is permitted only in the gym.
- D. Active games using equipment that can cause damage to window, shades, lights, and ceilings must be played only in the gym.
- E. Children must show respect for staff and each other.
- F. Children must wear shoes at all times.
- G. Children must be contained and not allowed to filter in with the general public. You must know where each and every child is **AT ALL TIMES**.

VII. ACTIVITIES

- A. Activities for each group will be planned according to the participant age, interest and ability. The activities should be flexible and promote social and educational advancement.

- B. A weekly calendar of activities will be posted for parents the Monday of that week of camp.
- C. When taking field trips, staff will:
 - 1. Count everyone before they leave the program site as well as prior to leaving the field trip site.
 - 2. Carry medical information on each child and necessary medications with them on the trip.
 - 3. Carry a first aid kit.
 - 4. Carry a cell phone for emergency use.
 - 5. Encourage participants to wear camp shirts so that children are easily identified.

VIII. MONITORING AND ENFORCEMENT

Standards of care established by the City of Richardson will be monitored and enforced by City of Richardson Departments responsible for their respective areas as identified:

- A. Health and safety standards will be monitored and enforced by the City's Police, Fire, Health and Code Enforcement Departments.
- B. Staff and program issues will be monitored and enforced by the Richardson Parks and Recreation Department. The Day Camp Coordinator shall visit each site on a daily basis. Camp Directors are responsible for visually checking the camp activities on a daily basis. When this staff is not available, another full-time staff person is responsible for the daily check.

ORDINANCE NO. 4045

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, RE-APPOINTING A PRESIDING MUNICIPAL JUDGE AND ASSISTANT MUNICIPAL JUDGES OF THE MUNICIPAL COURT OF RECORD NO. 1 OF THE CITY OF RICHARDSON; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Richardson, Texas, previously appointed a Presiding Municipal Judge and Assistant Municipal Judges to the Municipal Court of Record No. 1; and

WHEREAS, the Section 7.04 of the Home Rule Charter of the City of Richardson authorizes the City Council to appoint assistant judges of the municipal court; and

WHEREAS, the City Council finds that the judges of the Municipal Court of Record No. 1 should be re-appointed; **NOW, THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the City Council specifically finds and determines that Raymond D. Noah shall be and is hereby re-appointed as the Presiding Municipal Judge of the Municipal Court of Record No. 1 of the City of Richardson, and that William E. Geyer, Chrissi W. Gumbert and George S. McKearin shall be and are hereby re-appointed as the Assistant Municipal Judges of the Municipal Court of Record No. 1 of the City of Richardson, each to serve a term of office of two (2) years commencing on April 28, 2014 and ending April 28, 2016.

SECTION 2. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be invalid, void or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinance which shall remain in full force and effect.

SECTION 3. That all provisions of the ordinances of the City of Richardson, Texas, in conflict with the provisions of this Ordinance be, and the same are hereby repealed, and all other provisions not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 4. This Ordinance shall take effect immediately upon its passage as the law and charter provide in such cases.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 28th day of April 2014.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:04-11-12:TM 54993)

CITY SECRETARY

ORDINANCE NO. 4046

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, BY AMENDING AND RESTATING ORDINANCE NO. 3156-A BY APPROVING A REVISED CONCEPT PLAN AND APPROVING BUILDING ELEVATIONS FOR A DRIVE-THRU RESTAURANT ON A 0.89-ACRE TRACT ZONED C-M COMMERCIAL, LOCATED AT 105 S. COIT ROAD, RICHARDSON, TEXAS, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO-THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 14-04).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That Ordinance No. 3156-A, adopted on January 26, 1998, is hereby repealed.

SECTION 2. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended by amending and restating Ordinance No. 3156-A, in part, by amending the special conditions of the special permit granted for a drive-thru restaurant to approve a revised concept plan and to approve building elevations attached as Exhibits "B" and "C" attached hereto for the 0.89-acre tract of land zoned C-M Commercial located at 105 S. Coit Road, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 3. That the Special Permit for a drive-thru restaurant granted pursuant to Ordinance No. 3156-A is subject to the following special conditions:

1. A restaurant with drive-through service shall be allowed as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit “B” and made a part thereof.
2. The restaurant with drive-through service shall be constructed in substantial conformance with the attached concept plan (Exhibit “B”) and building elevations (Exhibit “C”).
3. Landscaping shall be added along the east side of the building to provide screening of ground mounted equipment.
4. Ornamental trees shall be added along Belt Line Road and Coit Road to comply with the City’s Landscaping Policy.

SECTION 4. That the above-described tract of land shall be used only in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 5. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect; provided, however, Ordinance No. 3765 shall continue in full force and effect, except as amended herein.

SECTION 6. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 7. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 8. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 9. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 28th day of April, 2014.

APPROVED:

MAYOR

APPROVED AS TO FORM:

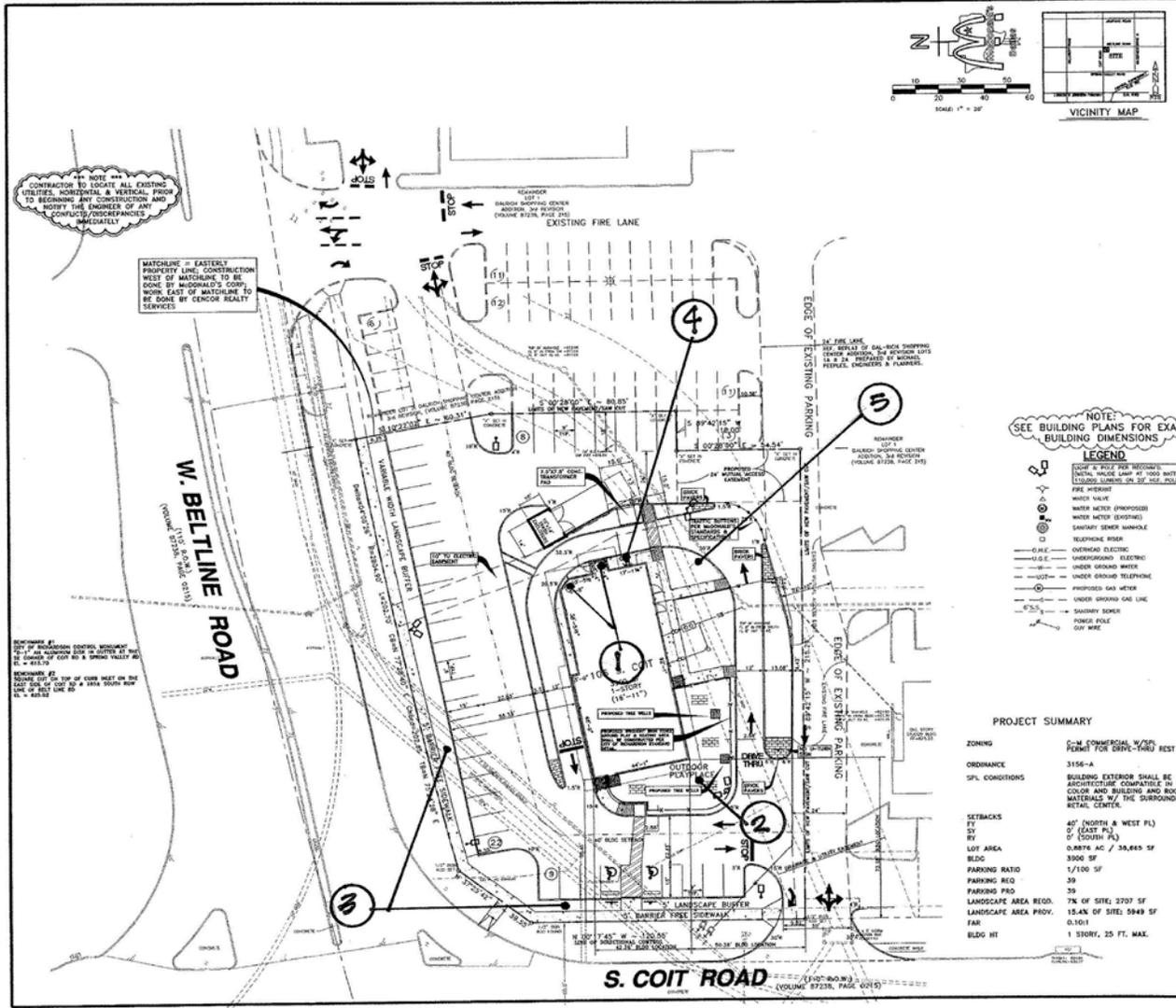
CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:4-17-14:TM 65732)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 14-04

BEING a 0.89-acre tract of land situated in the W.W. Wallace Survey, Abstract No. 1601, Dallas County, Texas; said tract being all of Lot 2A, Dal-Rich Shopping Center Addition, 4th Revision, an addition to the City of Richardson, Texas according to the plat recorded in Volume 92122, Page 00059 of the Map Records of Dallas County, Texas.



GENERAL NOTES:

- SEE SHEET 204 & 201 FOR DETAILS AND NOTES ON PAVING, TYP. CURB, DUMPSTER ENCLOSURE, ETC.
- Remove existing drive-thru window & relocate to new position.
- Remove existing outdoor playplace & seating. Install new seating & low fence.
- Provide ornamental trees to meet city life policy for street trees.
- Provide new life for exposed mounted equipment screening.
- Remove existing drive-thru order/menu elements & replace w/ new.

McDonald's
FRANCHISEE/CO-OWNER: SEC BELT LINE RD & COIT RD
RICHARDSON, TEXAS

Exhibit B - Part of Ordinance

PLAN SCALE: 1" = 20'

STREET ADDRESS: SEC - BELT LINE ROAD & COIT ROAD

CITY: RICHARDSON STATE: TEXAS

REGIONAL DWS. NO.	42/1318	CORPORATE DWS. NO.	SITE PLAN
COUNTY:	DALLAS	LOT:	2
BLOCK:	N/A	ADDITION 1:	DAL-RICH SHOPPING CTR
DATE DRAWN:	3/31/18	PLAN CHECKED:	PKXXX
DATE:		AS-BUILT:	XXX
STATUS:		DATE:	
BY:		BY:	

REGIONAL DWS. NO. 42/1318

CORPORATE DWS. NO. SITE PLAN

C-1 OF 6

ORDINANCE NO. 4047

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A MOTOR VEHICLE STORAGE LOT WITH SPECIAL CONDITIONS ON A 1.69-ACRE TRACT ZONED I-FP(2) INDUSTRIAL, LOCATED AT 1320 INTERNATIONAL PARKWAY, RICHARDSON, TEXAS, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO-THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 14-09).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, so as to grant a change in zoning to grant a Special Permit for a motor vehicle storage lot with special conditions on a 1.69-acre tract of land zoned I-FP(2) Industrial located at 1320 International Parkway, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That the Special Permit for a motor vehicle storage lot is hereby granted subject to the following special conditions:

1. A motor vehicle storage lot shall be allowed and limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part hereof.
2. Vehicles shall be limited to new motor vehicles which are operable and have no visible damage.

3. Recreational vehicles, motorcycles, boats, recreational trailers, and campers shall not be allowed to be stored on the subject property.
4. A minimum 6-foot steel fence with automatic gates shall be constructed around the perimeter in general conformance with Exhibit "B" and shall be allowed to be located within the front setback.
5. No additional light standards shall be allowed, except as shown on Exhibit "B".
6. Changes to the site plan and landscape plan for use of the subject property as a motor vehicle storage lot shall be administratively approved.
7. Hail nets as depicted in the detail on Exhibit "B" shall be allowed and limited to the interior parking spaces as shown on Exhibit "B". The hail nets shall be cable tension structures with a high-density polyethylene fabric cover or an equivalent as approved by the Building Official.
8. On-street loading and unloading of motor vehicles shall be prohibited.
9. Advertising located on the hail nets shall be prohibited.
10. Parking of motor vehicles shall be limited to designated parking spaces as shown on Exhibit "B".

SECTION 3. That the above-described tract of land shall be used only in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect; provided, however, Ordinance No. 3765 shall continue in full force and effect, except as amended herein.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other

than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 28th day of April, 2014.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:4-17-14:TM 65731)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 14-09

BEING a 1.69-acre tract of land situated in the Baruch Cantrell Survey, Abstract No. 265, Dallas County, Texas; said tract being all of Lot 2B, Block 2, Collins Technology Park Addition, an addition to the City of Richardson, Texas according to the plat recorded in Volume 2004111, Page 00409 of the Map Records of Dallas County, Texas.

CITY OF RICHARDSON

TO: Dan Johnson - City Manager
THRU: Kent Pfeil - Director of Finance
FROM: Pam Kirkland - Purchasing Manager
SUBJECT: Bid Initiation Request # 35-14
DATE: April 21, 2014

Request Council approval to initiate bids for the following:

2010 Streets & Alleys Phase II
(Ridgedale & Northhill Streets) (Ridgedale & Westwood Alleys)

Proposed Council approval date: April 28, 2014
Proposed advertising dates: April 30, 2014 & May 7, 2014
Proposed bid due date: Thursday, May 15, 2014 – 2:00 p.m.
Proposed bid opening date: Thursday, May 15, 2014 – 2:30 p.m.
Engineer's estimated total cost: \$1,400,000
Account: 378-8702-585-7524, Project #SD1021
578-5710-585-7524, Project #WS1403


Pam Kirkland, CPPO, CPPB
Purchasing Manager


Kent Pfeil
Director of Finance


Date

Approved: _____
Dan Johnson
City Manager

Date



MEMO

TO: Dan Johnson, City Manager
THROUGH: Cliff Miller, Assistant City Manager *CM*
FROM: Steve Spanos, P.E., Director of Engineering *SS*
SUBJECT: Permission to Advertise 2010 Streets and Alleys Phase II (Ridgedale & Northhill Streets) (Ridgedale & Westwood Alleys) - Bid No. 35-14
DATE: April 18, 2014

BACKGROUND INFORMATION:

The project includes reconstruction of four alleys and two separate roads with associated water and sanitary sewer replacements. Alleys to be reconstructed are north and south of Ridgedale Drive bordering N. Floyd Road to the east, and Thompson Drive to the west. Residential roadways to be reconstructed are Northhill Drive and Ridgedale Drive; both are bordering N. Floyd Road to the east and Thompson Drive to the west.

FUNDING:

Funding is provided from 2010 Streets & Drainage G.O. Bonds and Water & Sewer C.O.'s.

SCHEDULE:

Capital Projects plans for this project to begin construction July 2014 and be completed by March 2015.

Cc: Brad Bernhard, P.E., Project Engineer *bb*

**NOTICE TO CONTRACTORS
CITY OF RICHARDSON**

**2010 STREETS AND ALLEYS PHASE II
(Ridgedale & Northhill Streets)
(Ridgedale & Westwood Alleys)
BID No. 35-14**

Sealed bids addressed to the Purchasing Manager, of the City of Richardson, Texas, will be received at the Office of the City Purchasing Department, Suite 101, City Hall, 411 West Arapaho Road, Richardson, Texas, **until 2:00p.m. on Thursday, May 15, 2014** and will be opened and read aloud in the **Capital Projects Department, Room 206**, 30 minutes later that same day, for furnishing all labor, materials, tools and equipment, and performing all work required including all appurtenances for:

The project includes reconstruction of four alleys and two separate roads with associated water and sanitary sewer replacements. Alleys to be reconstructed are north and south of Ridgedale Drive bordering N. Floyd Road to the east, and Thompson Drive to the west. Alley pavement replacements are approximately 4,450 square yards. Alleys have approximately 3,900 linear feet of sanitary replacements. Residential roadways to be reconstructed are Northhill Drive and Ridgedale Drive; both are bordering N. Floyd Road to the east and Thompson Drive to the west. Residential roadway pavement replacements are approximately 9,000 square yards. Existing 6-inch water mains within both Ridgedale Drive and Northhill Drive are to be replaced with new 8-inch PVC water mains totaling approximately 2,950 linear feet.

Proposals shall be accompanied by a certified or cashier's check on a state or national bank in an amount not less than five percent (5%) of the possible total of the bid submitted, payable without recourse to the City of Richardson, Texas, or an acceptable bid bond for the same amount from a reliable surety company as a guarantee that the bidder will enter into a contract and execute required Performance and Payment Bonds within ten (10) days after notice of award of contract. The notice of award of contract shall be given to the successful bidder within ninety (90) calendar days following the opening of bids.

The successful bidder must furnish a Performance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, a material and labor Payment Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, and a Maintenance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, from a surety authorized under the laws of the State of Texas to act as a surety on bonds for principals.

The right is reserved, as the interest of the Owner may require, to reject any and all bids, to waive any informality in the bids received, and to select bid best suited to the Owner's best interest. The Contractor, to be successful in bidding this project, must have completed a minimum of three similar projects within the last five years.

A maximum of Two Hundred Forty (240) calendar days will be allowed for construction.

One set of plans, specifications and bid documents may be secured from the Office of the City Engineer, Capital Projects Department in Room 204, of the Richardson Civic Center/City Hall, 411 West Arapaho Road, Richardson, Texas, beginning at 12:00 p.m. on **Tuesday, April 29, 2014** upon a **NON-REFUNDABLE FEE OF Fifty Dollars (\$50.00)** per set, payable to the City of Richardson, accompanied by the contractor's name, address, phone number, email address and FAX number. Maximum of two sets of plans per contractor.

A voluntary pre-bid conference will be held **Wednesday, May 7, 2014 at 10:00 am** in the **Capital Projects Conference Room 206**, Richardson Civic Center/City Hall.

By:/s/Laura Maczka, Mayor
City of Richardson
P. O. Box 830309
Richardson, Texas 75083

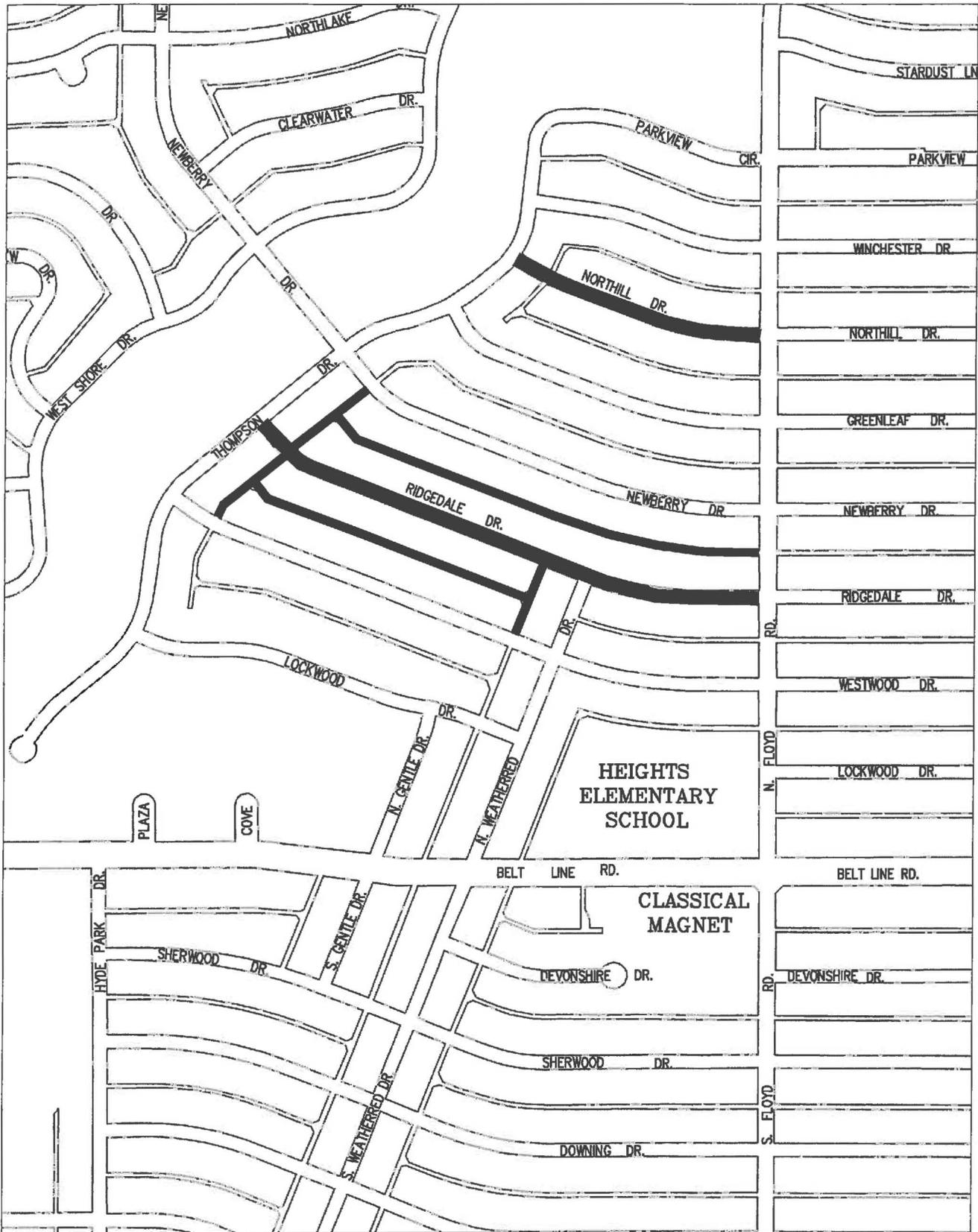
PROJECT SCHEDULE

2010 STREETS AND ALLEYS PHASE II (Ridgedale & Northhill Streets) (Ridgedale & Westwood Alleys)

BID No. 35-14

Agenda Paperwork to Advertise	Friday, April 18, 2014
Council Authorization to Advertise	Monday, April 28, 2014
Plans/Specs Available for Contractors	Tuesday, April 29, 2014
Advertise in Dallas Morning News	Wednesday, April 30, 2014
Advertise in Dallas Morning News	Wednesday, May 7, 2014
Pre Bid Meeting (10:00 am Room 206)	Wednesday, May 7, 2014
Bids Received & Opened (by 2:00 open 2:30 pm Room 206)	Thursday, May 15, 2014
Agenda Paperwork to Award Contract	Friday, May 30, 2014
Council to Award Contract	Monday, June 9, 2014
Pre-Construction Meeting	~June 2014
Project Start	~July 2014
Project Completes in 240 Calendar Days	~March 2015

Project Manager: Brad Bernhard, P.E.
Engineers Estimate: \$1.4 million
Account #378-8702-585-7524 Project#SD1021
Account #548-5710-585-7524 Project #WS1403



STREETS AND ALLEYS PHASE II
(RIDGEDALE & NORTH HILL STREETS)
(RIDGEDALE AND WESTWOOD ALLEYS)
SPRING 2014



CITY OF
RICHARDSON
TEXAS





MEMO

DATE: April 21, 2014

TO: Kent Pfeil – Director of Finance

FROM: Pam Kirkland – Purchasing Manager 

SUBJECT: Award of Bid #45-14 for a cooperative annual requirements contract for automotive paint and body repair with Metro Fleet Collision Repair pursuant to unit prices and percentage of discount from list prices

Proposed Date of Award: April 28, 2014

I concur with the recommendation of Ernie Ramos, Fleet & Materials Manager, and request permission to issue a cooperative annual requirements contract for automotive paint and body repair to the sole bidder, Metro Fleet Collision Repair, pursuant to unit prices.

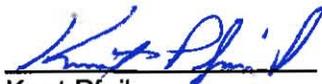
The City of Richardson took the lead in bidding a cooperative annual requirements contract for automotive paint and body repair along with the participation from the cities of Plano, Wylie and Allen. The other cities will be responsible for placing their individual orders and direct payment to Metro Fleet Collision Repair. The contract term will be for one year with options to renew for up to four (4) additional one-year periods, if acceptable to both parties.

Metro Fleet Collision Repair has been our current contractor for the past contract period and has provided excellent service at competitive prices.

The award of this contract allows the city to use the services as the requirements and needs of the city arise on an annual basis and during any subsequent renewal period(s). Since the city is not obligated to pay for or use a minimum or maximum amount of services, payment will be rendered pursuant to the unit prices and percentage of discount from list prices bid.

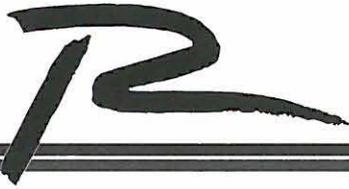
Funding is available from account 011-7020-505-6531. The bid was advertised in the Dallas Morning News on April 1 & 8, 2014 and posted on Bidsync. A prebid conference was held on April 9, 2014 and one bidder and three staff members were in attendance. A total of 406 bids were electronically solicited; 15 vendors viewed the bids and one bid was received.

Concur:


Kent Pfeil

ATTACHMENTS

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

DATE: April 22, 2014
TO: Pam Kirkland, Purchasing Manager
FROM: Ernie Ramos, Fleet & Materials Manager *ER*
RE: Automotive Paint & Body Services, Bid # 45-14

I have reviewed the bid submitted, and made the required site visit to Metro Fleet Collision Repair. I recommend awarding all vehicle classes to Metro Fleet Collision Repair based upon the pricing submitted and the vendor meets all of the bid requirements. Metro Fleet submitted a bid meeting all specifications for all classes, and has the capabilities and facilities to handle all vehicle classes without exception.

Metro Fleet Collision Repair submitted a 10 percent discount on parts for vehicle classifications 1 and 2. All other vehicle classifications will receive a 5 percent discount on parts. Paint & Body labor pricing is based on vehicle classifications and outlined in the bid tabulation.

The contract should be awarded to Metro Fleet Collision Repair for an amount of \$250,000 annually, with the option to renew the contract for four 1-year renewal terms. Please send me a copy of the Purchase Order when the contract is approved.

: ER

Attachment/s: Paint & Body Bid Tabulation #45-14

BID TABULATION-A/R/C FOR AUTOMOTIVE PAINT AND BODY SERVICE

Metro Fleet Collision Repair											
ITEM NO.	DESCRIPTION	EST. QTY.	UNIT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
	Class 1 & 2				10%						
	Class 3, 4, & 5				5%						
	Class 6				5%						
	Class 7				5%						
	Class 8				5%						
	Discount off Materials/Supplies										
	Class 1 & 2				0%						
	Class 3, 4, & 5				0%						
	Class 6				0%						
	Class 7				0%						
	Class 8				0%						
	Hazardous Waste Fee Per Invoice				\$10.00						



MEMO

DATE: April 21, 2014

TO: Kent Pfeil – Director of Finance

FROM: Pam Kirkland – Purchasing Manager *Pam*

SUBJECT: Award of Bid #50-14 for a cooperative contract for Trenchless Waterline Rehabilitation Project at 100 S. Central to Insituform Technologies, Inc. pursuant to unit prices bid through the Local Government Purchasing Cooperative (Buyboard) Contract #354-10

Proposed Date of Award: April 28, 2014

I concur with the recommendation of Hunter Stephens – Interim Superintendent of Utilities, and request permission to issue a contract to Insituform Technologies, Inc. for the above referenced contract in an estimated amount of \$126,550, as per the project description and unit prices in the attached quotation and contained within Contract #354-10. Insituform Technologies, Inc. is the contract vendor for Trenchless Sewer Repair through the Local Government Purchasing Cooperative (Buyboard) Contract #354-10.

The City of Richardson is a member of the Local Government Purchasing Cooperative through our existing interlocal agreement for cooperative purchasing pursuant to Texas Government Code, Chapter 791.025 and Texas Local Government Code, Subchapter F, Section 271.102. This agreement automatically renews annually unless either party gives prior notice of termination.

Funding is provided from account 511-5610-503-7704.

Concur:


Kent Pfeil

Attachments

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Don Magner, Assistant City Manager 

FROM: Hunter Stephens, Interim Superintendent of Utilities 

DATE: 4/10/2014

SUBJECT: Award of Contract – Insituform Technologies, Inc., for trenchless water line rehabilitation project at 100 S. Central.

ACTION REQUESTED

Council to consider award of a contract to Insituform Technologies, Inc., to perform trenchless water line rehabilitation on 500' of 6" cast iron pipe.

BACKGROUND INFORMATION

Insituform Technologies, Inc., uses a trenchless water pipe rehabilitation technology that allows fully structural liner for internal pressure loading.

The subject water pipeline is located under an awning between multiple businesses and has an estimated age of 40+ years. This water line has been identified for trenchless repair because of the location and inability to perform open trench rehabilitation.

Insituform Technologies is considered for this construction method through the Texas Local Government Statewide Purchasing Cooperative Contract #354-10 administered through Buy Board.

FUNDING

Funding for the water line rehabilitation project will be provided from Public Services Construction Account # 511-5610-503-7704

SCHEDULE

The work is scheduled to start the last week in May 2014 and completed in June 2014.



1103 Postwood Dr.
Corinth, TX 76210
www.insituform.com

Name: Tim Peterie
Phone: 214-317-0950

Fax: 940-498-0265
Email: tpeterie@insituform.com

March 7, 2014

ACES# AAJA-JS19NR

Mr. Hunter Stephens
City of Richardson
411 W. Arapaho
Richardson, TX 75080

Buyboard Proposal

Project Name: **City of Richardson, TX
100 S. Central 6" Cast Iron Water Line Rehab by CIPP**

INSITUFORM TECHNOLOGIES, INC. herein proposes to furnish a Proposal for all labor, materials, equipment, and services necessary to reconstruct the referenced project (as detailed in the project location maps presented by the City of Richardson) utilizing the Texas Statewide Cooperative Purchasing Contract #354-10 administered through the BuyBoard.

ASSUMPTIONS AND QUALIFICATIONS

Insituform™ Design. We have based this proposal on installing InsituMain CIPP rated at an internal pressure of 150psi. The product is designed as a fully structural liner for internal pressure loading. The product selection was based on the best available information at the time of this proposal. Existing pipe deterioration in excess of the conditions assumed may result in a recommendation of another product, if applicable. Final recommendations may be submitted to you following the completion of the preliminary inspection phase of the project. Stated prices are subject to adjustment if product or design changes are agreed upon.

Service Connections. During TV inspection all connections are verified, using best practical efforts, to determine if each is an active hook up. Normal practice only reinstates those, which are active. You may direct us to reinstate all or specific connections as you desire. This proposal, unless otherwise stated, assumes that all connections between ¾" – 1" will be reconnected internally by remote cutting devise. All other connections identified are larger than 1" and will be externally reconnected after lining. Specific service connections will not be reconnected only when written directions are received from the Owner. **In the event that Insituform is unable to locate or reconnect a service internally, then the service will need to be reconnected externally.**

INSITUFORM TECHNOLOGIES, INC. will supply the City of Richardson the necessary Maintenance, Payment, and Performance Bonds following acceptance of this proposal. Bonds included in this pricing are based on 1-year.

Water shall be provided at no cost to Insituform Technologies, Inc. for all construction phases of this project. Insituform Technologies, Inc. will follow all required deposit, backflow prevention, and metering procedures.

The Owner will assist in isolation of all flow during the installation of the temporary water service and during system reconnection. We estimate 1 week for substantial completion of the project. Please allow 4-6 weeks for material delivery.

The pricing in this proposal assumes that all Technical Specifications set forth by the BuyBoard will be strictly adhered to. Any changes to these specifications must be noted and agreed upon by both parties prior to finalizing the proposal pricing.

PROPOSAL TERMS AND CONDITIONS

Terms and Conditions from the Texas Statewide Cooperative Purchasing Contract are available upon request from the BuyBoard. Any changes to these conditions must be noted and agreed upon by both parties.

PROPOSAL PRICING

PAY ITEM NO.	DESCRIPTION	APPROX QTY	U/M	UNIT PRICE	ESTIMATED AMOUNT
1	Access pit (0'-8' deep)	6	EA	\$2,000.00	\$12,000.00
2	Trench safety	40	LF	\$10.00	\$400.00
3	6" Pressure pipe cleaning	480	LF	\$21.00	\$10,080.00
4	6" Pressure pipe inspection	480	LF	\$3.00	\$1,440.00
5	Tuberculation removal	480	IN/DIA/LF	\$2.50	\$1,200.00
6	Traffic control	5	DAY	\$1,000.00	\$5,000.00
7	Set up bypass of mainline sizes 2"-4"	480	LF	\$34.00	\$16,320.00
8	Connection of temp. service from 2"-4"	5	EA	\$391.00	\$1,955.00
9	Operation of 2"-4" AWWA approved bypass	5	DAY	\$425.00	\$2,125.00
10	6" Installation of pressure pipe lining	480	EA	\$68.00	\$32,640.00
11	6" System set-up charge per install length	480	LF	\$13.00	\$6,240.00
12	Internal reconnect for CIPP pressure pipe	1	EA	\$1,000.00	\$1,000.00
13	External reconnect (0'-8' deep)	4	EA	\$1,250.00	\$5,000.00
14	6" Installation of end seal/saddle/connection	10	EA	\$1,000.00	\$10,000.00
15	Repair/Rehab 8" concrete pavement	39	SY	\$150.00	\$5,850.00
16	Flushing	1	EA	\$500.00	\$500.00
17	Chlorination	2	EA	\$500.00	\$1,000.00
18	Bacteria testing	2	EA	\$450.00	\$900.00
19	Potable water project: reconnects, special equipment	1	LS	\$25,400.00	\$25,400.00
TOTAL					\$139,050.00
Opt 19	Potable water project; reconnects, special equipment (deduct if allowed to schedule with other work in the area at our convenience)	1	LS	-\$12,500.00	\$12,500.00
OPTIONAL TOTAL					\$126,550.00

PROPOSAL INCLUSIONS

The prices stated in this proposal include:

1. Mobilizations and demobilization.
2. Compliance with the requirements of ANSI/NSF Standard 61.
3. Excavation of access pits, shoring, and backfilling.
4. Tie-Ins to existing pipe.
5. Service reconNECTIONS.
6. Temporary bypass to services for 6" line segment.
7. Pipe line cleaning.
8. Pre-Video inspections and documentation of existing pipe prior to reconstruction with the Insituform process for pipe rehabilitated by CIPP.
9. Final video inspection following completion of the installation to document your new pipe rehabilitated by CIPP.
10. Insitutube wetout using 300,000 Flexural Modulus Epoxy resin, inversion, curing, and finishing.
11. Testing and chlorination as required.
12. Confined space safe entry practices.
13. One-year standard construction warranty.
14. Certificate of insurance with a standard coverage.
15. Project Bonds

PROPOSAL EXCLUSIONS

Not included in the prices stated in this estimate are costs associated with the items listed below. These items, if needed or found to be applicable, would be provided by **INSITUFORM TECHNOLOGIES, INC.** at your additional cost; or would be furnished by others, at your direction, at no cost to **INSITUFORM TECHNOLOGIES, INC.**:

- a) If preliminary video inspection of the pipe interior indicates excessive damage, or other extra-ordinary condition, which will require excavation, or other extraordinary remedy, to prepare the pipe for installation of the Insitutube, then those services will be provided by the Owner or by alternate arrangement by Insituform.
 - b) Additional cleaning and televising mobilizations and/or setups due to point repairs, obstruction removals, or delays out of our control will be an additional charge.
 - c) Manual operation of any valves or hydrants.
 - d) Water from fire hydrants within a convenient distance from each cleaning and inversion site location.
 - e) Legal dumpsite for debris resulting from pipes cleaning.
 - f) *If any hazardous or toxic materials are encountered during the project, the Owner will be responsible for the removal and disposal of the materials.*
 - g) Project permits and/or local licenses.
 - h) State and local sales and/or use taxes on the value of the project. If you are exempt please submit the appropriate documentation.
 - i) Additional premiums for special insurance coverage(s) demanded by you or other parties particular to this project.
-

OFFERED BY:

ACCEPTED BY:

INSITUFORM TECHNOLOGIES, INC.



**TIMOTHY R. PETERIE
BUSINESS DEVELOPMENT MANAGER**

**REVIEWED BY:
ANDY OZMENT
AREA MANAGER**

SIGNATURE

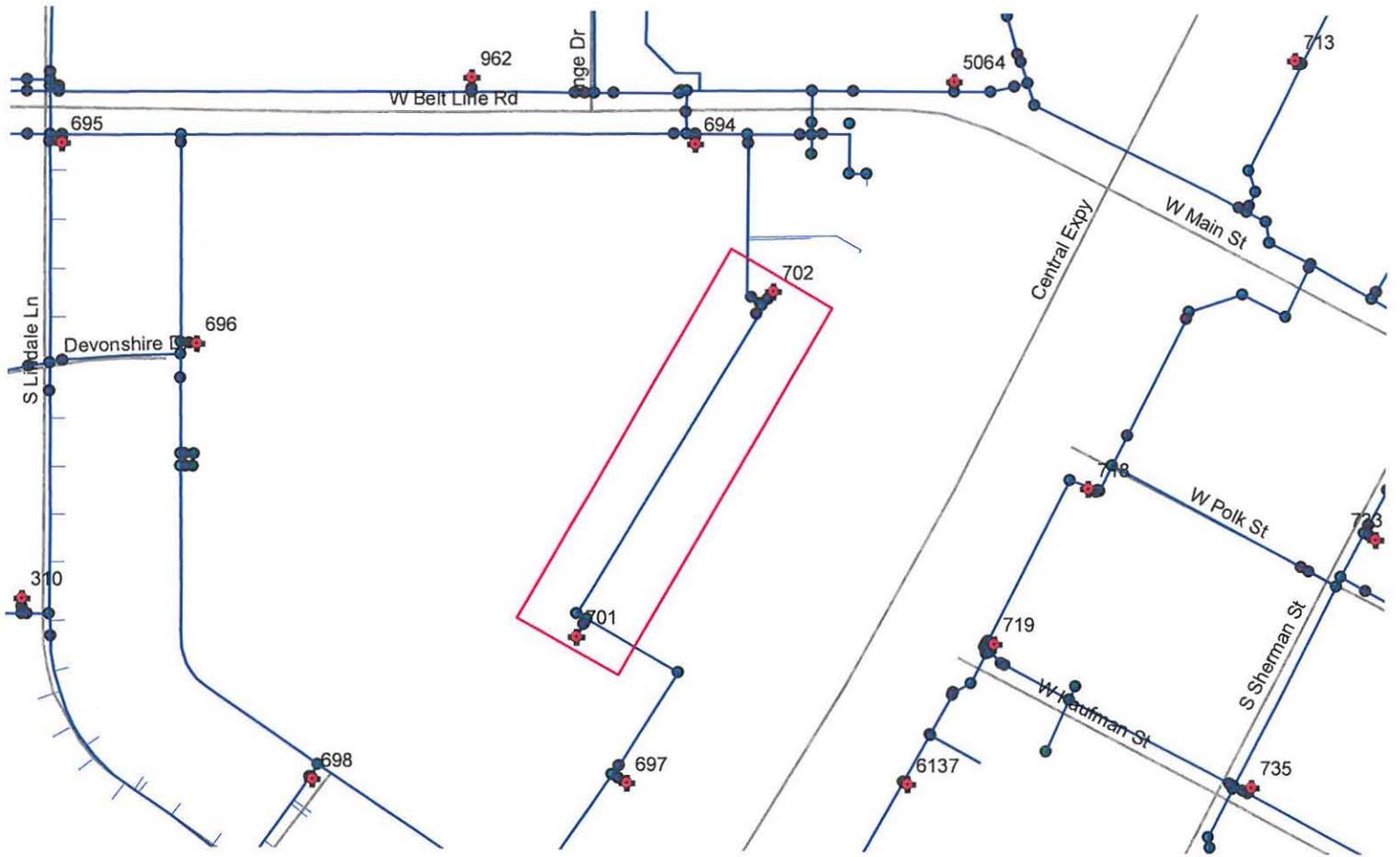
DATE

NAME

TITLE

ORGANIZATION

cc: Kenneth Pipitone Jr.
Josh Awalt (PM)
Donnie Davis (COR)





MEMO

DATE: April 23, 2014

TO: Kent Pfeil – Director of Finance

FROM: Pam Kirkland – Purchasing Manager *Pam*

SUBJECT: Award of Bid #51-14 for the 2013-14 Cellular Communication Services to AT&T (\$155,000) through the State of Texas Department of Information Services Contract #DIR-SDD-1777 and to Verizon Wireless (\$65,000) Contract #DIR-SDD-1779 for an estimated total amount of \$220,000

Proposed Date of Award: April 28, 2014

I concur with the recommendation of Steve Graves, Chief Information Officer, and request permission to issue contract purchase orders to the following vendors:

AT&T	Cell Phone Service Provider	\$155,000
Verizon Wireless	Cellular Data (EVDO Provider)	<u>\$ 65,000</u>
	Estimated Total Award	\$220,000

AT&T has been awarded Contract #DIR-SDD-1777 and Verizon Wireless has been awarded Contract #DIR-DSS-1779 through the State of Texas Department of Information Resources cooperative purchasing program. The City of Richardson participates in this program through our existing interlocal agreement for cooperative purchasing pursuant to Texas Government Code, Chapter 791.025 and Texas Local Government Code, Subchapter F, Section 271.102. This agreement automatically renews annually unless either party gives prior notice of termination.

Funding is provided in accounts 011-0310-513-5399, 511-5910-504-5399 for the cell service and in account 011-0310-513-5303 for the data service.

Concur:

Kent Pfeil

 Kent Pfeil

Xc: Dan Johnson
 David Morgan
 Cliff Miller
 Don Magner
 Shanna Sims-Bradish



DATE: April 23, 2014
TO: Pam Kirkland, Purchasing Manager
FROM: Steve Graves, Chief Information Officer *SGraves*
SUBJECT: 2013/14 Cell Communication Recommendation

I recommend using AT&T for our Cell Phone provider. This service is used for all smartphones, standard cell phone usage and text messaging for all City Departments including Public Safety. AT&T is a State of Texas DIR vendor, Contract Number DIR-SDD-1777. The total cost per year is \$155,000.00 and this amount was budgeted in the 2013/2014 budget using account numbers 011-0310-513-53.99, and 511-5910-504-53.99.

I also recommend using Verizon Wireless for our Cell Data (EVDO/LTE) provider. This service is used to provide cellular data communications for all of our Public Safety vehicles. Verizon Wireless is a State of Texas DIR vendor, Contract Number DIR-SDD-1779. Total cost per year is \$65,000.00 and this amount was budgeted in the 2013/2014 budget using account number 011-0310-513-53.03.



MEMO

DATE: April 24, 2014
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager *Pam*
SUBJECT: Change Order to increase purchase order 130994 to Ed Bell Construction Company, Inc. for the Central Trail in the amount of \$270,093.49

Proposed Date of Award: April 28, 2014

I concur with the recommendation of Michael Massey – Director of Parks and Recreation, and request permission to increase the above referenced purchase order in the amount of \$270,093.49, as outlined in Mr. Massey's attached memo.

Texas Local Government Code Chapter 252.048 allows for change orders to contracts if plans or specifications are necessary after or during the performance of the contract to decrease or increase the quantity of work to be performed or of materials, equipment or supplies to be furnished. The contract may not be increased by more than 25% of the original contract amount or decreased more than 25% without the consent of the contractor. Per state law, all change orders over \$50,000 must be approved by the governing body of the municipality.

Concur:

Kent Pfeil

Kent Pfeil

Approved:

Dan Johnson

ATTACHMENTS

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Pam Kirkland, Purchasing Manager
THROUGH: Shanna Sims-Bradish, Assistant City Manager *Shanna Sims-Bradish*
FROM: Michael Massey, Director of Parks & Recreation *Michael Massey*
SUBJECT: Change Order No. 2 to INCREASE Purchase Order No. 130994
Ed Bell Construction Co., Inc. - Central Trail
DATE: April 23, 2014

ACTION REQUESTED

City Council authorizing the City Manager to execute Change Order No. 2 to Increase Purchase Order No. 130994 in the amount of \$270,093.49 to Ed Bell Construction Co., Inc.

ACCOUNT SUMMARY

Original Purchase Order	\$3,393,536.50
Change Order #1	\$157,457.90
Change Order #2	\$270,093.49
Total Authorized Contract Amount	\$3,821,087.89

BACKGROUND INFORMATION

Central Trail construction is nearing completion in the southern alignment from Arapaho Road to Buckingham Road. Over the course of the construction period several revisions to construction details have been identified and held for later consideration pending remaining project funding. It is appropriate to now undertake these construction revisions to complete the project and remain within the project budget. These items relate to pedestrian safety, accessibility, DART stipulations and drainage improvements.

This change order will finish out the project and will be paid for within the remaining project funding.

FUNDING INFORMATION

Funding is provided from Account No. 378-8704-585-7524 Project No. PK1008

Cc: Tom Blagg, Park Planner *TB*
Roger Scott, Assistant Director Parks & Recreation
Steve Spanos, P.E., Director of Engineering
Edward Witkowski, P.E., Project Engineer
Kristen Billings, Contract Administrator
Carolyn Kaplan, Capital Projects Accountant

**Richardson Central Trail
Change Order No. 2**

Additional Costs:

DART grounded fencing	\$49,840.50
Ballast	\$11,592.00
40'-15" Class III RCP Storm Water Sewer	\$2,000.00
146'-27" Class III RCP Storm Water Sewer	\$11,680.00
9 LF 6'x4' Precast Culvert	\$5,850.00
26 LF Removal & Disposal of RCP	\$520.00
Headwall Box @ Box Culvert	\$17,330.00
Inlet at RISD	\$4,000.00
1 Barrier Free Ramp	\$1,500.00

Sub Total: \$104,312.50

Additional Costs – Safety and Landscape Items:

3 Rail pipe fence at Buckingham	\$12,862.08
3 Rail pipe fence at DART Spring Valley Station	\$12,862.08
3 Rail pipe fence Jackson St. to Arapaho Rd.	\$8,932.00
Stone Clad Walls	\$12,380.00
Trail Signs	\$3,500.00
Brick Row Rip Rap (slope)	\$6,000.00
Grass sod at Spring Valley DART Station	\$7,000.00
Erosion Control Matting at RISD and box culverts	\$1,495.50
Greenville Ave. Z Crossings	\$27,187.50
Parking/Driveway at south side Main St. and Interurban	\$42,561.83
4 Barrier Free Ramps at Main St. and Texas St.	\$6,000.00
Realigned Crossing at Polk St. and Texas St.	\$25,000.00

Sub Total: \$165,780.99

Total: \$270,093.49