

**RICHARDSON CITY COUNCIL
MONDAY, JANUARY 27, 2014
WORK SESSION AT 6:00 PM; COUNCIL MEETING AT 7:30 PM
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX**

The Richardson City Council will conduct a Work Session at 6:00 p.m. on Monday, January 27, 2014 in the Richardson Room of the Civic Center, 411, W. Arapaho Road, Richardson, Texas. The Work Session will be followed by a Council Meeting at 7:30 p.m. in the Council Chambers. Council will reconvene the Work Session following the Council Meeting if necessary.

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

WORK SESSION – 6:00 PM, RICHARDSON ROOM

• **CALL TO ORDER**

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

The City Council will have an opportunity to preview items listed on the Council Meeting agenda for action and discuss with City Staff.

B. REVIEW AND DISCUSS THE CITY OF RICHARDSON URBAN LAKES

C. REVIEW AND DISCUSS THE MAIN STREET/CENTRAL EXPRESSWAY STUDY PHASE II

D. REVIEW AND DISCUSS THE TXDOT US 75 FRONTAGE ROAD IMPROVEMENTS

E. REVIEW AND DISCUSS THE DEVELOPMENT OF A COMMUNITY ARTS WEBSITE

F. REPORT ON ITEMS OF COMMUNITY INTEREST

The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.

COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS

1. INVOCATION – MARK SOLOMON

2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – MARK SOLOMON

3. MINUTES OF THE JANUARY 13, 2014 MEETING

4. VISITORS

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a "City Council Appearance Card" and present it to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns will be addressed by City Staff, may be placed on a future agenda, or by some other course of response.

ACTION ITEMS:

5. SCB CASE #14-01: TO CONSIDER THE REQUEST OF WIRELESS HOSPITAL FOR A VARIANCE TO THE CITY OF RICHARDSON CODE OF ORDINANCES, CHAPTER 18, ARTICLE III, SECTION 18-96(2)(b)(3)(i) TO ALLOW FOR A 8.5 SQUARE FOOT INCREASE TO THE 44 SQUARE FOOT BASE ALLOWABLE SIGN AREA FOR THE LEASE SPACE, TO ALLOW FOR A 52.51 SQUARE FOOT ATTACHED BUILDING SIGN IN A COMMERCIAL ZONED DISTRICT ON THE PROPERTY LOCATED AT 401 N. CENTRAL EXPY, #700; AND TAKE APPROPRIATE ACTION.
6. ADOPTION OF ORDINANCE NO. 4037, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING FOR A 58.5-ACRE TRACT OF LAND FROM LR-M(2) LOCAL RETAIL, PD PLANNED DEVELOPMENT, AND TO-M TECHNICAL OFFICE TO PD PLANNED DEVELOPMENT FOR PROPERTY LOCATED ON THE WEST SIDE OF CENTRAL EXPRESSWAY, GENERALLY BOUNDED BY COLLINS BOULEVARD TO THE WEST, PALISADES BOULEVARD AND GALATYN PARKWAY WEST EXTENSION TO THE SOUTH, AND PALISADES CREEK DRIVE TO THE NORTH, SAID 58.5-ACRE TRACT BEING DESCRIBED IN EXHIBIT "A" HERETO.

7. CONSENT AGENDA:

All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.

A. CONSIDER AWARD OF THE FOLLOWING BIDS:

1. BID #06-14 – WE RECOMMEND THE AWARD TO 3D PAVING AND CONTRACTING, LLC, FOR THE 2010 SIDEWALK REPLACEMENT PROJECT REGION 10 IN THE AMOUNT OF \$971,287.70.
2. BID #13-14 – WE RECOMMEND THE AWARD TO DALLAS BACKUP, INC., DBA ONSTAGE SYSTEMS FOR THE STAGES, LIGHTING, SOUND, BACKLINE, MISCELLANEOUS STRUCTURES & STAGE PERSONNEL FOR CITY FESTIVALS IN AN ESTIMATED AMOUNT OF \$174,897.
3. BID #16-14 – WE RECOMMEND THE AWARD TO FEDERAL MECHANICAL SYSTEMS, INC., FOR THE 2014 POLICE DEPARTMENT AND MUNICIPAL COURT HVAC UPGRADES IN THE AMOUNT OF \$421,500.
4. BID #29-14 – WE RECOMMEND THE AWARD TO TEXAS INDUSTRIES FOR THE BLIND AND HANDICAPPED FOR AN ANNUAL CONTRACT FOR JANITORIAL SERVICES AT THE PUBLIC LIBRARY, SERVICE CENTER, MUNICIPAL COURT, ANIMAL SHELTER, POLICE SUBSTATION AND GOLF IN THE AMOUNT OF \$154,910.52.
5. BID #32-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE PURCHASE ORDER TO SILSBEE FORD/TOYOTA FOR THREE VEHICLES FOR POLICE AND CUSTOMER SERVICE THROUGH THE HOUSTON-GALVESTON AREA COUNCIL OF GOVERNMENTS CONTRACT #VE11-13 IN THE AMOUNT OF \$67,708.25.
6. BID #33-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE PURCHASE ORDER TO MCNEILUS COMPANIES FOR A 40-YARD FRONT LOADER BODY FOR SOLID WASTE THROUGH THE TEXAS LOCAL GOVERNMENT STATEWIDE PURCHASING COOPERATIVE BUYBOARD CONTRACT #425-13 IN THE AMOUNT OF \$95,432.

7. BID #34-14 – WE RECOMMEND THE AWARD TO INTERCON DEMOLITION COMPANY FOR EMERGENCY GRINDING AND HAULING OF BRUSH FROM THE DECEMBER 2013 INCLEMENT WEATHER STORM PURSUANT TO LOCAL GOVERNMENT CODE, CHAPTER 252.022(a)(1)(3) DUE TO A PUBLIC CALAMITY THAT REQUIRES IMMEDIATE ACTION TO PROTECT THE PUBLIC HEALTH AND SAFETY OF OUR CITIZENS AND TO REPAIR THE UNFORESEEN DAMAGE OF PUBLIC PROPERTY FOR A TOTAL AMOUNT OF \$156,040.

EXECUTIVE SESSION

In compliance with Section 551.072 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Deliberation Regarding Real Property
 - Property Considerations in the U.S. 75/Floyd Rd, Renner Rd./Plano Rd. and Plano Rd./Apollo Rd. Areas

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

- **ADJOURN**

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE CIVIC CENTER/CITY HALL ON FRIDAY, JANUARY 24, 2014, BY 5:00 P.M.

AIMEE NEMER, CITY SECRETARY

THIS BUILDING IS WHEELCHAIR ACCESSIBLE. ANY REQUESTS FOR SIGN INTERPRETIVE SERVICES MUST BE MADE 48 HOURS IN ADVANCE OF THE MEETING BY CALLING 972-744-4100 OR 972-744-4001.



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, January 27, 2014

Agenda Item: Review and Discuss the City of Richardson Urban Lakes

Staff Resource: Cliff Miller, Assistant City Manager
Steve Spanos, Director of Engineering
Jim Lockart, Assistant Director of Engineering
Jim Dulac, Assistant City Engineer

Summary: Urban Lakes can be found throughout Richardson and are owned by numerous individuals, commercial property owners and public as well. They most often serve as an amenity to enhance property values and or recreation. Monday night's presentation will review Richardson's involvement with Urban Lakes and continued efforts to assess lake conditions and develop recommendations for future work plans.

Board/Commission Action: N/A

Action Proposed: N/A.



**City of Richardson
City Council Worksession
Agenda Item Summary**



Worksession Meeting Date: Monday, January 27, 2014

Agenda Item: Review and discuss the Main Street/Central Expressway Corridor Enhancement / Redevelopment Study, including the next steps leading to its implementation and preparation of new zoning and development regulations.

Staff Resource: Tina Firgens, Planning Projects Manager

Summary: Staff will provide an overview of the next steps for moving forward with implementing the Main Street/Central Expressway Corridor study. The presentation will include a recap of the remaining tasks to be completed prior to drafting new zoning regulations for four of the study area's eleven sub-districts, and outline a prospective schedule for preparing and adopting new sub-district zoning regulations, as well as overlay development regulations for the remainder of the corridor.

The presentation will also include discussion of a prospective City Council tour of Dallas-area neighborhoods that are representative of select sub-districts for which new zoning regulations are to be adopted.

Board/Commission Action: None

Action Proposed: Review and Discuss



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, January 27, 2014

Agenda Item: Review and Discuss TxDOT US 75 Frontage Road Improvements

Staff Resource: Dave Carter, Assistant Director

Summary: The Texas Department of Transportation (TxDOT) will be making improvements along the US75 Frontage Roads including the addition of Right-Turn Deceleration Bays and larger turning radii at 12 locations. This briefing will inform the Council on the history and status of this project as well as upcoming steps.

The total estimated cost of the project is \$4,100,000. The City of Richardson is only required to participate in funding 10% of the estimated right-of-way acquisition and utility relocation cost which is \$220,000.

A Council Resolution and Agreement with TxDOT approving this funding participation will be on a future City Council agenda.

TxDOT has already completed design plans and has begun surveying for ROW acquisition. Project construction is scheduled to begin in 2014 with completion in 2015.

Board/Commission Action: N/A

Action Proposed: N/A



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, January 27, 2014

Agenda Item: Review and Discuss the Development of a
Community Arts Website

Staff Resource: Shanna Sims-Bradish, Assistant City Manager

Summary: City staff will provide an overview of the development of a community arts website. This website will include a comprehensive calendar of arts events for the community and will be launched in April 2014. This website is an initiative of the Richardson Arts Commission and was a strategy identified in the City's Cultural Arts Master Plan.

Board/Commission Action: N/A

Action Proposed: N/A



MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION AND REGULAR MEETING
JANUARY 13, 2014

WORK SESSION – 6:00 P.M.:

• **Call to Order**

Mayor Maczka called the meeting to order at 6:00 p.m. with the following Council members present:

Laura Maczka	Mayor
Bob Townsend	Mayor Pro Tem
Mark Solomon	Councilmember
Scott Dunn	Councilmember
Kendal Hartley	Councilmember
Paul Voelker	Councilmember
Steve Mitchell	Councilmember

The following staff members were also present:

Dan Johnson	City Manager
David Morgan	Deputy City Manager
Cliff Miller	Assistant City Manager Development Services
Don Magner	Assistant City Manager Community Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Michael Spicer	Director of Development Services
Alan Palomba	Fire Chief

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

Michael Spicer, Director of Development Services reviewed Zoning File 13-21, 13-22, and Variance 13-12. Don Magner, Assistant City Manager, reviewed Sign Control Board Case 14-01 and 14-02.

B. PRESENTATION AND RECOGNITION BY INSURANCE SERVICES OFFICE (ISO) AND THE STATE FIRE MARSHAL'S OFFICE

Alan Palomba, Fire Chief, reviewed the requirements and history of ISO ratings for the City. ISO representatives presented the ISO "1" rating and explained the significance of the number 1 rating for the city.

C. REVIEW AND DISCUSS FARMER'S MARKET REGULATIONS

Council postponed this item.

D. REPORT ON ITEMS OF COMMUNITY INTEREST

Councilmember Mitchell and Deputy City Manager David Morgan gave an update from the Retail Committee reporting that the background and research by the consultant is complete and they are in the process of matching the City's demographics with national retailers with a focus on the Plano Road/Beltline area, Main Street, Coit Road, and Spring Valley.

Councilmember Solomon provided information on UTD Community Awareness Weekend on Saturday with women's basketball at 1 pm followed by men's basketball.

COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS

1. **INVOCATION – BOB TOWNSEND**
2. **PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – BOB TOWNSEND**
3. **MINUTES OF THE DECEMBER 9, 2013, DECEMBER 16, 2013, AND JANUARY 6, 2014 MEETINGS**

Council Action

Councilmember Hartley moved to approve the Minutes as presented. Councilmember Solomon seconded the motion. The motion passed, 7-0.

4. **VISITORS**

Ms. Joann Groshardt addressed Council regarding concerns with payday loan facility practices.

PUBLIC HEARING ITEMS:

5. **PUBLIC HEARING, ZONING FILE 13-21: A REQUEST BY WILLIAM S. DAHLSTROM, JACKSON WALKER, L.L.P., REPRESENTING WC CAMPBELL BUSINESS CENTER LP, FOR A CHANGE IN ZONING FROM LR-M(2) LOCAL RETAIL TO PD PLANNED DEVELOPMENT TO ACCOMMODATE A SELF-SERVICE WAREHOUSE TO BE LOCATED ON APPROXIMATELY 5.3 ACRES OF LAND LOCATED AT THE NORTHEAST QUADRANT OF CAMPBELL ROAD AND PLANO ROAD. THE PROPERTY IS CURRENTLY ZONED LR-M(2) LOCAL RETAIL.**

Council Action

Dan Johnson, City Manager, announced that the applicant withdrew this request. No further Council Action was required.

6. **PUBLIC HEARING, ZONING FILE 13-22: A REQUEST BY AYMAN ALKURDI, MOOSE CONSTRUCTION LLC, REPRESENTING RICHARDSON MEDITERRANEAN FOODS LLC, FOR A SPECIAL PERMIT FOR A SMOKING ESTABLISHMENT TO BE LOCATED AT 1601 N. CENTRAL EXPRESSWAY (WEST SIDE OF CENTRAL EXPRESSWAY, BETWEEN CAMPBELL ROAD AND COLLINS BOULEVARD). THE PROPERTY IS CURRENTLY ZONED C-M COMMERCIAL.**

Council Action

Councilmember Mitchell moved to deny the request. Councilmember Dunn seconded the motion. The motion passed, 6-1, with Councilmember Voelker in opposition.

ACTION ITEMS:

7. **VARIANCE 13-12: A REQUEST BY KEVIN GASKEY, REPRESENTING TDIRE, FOR APPROVAL OF A VARIANCE FROM CHAPTER 21, THE SUBDIVISION AND DEVELOPMENT CODE, ARTICLE III, SECTION 21-58(E) FOR A WAIVER FROM THE PHYSICAL SEPARATION REQUIREMENT BETWEEN APARTMENT COMMUNITIES OF MORE THAN 250 UNITS. THE PROPERTY IS LOCATED AT 905 AND 955 W. PRESIDENT GEORGE BUSH HIGHWAY; ON THE SOUTH SIDE OF PRESIDENT GEORGE BUSH HIGHWAY, WEST OF CUSTER PARKWAY AND IS ZONED PD PLANNED DEVELOPMENT.**

Council Action

Councilmember Solomon moved to approve Variance 13-12 as presented. Councilmember Dunn seconded the motion. The motion passed, 7-0.

8. **RECEIVE THE JANUARY 8, 2014 SIGN CONTROL BOARD MINUTES AND CONSIDER FINAL APPROVAL OF SCB CASE 14-01: WIRELESS HOSPITAL AT 401 N. CENTRAL EXPRESSWAY, #700 AND SCB CASE 14-02: DIGITAL REALTY AT THE MULTI-PARCEL CAMPUS LOCATED AT THE SOUTHEAST CORNER OF E. COLLINS BOULEVARD AND ALMA ROAD.**

Council Action

Councilmember Solomon moved to approve SCB Case number 14-02 as presented and to review SCB Case number 14-01 on a future agenda. Councilmember Mitchell seconded the motion. The motion passed, 7-0.

9. **CONSENT AGENDA:**

A. CONSIDER THE FOLLOWING RESOLUTIONS:

1. **RESOLUTION NO. 14-01, APPROVING AND AUTHORIZING PUBLICATION OF NOTICE OF INTENTION TO ISSUE CERTIFICATES OF OBLIGATION.**
2. **RESOLUTION NO. 14-02, APPROVING THE TERMS AND CONDITIONS OF AN ASSIGNMENT OF A CITY ACCESS EASEMENT TO GATEWAY PIONEER INC. NO. 1, A CALIFORNIA CORPORATION, C/O RREEF MANAGEMENT L.L.C., AND AUTHORIZING THE CITY MANAGER TO EXECUTE THE ASSIGNMENT OF EASEMENT ON BEHALF OF THE CITY.**

B. CONSIDER APPROVAL AND AUTHORIZE THE CITY MANAGER TO EXECUTE THE FIRST AMENDMENT TO TIF ZONE NO. 1 CENTENNIAL PARK RICHARDSON, LTD., INFRASTRUCTURE REIMBURSEMENT, GRANT AND DEVELOPMENT AGREEMENT.

C. CONSIDER APPROVAL OF THE 2014 CITY COUNCIL MEETING SCHEDULE.

D. CONSIDER AWARD OF THE FOLLOWING BIDS:

1. **BID #04-14 – WE RECOMMEND THE AWARD TO FAIN GROUP FOR THE RTR INTERSECTION IMPROVEMENTS (RENNER ROAD AT ALMA ROAD AND RENNER ROAD AT JUPITER ROAD) IN THE AMOUNT OF \$353,898.23.**
2. **BID #05-14 – WE REQUEST AUTHORIZATION TO ISSUE AN ANNUAL REQUIREMENTS CONTRACT TO BRUCE MILLER NURSERIES FOR LABOR TO INSTALL TREES AND PLANTS PURSUANT TO UNIT PRICES.**
3. **BID #14-14 – WE REQUEST AUTHORIZATION TO ISSUE AN ANNUAL REQUIREMENTS CONTRACT TO MIKE SANDONE PRODUCTIONS, INC., FOR TENTS FOR SPECIAL EVENTS PURSUANT TO UNIT PRICES.**
4. **BID #20-14 – WE RECOMMEND THE AWARD TO LARSON ASSOCIATES, INC., FOR THE ANTENNA SYSTEM INSTALLATION AT THE EMERGENCY OPERATIONS CENTER IN THE AMOUNT OF \$79,624.36.**

5. **BID #25-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE PURCHASE ORDER TO EAST TEXAS MACK SALES, LP, FOR A CAB/CHASSIS FOR A FRONT LOADER BODY FOR SOLID WASTE THROUGH THE TEXAS LOCAL GOVERNMENT STATEWIDE PURCHASING COOPERATIVE BUYBOARD CONTRACT #430-13 IN THE AMOUNT OF \$132,000.**
6. **BID #26-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE PURCHASE ORDER TO MCNEILUS TRUCK & MANUFACTURING COMPANY, INC., FOR TWO (2) REAR LOADER REFUSE BODIES WITH ACCESSORIES FOR SOLID WASTE THROUGH THE TEXAS LOCAL GOVERNMENT STATEWIDE PURCHASING COOPERATIVE BUYBOARD CONTRACT #425-13 IN THE AMOUNT OF \$95,470.**
7. **BID #27-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE PURCHASE ORDER TO HALL-MARK FIRE APPARATUS TEXAS, LLC, FOR AN E-ONE RESCUE/PUMPER FIRE APPARATUS FOR THE FIRE DEPARTMENT THROUGH THE HOUSTON-GALVESTON AREA COUNCIL OF GOVERNMENTS CONTRACT #FS12-13 IN THE AMOUNT OF \$584,427.**
8. **BID #28-14 – WE RECOMMEND THE AWARD TO MARATHON FITNESS FOR FITNESS EQUIPMENT FOR THE HUFFHINES RECREATION CENTER AND THE SENIOR CENTER PURSUANT TO THE TEXAS LOCAL GOVERNMENT STATEWIDE PURCHASING COOPERATIVE (BUYBOARD) CONTRACT #413-12 IN THE AMOUNT OF \$69,206.46 AND CANCELLATION OF PURCHASE ORDER 140131 TO FITCO FITNESS CENTER OUTFITTERS IN THE AMOUNT OF \$69,206.46 AS AWARDED ON BID #02-14.**
9. **BID #30-14 – WE RECOMMEND THE AWARD TO L3 MOBILE-VISION, INC., FOR IN-CAR DIGITAL VIDEO RECORDERS FOR THE POLICE DEPARTMENT IN THE AMOUNT OF \$62,233.**

E. AUTHORIZE THE CITY MANAGER TO EXECUTE CHANGE ORDER NO. 7 TO DECREASE PURCHASE ORDER 121535 TO CORE CONSTRUCTION FOR THE FIRE TRAINING CENTER/EOC/BACKUP DISPATCH FACILITY IN THE AMOUNT OF (\$94,143.35).

Council Action

Councilmember Dunn moved to approve the Consent Agenda as presented. Councilmember Hartley seconded the motion. The motion passed, 7-0.

ADJOURNMENT

With no further business, Mayor Maczka adjourned the meeting at 8:35 p.m.

MAYOR

ATTEST:

CITY SECRETARY



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, January 27, 2014

Agenda Item: Sign Control Board Case 14-01

Staff Resource: Don Magner, Assistant City Manager of Community Services

Summary: Consider the request of the Wireless Hospital for a variance to the City of Richardson Code of Ordinances Chapter 18, Article III, Section 18-96(2)(b)(3)(i) to allow for a 8.5 square foot increase to the 44 square foot base allowable area for the subject lease space to authorize a 52.5 square foot attached building sign in a commercial zoned district on the property located at 401 N. Central Expressway, #700; and take appropriate action.

Board/Commission Action: Sign Control Board approved the request 3-2.

Action Proposed: Approve, Approve with conditions, or Deny the request

ORDINANCE NO. 4037

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING FOR A 58.5-ACRE TRACT OF LAND FROM LR-M(2) LOCAL RETAIL, PD PLANNED DEVELOPMENT, AND TO-M TECHNICAL OFFICE TO PD PLANNED DEVELOPMENT FOR PROPERTY LOCATED ON THE WEST SIDE OF CENTRAL EXPRESSWAY, GENERALLY BOUNDED BY COLLINS BOULEVARD TO THE WEST, PALISADES BOULEVARD AND GALATYN PARKWAY WEST EXTENSION TO THE SOUTH, AND PALISADES CREEK DRIVE TO THE NORTH, SAID 58.5-ACRE TRACT BEING DESCRIBED IN EXHIBIT "A" HERETO; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 13-13).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby further amended to grant a change in zoning for a 58.5-acre tract of land from LR-M(2) Local Retail, PD Planned Development, and TO-M Technical Office to PD Planned Development for property located on the west side of Central Expressway, generally bounded by Collins Boulevard to the west, Palisades Boulevard and Galatyn Parkway West Extension to the south, and Palisades Creek Drive to the north, said 58.5-acre tract being described in Exhibit "A", attached hereto and incorporated herein by reference ("the Property") as follows:

1. The subject property shall be developed and used in conformance with the Palisades Planned Development Code, attached hereto as Exhibit “B” and made a part hereof for all purposes.

SECTION 2. That the Property shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 3. That all other provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. That an offense committed before the effective date of this ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 27th day of January, 2014.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:1-22-14:TM 64458)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 13-13

BEING a tract of land out of the John J. Vance Survey, Abstract No. 942, Collin County, Texas and the John J. Vance Survey, Abstract No. 1513, Dallas County, Texas, in the City of Richardson, Dallas and Collin Counties, Texas, being all of the 39.2922 acre tract described in deed to JP-Palisades III, LLC recorded in Instrument No. 20111123001274310 of the Official Public Records of Collin County, Texas and Instrument No. 201100307791 Official Public Records of Dallas County, Texas, being all of the 7.3442 acre tract described in deed to JP-Palisades II, LLC recorded in Instrument No. 20111123001274300 of the Official Public Records of Collin County, Texas and Instrument No. 201100307790 Official Public Records of Dallas County, Texas, being part of 5.9533 acre and 1.9555 acre tracts described in deed to JP-Palisades I, LLC recorded in Instrument No. 20111123001274290 of the Official Public Records of Collin County, Texas and Instrument No. 201100307789 Official Public Records of Dallas County, Texas, being all of Palisades Central, Lots 4B, 5A-7A, & 8-11, Block A, an addition to the City of Richardson according to the plat recorded in Cabinet 2006, Page 662 of the Official Public Records of Collin County, Texas and Instrument No. 200600353953 of the Official Public Records of Dallas, County, Texas, being part of Lot 1 and all of Lots 2 and 3, Block A of the Second Replat of Palisades Central, an addition to the City of Richardson according to the plat thereof recorded in Volume 85164, Page 2204 of the Deed Records of Dallas County, Texas and Cabinet F, Page 268 of the Map Records of Collin County, Texas and being more particularly described as follows:

BEGINNING at a point for the intersection of the north right-of-way line of Palisades Boulevard (60' ROW) and the east right-of-way line of Collins Boulevard (100' ROW);

THENCE with said east right-of-way line, the following courses and distances to wit:

North 00°46'26" West, a distance of 611.32 feet to a point for the beginning of a tangent curve to the right with a radius of 1950.00 feet, a central angle of 6°52'30", and a chord bearing and distance of North 02°39'49" East, 233.84 feet;

Northeasterly, with said curve, an arc distance of 233.98 feet to a point for corner;

North 06°06'04" East, a distance of 285.77 feet to a point to a point for the beginning of a tangent curve to the right with a radius of 710.00 feet, a central angle of 29°08'30", and a chord bearing and distance of North 20°40'19" East, 357.24 feet;

Northeasterly, with said curve, an arc distance of 361.12 feet to a point for the beginning of a reverse curve to the left with a radius of 810.00 feet, a central angle of 23°12'43", and a chord bearing and distance of North 23°38'13" East, 325.91 feet;

Northeasterly, with said curve, an arc distance of 328.15 feet to a point for the intersection of the east right-of-way line of said Collins Boulevard and the south right-of-way line of Palisades Creek Drive (60' ROW) for the beginning of a non-tangent curve to the left having a radius of 330.00 feet, a central angle of 31°54'34", a chord bearing and distance of North 77°56'28" East, 181.42 feet;

THENCE with said south right-of-way line, the following courses and distances to wit:

Northeasterly, with said curve, an arc distance 183.79 feet to a point for corner; North 61°59'13" East, a distance of 337.06 feet to a point for westerly most northwest corner of the tract of land shown as Reserve Parcel "C" of Palisades Central, an addition to the City of Richardson according to the plat thereof recorded in Cabinet E, Page 8 of the Map Records of Collin County, Texas the beginning of a non-tangent curve to the right having a radius of 460.00 feet, a central angle of 13°42'14", a chord bearing and distance of South 21°09'49" East, 109.76 feet;

THENCE with the southwesterly and south line of said Reserve Parcel "C", the following courses and distances to wit:

Southeasterly, with said curve, an arc distance 110.02 feet to a point for the beginning of a reverse curve to the left with a radius of 343.22 feet, a central angle of 18°05'15", and a chord bearing and distance of South 23°21'19" East, 107.90 feet;
Southeasterly, with said curve, an arc distance of 108.35 feet to a point for corner; South 32°23'55" East, a distance of 30.75 feet to a point for the beginning of a non-tangent curve to the right having a radius of 600.00 feet, a central angle of 24°02'23", a chord bearing and distance of North 69°37'16" East, 249.90 feet;
Northeasterly, with said curve, an arc distance 251.74 feet to a point for the beginning of a compound curve to the right with a radius of 220.00 feet, a central angle of 85°00'00", and a chord bearing and distance of South 55°51'33" East, 297.26 feet;
Southeasterly, with said curve, an arc distance of 326.38 feet to a point for the beginning of a non-tangent compound curve to the right having a radius of 870.00 feet, a central angle of 26°34'48", a chord bearing and distance of South 00°04'10" East, 399.99 feet;
Southeasterly, with said curve, an arc distance 403.60 feet to a point for corner; South 13°13'14" West, a distance of 75.00 feet to a point for corner;
South 76°46'46" East, a distance of 50.00 feet to a point for corner;
South 13°13'14" West, a distance of 10.97 feet to a point for corner;
South 34°04'40" East, a distance of 13.55 feet to a point for corner;
South 81°22'34" East, a distance of 265.58 feet to a point for corner in the west right-of-way line of U.S. Highway 75 (Central Expressway – variable width ROW) for the beginning of a non-tangent curve to the right having a radius of 5579.65 feet, a central angle of 5°01'41", a chord bearing and distance of South 17°39'59" West, 489.50 feet;

THENCE with said west right-of-way line, the following courses and distances to wit:

Southwesterly, with said curve, an arc distance 489.66 feet to a point for corner; South 20°10'49" West, a distance of 60.35 feet to a point for corner;
South 89°10'49" West, a distance of 9.71 feet to a point for the beginning of a non-tangent curve to the right having a radius of 5574.65 feet, a central angle of 1°48'25", a chord bearing and distance of South 17°48'55" West, 175.80 feet;
Southwesterly, with said curve, an arc distance 175.81 feet to a point for corner; South 19°56'05" West, a distance of 422.78 feet to a point for the north corner of a corner clip at the intersection of west right-of-way line of said U.S. Highway 75 and north right-of-way line of said Palisades Boulevard;

THENCE leaving said west right-of-way line and with said corner clip, South 64°11'07" West, a distance of 35.96 feet to a point for corner in the north right-of-way line of said Palisades Boulevard;

THENCE South 21°00'52" West, a distance of 70.17 feet to a point for corner in the south right-of-way line of said Palisades Boulevard;

THENCE leaving the south right-of-way line of said Palisades Boulevard, the following courses and distances to wit:

South 20°10'49" West, a distance of 127.54 feet to a point for the beginning of a non-tangent curve to the left having a radius of 450.00 feet, a central angle of 13°09'39", a chord bearing and distance of North 84°11'36" West, 103.14 feet;
Northwesterly, with said curve, an arc distance 103.37 feet to a point for corner;
South 89°13'34" West, a distance of 303.98 feet to a point in the west line of said 1.9555 acre tract;

THENCE with said west line, North 00°46'26" West, a distance of 128.13 feet to a point for the northwest corner of said 1.9555 acre tract and being in the south right-of-way line of said Palisades Boulevard;

THENCE with said south right-of-way line, South 89°13'34" West, a distance of 170.77 feet to a point for the northerly most northwest corner of a tract of land described in deed to the City of Richardson recorded in Instrument No. 200900312585 of the Official Public Records of Dallas County, Texas.

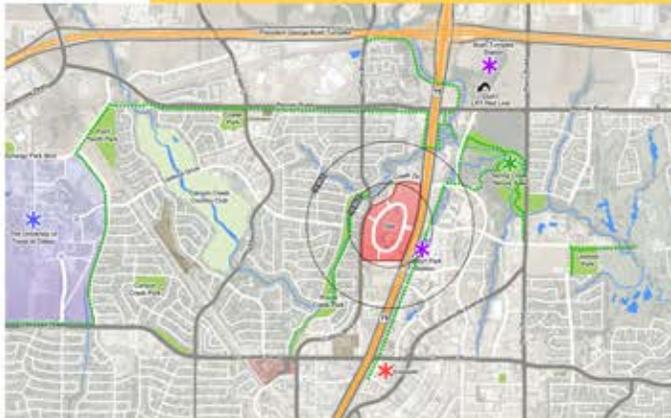
THENCE leaving said south right-of-way line, North 00°46'26" West, a distance of 60.00 feet to a point for corner in the north right-of-way line of said Palisades Boulevard;

THENCE with said north right-of-way line, South 89°13'34" West, a distance of 585.23 feet to the **POINT OF BEGINNING** and containing 58.49 acres of land.

EXHIBIT “B”
Palisades Planned Development Code

PALISADES PLANNED DEVELOPMENT CODE

01/27/14



GFF Planning

PALISADES
Planned Development Code

January 27, 2014

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Planned Development Code

Section 1. Purpose and Intent:

The purpose of the Palisades Planned Development Code (Palisades Code) is to create a walkable urban neighborhood where a high density and diverse mix of uses promote less dependence on the automobile. Access to light rail, shopping, employment, housing and both community and regional retail promotes a greater quality of life than traditional suburban-styled developments. The Palisades Code is adopted to protect and promote the public health, safety, comfort, convenience, prosperity and general welfare of the immediate community, as well as to assist in the orderly and controlled growth and development of the land area described within this document, called the Palisades District.

It is the intent of the Palisades Code to establish an efficient, effective and equitable regulatory and procedural code relating to the use of land and development within the land area described within the Palisades District.

- 1.1 Economic Development – The Palisades District and corresponding standards are created to support economic development, sustainable tax base, and job creation by establishing adjacency predictability of private development that supports and leverages investment in and around the Palisades.
- 1.2 Implement the Design Goals of the Regulating Plan – The objective of the Palisades District is to foster a major regional employment center with regional retail and residential uses within the confines of a neighborhood and within convenient walking distance to the existing Galatyn Park transit station.
- 1.3 Establish Specific Development Standards – The Palisades Code implements the vision for Regional Employment and neighborhood mixed use rail corridor as established in the City’s Comprehensive Plan and Palisades District Regulating Plan, hereafter known as the Regulating Plan (Appendix A). The Regulating Plan shall provide guidance to property owners, developers, and the City on the form, character, and intensity of future development in the Palisades District. Creation of different Sub-Districts within the Palisades District enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote sustainability, public welfare, walkable mixed use development, open space, housing variety, and transportation options.

Section 2. Components of the Code:

- 2.1 The Palisades Code shall apply to the Palisades District unless otherwise specified in this Code. Development of property within the Palisades District shall comply with the respective development standards set forth in the Palisades Code. The components of this Palisades District consist of:
 - 2.1.1 Palisades District Regulating Plan: The Palisades District Regulating Plan, hereafter known as the “Regulating Plan”, is its official zoning map. It identifies the applicable standards within the Palisades District including:
 - i. Sub-Districts – The Palisades District is divided into different “Sub-Districts”. A Sub-District creates a distinct urban form which is different from urban forms in other Sub-Districts. Each Sub-District shall establish use and development standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots within the Palisades District into one of four (4) Sub-Districts.

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- ii. Street Types – The Street Types illustrate the design, configurations and development context for all streets within the Palisades District. The Street Classification addresses vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards (streetscape standards). Street types on the Regulating Plan include Type ‘A’ and Type ‘B’ Streets. The Street Network specifies the future streets needed to implement the Palisades Regulating Plan, and shall be required and shall generally meet the locational and connectivity goals of the Regulating Plan. Their design shall be guided by the Street Type Specifications.
- iii. Civic/Open Space Designations – The Civic/Open Space areas shown on the Regulating Plan designate the locations of proposed Civic/Open Spaces (including parks, plazas, greens, and squares). All Civic/Open Spaces depicted in the Regulatory Plan are mandatory.

2.1.2 Development Standards: The Palisades Code (the text portion of this Code) enumerates the development standards with text and graphics for Sub-Districts, building form, civic/open space, landscape, architectural, signage, lighting, and all related standards for all streets, public and private development.

2.1.3 Phasing Plan: The property shall be developed as depicted in Appendix D. Phase 1 shall be considered complete when the infrastructure shown in Phase 1, including, but not limited to, landscape buffers, Palisades Park, South Entry, Ring Road (from South Entry to North Entry), Mews Drive “1” (portion within Phase I) are complete and both horizontal and vertical development of all the property within Phase 1 is complete.

Section 3. Administration

This section sets forth the provisions for reviewing and approving development applications within the Palisades District. The intent is to ensure that all development is consistent with the provisions of this Code. All existing buildings within the Palisades District as shown on the Regulating Plan are a legally non-conforming structure, but any renovation or addition to an existing building must comply with the Palisades Code. If a non conforming structure is destroyed by fire, the elements or other cause, it may not be rebuilt except to conform to the provisions of the Palisades Code. In the case of partial destruction of a nonconforming structure not to exceed 50 percent of its reasonable value, reconstruction will be permitted but the size or function of the nonconforming structure cannot be expanded or enlarged. All existing lawful uses within the Palisades District inconsistent with the Palisades Code are deemed legal nonconforming uses. A legal nonconforming use may not be expanded within an existing building nor may the building be expanded or structurally altered to accommodate the nonconforming use. A legal nonconforming use, if changed to a conforming use, may not thereafter be changed back to any nonconforming use. If a nonconforming use is discontinued for a period exceeding six months, such nonconforming use shall be deemed to have been abandoned and any future use thereof shall conform to the terms of this Palisades Code. If a structure occupied by a nonconforming use is destroyed by fire, the elements or other cause, it may not be rebuilt except to conform to the provisions of this Palisades Code. In the case of partial destruction of a nonconforming use not to exceed 50 percent of its reasonable value, reconstruction will be permitted but the size or function of the nonconforming use cannot be expanded or enlarged.

All sections of this Code shall be applied during the review process.

3.1 The development standards under the City of Richardson Comprehensive Zoning Ordinance, as amended, shall not apply to the Palisades District except as specifically referenced herein, or when

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development standards are not addressed in the Palisades Code in which case the development standards of the City of Richardson Comprehensive Zoning Ordinance shall apply.

3.2 Utilities within this development must comply with Chapter 21 of the City of Richardson Code of Ordinances, as amended. The approval of plats within this development shall comply with Chapter 21 of the City of Richardson Code of Ordinances, as amended. Engineering plans for development within the Palisades District shall comply with City of Richardson Code of Ordinances, as amended.

3.3 Except as specifically listed below, all other signage and sign standards must comply with Chapter 18 of the City of Richardson Code of Ordinances, as amended.

3.4 Using this Code:

The following basic steps should be followed to determine the uses and development standards applicable to all properties within the Palisades District:

3.4.1 Locate the subject property on the Regulating Plan.

3.4.2 Identify:

- i. the Sub-District in which the property is located;
- ii. the Street Type designation along all its street frontages; and,
- iii. any Ground Floor Activated Uses that may be applicable to the subject property.

3.4.3 Review the Schedule of Uses by Sub-District as listed in Table 6.1 to determine allowed uses.

3.4.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section 7 to determine the applicable development standards.

3.4.5 Refer to Section 8 for Building Design Standards.

3.4.6 Refer to Section 9 for Street Type and Streetscape Standards.

The information from the above listed steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it.

3.5 Development within the Palisades District that complies with the provisions of this Code shall follow the City's development process as outlined in Chapter 21, of the City of Richardson Code of Ordinances, as amended and shall be approved by the City Manager or designee (see Appendix C for flow chart of the review process). In addition to complying with applicable City ordinances and regulations that are not in conflict with this Code, the applicant shall provide the information required to adequately show compliance with this Code.

3.6 Standard for approval of development plans: If a development plan conforms to the standards set forth in this Code and applicable City regulations are not in conflict (except as otherwise provided in this Code), the development plan shall be approved.

3.7 The City Manager or designee shall be responsible for the following:

3.7.1 Reviewing development plan applications for compliance with the requirements of Palisades District.

3.7.2 Approving development plan applications that are in compliance with the requirements of the Palisades Code, and all applicable city ordinances.

3.7.3 Making determinations on the applications and interpretations of standards in this Code.

3.7.4 Approving revisions to previously approved development plans that comply with this Code and all applicable city ordinances.

3.7.5 Approving any minor modifications to the approved Regulating Plan per Section 3.8.

3.7.6 Recommendations on any Special Development Plans (SDP) applications to the City Plan Commission (CPC) and City Council (CC).

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3.8 Special Development Plans: A request for a modification to any of the standards of this Code other than minor modifications permitted under Sections 3.9 shall be reviewed and processed as Special Development Plans. Modifications to engineering plans and plats shall not be reviewed and processed as Special Development Plans.

3.8.1 Special Development Plans (SDP) are intended to allow applicants development flexibility to address specific market opportunities and/or contexts. An application for a Special Development Plan shall be processed as an amendment to the zoning ordinance under Article XXIX of the City of Richardson Zoning Ordinance and may only be considered by the CC after the CPC has made a recommendation. The City Manager or designee shall review, make recommendations on any SDPs, and shall forward all SDP applications to the CPC. In evaluating an SDP, CC may consider the extent to which the application meets any of the following:

- i. provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
- ii. fits the adjoining context by providing appropriate transitions.

3.9 Minor Modifications to the Palisades Code:

The City Manager or designee shall have the authority to approve a request for minor modifications to Palisades Code that:

3.9.1 Does not materially change the circulation and building location on the site;

3.9.2 Does not increase the building area permitted under this Code;

3.9.3 Does not change the relationship between the buildings and the street, or grant a deviation to a plat or modify engineering plans;

3.9.4 Does not allow a use not otherwise authorized in this Code;

3.9.5 Does not allow greater height of any building or reduction of any parking requirement established in this Code; or

Table 3.1 Minor Modification Thresholds

<i>Standard</i>	<i>Minor Modification Threshold</i>	<i>Comments</i>
Area/boundary of Sub-District (including any Mandatory Civic/Open Spaces)	No more than a 15% change (increase or decrease) in the area of the Freeway High-Rise and Urban Neighborhood (aggregate or per block). No more than 25% change (increase or decrease) in the area of the Inner Ring Mixed Use and Outer Ring Mixed Use (aggregate or per block).	<ul style="list-style-type: none"> • Shall not eliminate any Sub-District • 15% or 25% measurement shall be based on the total area of that specific Sub-District within the entire Palisades District
Location of any street depicted on the Regulating Plan	Location shall not move more than 100’ in any direction.	<ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan
Building Form and Development Standards		
<ul style="list-style-type: none"> • Build to zones/setbacks 	No more than a 20% change in the maximum or minimum build to zone.	
<ul style="list-style-type: none"> • Building Frontage 	No more than a 15% reduction in the required building frontage along each block of a Type ‘A’ Street	<ul style="list-style-type: none"> • Any reduction in the required building frontage shall be to accommodate Porte-cocheres for drop-off and pick-up.
<ul style="list-style-type: none"> • Street Cross Sections 	Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation, and street tree planting	<ul style="list-style-type: none"> • Any changes in the street cross sections shall be based on specific development context as approved by the City such as vegetation, natural features, drainage, and fire access and is subject to approval by the City.

Section 4. Definitions

In addition to Definitions in Article I of the City of Richardson Comprehensive Zoning Ordinance, the following terms shall have the corresponding interpretations.

Arcade means a portion of the main façade of the building that is at or near the Build to Line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

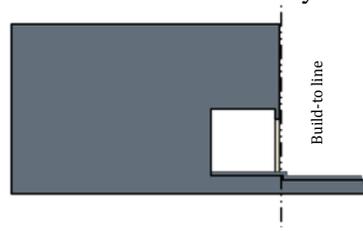


Image of an arcade

Attics means the unfinished space between the ceiling joists of the top story and the roof rafters.

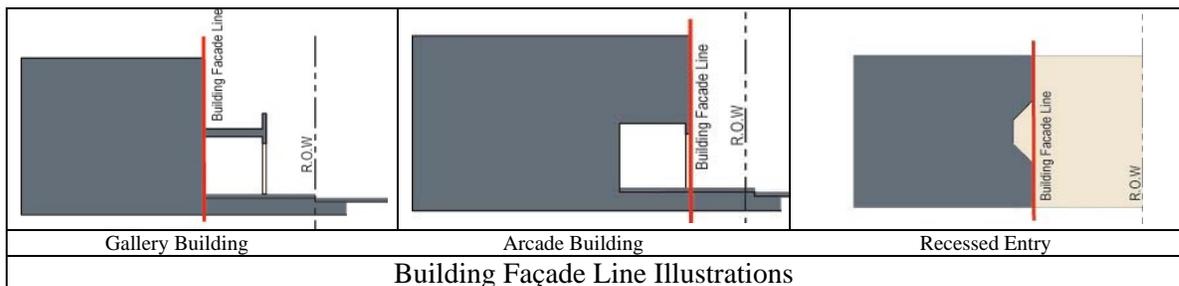
Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed by streets.

Block Face means the linear dimension of a block along one of its street frontages.

Build-to-Line means the line at which the principal building’s front façade shall be built.

Build-to-Zone (BTZ) means the area within which the principal building’s front façade is to be built and where it is measured from.

Building Façade Line means the vertical plane along a lot where the building’s front façade is actually located.



Building Form Standards means the standards established for each Sub-District that specify the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage means the percentage of the building’s front façade that is required to be located at the front Build-to-Line or Zone as a proportion of the block frontage along that street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

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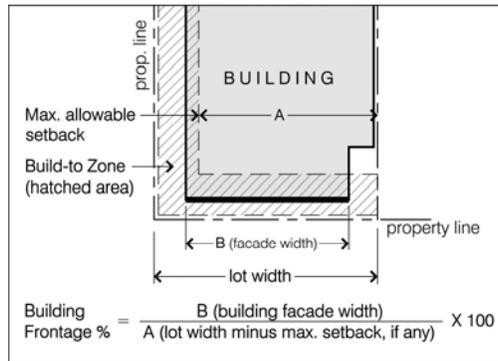


Image showing how a lot's building frontage is calculated

City Manager means the City Manager of the City of Richardson or his/her designee.

Civic/Open Space means publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of the Palisades Code.

Comprehensive Plan means the City of Richardson Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City as adopted on the effective date of this Code.

Encroachment means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the street easement, or above a height limit.

Gallery means an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.

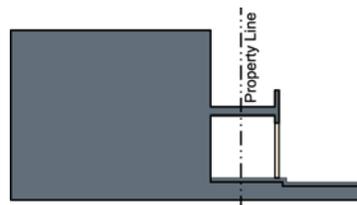


Image of a Gallery

Kiosk means a small, roofed structure, often open on one or more sides, used as a newsstand or booth. This structure may be temporary or permanent.

Live-Work Unit means a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by the Palisades Code in that the work use is not

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required to be incidental to the dwelling unit, non-resident employees may be present on the premises, and customers may be served on site.

Living Screen means a Street Screen composed of landscaping in the form of vegetation.

Mezzanine means an intermediate level(s) between the floor and ceiling of any story within an aggregate floor area of not more than one-third of the area of the room or space in which the level(s) are located.

Master Sign Plan means a unique sign plan to implement a specific vision for a portion or all of the development that meets Section 10.2 of this Code.

Minor Modification means any changes to the Palisades Code that meets the criteria established in Section 3.8 and Table 3.1.

Motor Court means an uncovered space that is wholly or partly surrounded by buildings or walls intended as a courtyard for vehicles as they approach a building. Surface parking is permitted within this space and shall not include more than 75 spaces. Surface treatments of the vehicular zones are richer in character than traditional concrete surface parked lots, using a variety of textures and colors such as brick, concrete pavers and colored concrete. Individual motor courts shall be separated by intervening buildings.

Park means a civic/open space that is a preserve available for unstructured recreation.

Plaza means a primarily hardscaped civic/open space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.

Playground means a civic/open space designed and equipped for children's recreation. A playground may be fenced and may include an open shelter. Playgrounds may be located within residential areas and may be placed within a block. They may be included in other civic/open spaces.

Pedestrian Easement means the area between the curb face of the street and the Build to Line. This area contains the sidewalk, street trees, lighting and pedestrian furniture.

Regulating Plan means the Zoning Map attached hereto as Appendix A that shows the Sub-Districts, Civic Spaces, location of Streets, maximum height permitted and other Special Requirements applicable to the Palisades District subject to the standards in the Palisades Code. For the purposes of this Code, the Regulating Plan shall also be the Concept Plan for the Palisades District.

Retail Ready means space constructed at a minimum interior height of 15 feet floor to floor which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Retail-Ready space, the space must comply with all building and construction codes for that use. In addition, the space must comply with all requirements for HVAC/Plumbing for both residential and commercial uses. The intent of Retail-Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

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Retail Sales Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Service Uses means a category for limited personal service establishments which offer a range of personal services that include, but are not limited to, clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Sign, Building Blade means a pedestrian-oriented sign that is affixed perpendicular to the corner of a building or to the front façade of a building above the ground floor to provide identification for the whole building.



Image of a Building Blade Sign

Sign, Marquee means a sign structure placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Blade signs.



Image of a Marquee sign with a Building Blade Sign

Sign, Monument means any sign which is connected to the ground and which has no clear space for the full width of the sign between the bottom of the sign and the surface of the ground. A monument sign may include a sign face and sign structure, and may also include a sign base and sign cap.

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Image of a Monument Sign

Sign, Sandwich Board means a portable sign consisting of two panels of equal size, which are hinged at the top or one panel with a support and placed on the ground or pavement so as to be self-supporting.



Images of Sandwich Board Signs

Sign, Tenant Blade means a smaller pedestrian-oriented sign that is affixed perpendicular to the building façade under a canopy or awning or immediately over a tenant space and provides identification for individual tenants within a building.



Image of a Tenant Blade Signs

Special Development Plan means a development application that meets Section 3.7 of this Code.

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Street Screen means a freestanding wall or living screen built along the BTZ or in line with the building façade line along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Network means the network of streets for new and existing streets within the Palisades District as established in the Regulating Plan.

Street Type means a specific designation for streets that establish a certain character and cross-sections to improve walkability within the Palisades District.

Sub-District means an area within the Palisades District that creates a distinct urban form different from other areas within the Palisades District. Sub-Districts are identified in the Regulating Plan.

Tree Well means an unpaved area around the trunk of a tree within the sidewalk area that is either landscaped with ground cover or covered with a tree grate.



Example of a tree well with a tree grate



Example of a tree well with landscaping

Type 'A' Street means the streets identified as such on the Regulating Plan. Type 'A' Streets are the primary pedestrian streets.

Type 'B' Street means the streets identified as such on the Regulating Plan. Type 'B' Streets are intended to primarily accommodate access to parking, service, and other auto-related functions.

Section 5. The Regulating Plan

- 5.1 The Regulating Plan (Appendix A) is hereby adopted as the official zoning map for the Palisades District.
- 5.2 Sub-Districts Established – the following Sub-Districts are established. The boundaries of the specific Sub-Districts shall be established in the Regulating Plan.
- 5.2.1 Inner Ring Mixed Use: The Inner Ring Mixed Use Sub-District provides the most opportunity for the highest intensity development. It is the area that has significant development impact and the highest pedestrian activity due to its proximity to the Inner Ring Promenade. The Inner Ring Mixed Use consists of the highest density, with the greatest variety of uses. Development within the Inner Ring Mixed Use Sub-District shall meet the Building Form and Development Standards in Section 7.1 of this Code.
- 5.2.2 Outer Ring Mixed Use: The Outer Ring Mixed Use Sub-District is the area adjacent to the Inner Ring Mixed Use that is intended for high intensity commercial and residential uses in addition to supporting retail and restaurant uses. Development within the Outer Ring Mixed Use Sub-District shall meet the Building Form and Development Standards in Section 7.2 of this Code.
- 5.2.3 Freeway High Rise: The Freeway High Rise Sub-District is intended to provide an appropriate transition into the Palisades District from the US 75 access road. This area is also intended for high intensity development. Development within the Freeway High Rise Sub-District shall meet the Building Form and Development Standards in Section 7.3 of this Code.
- 5.2.4 Urban Neighborhood: The Urban Neighborhood Sub-District consists of a residential fabric. Development within the Urban Neighborhood Sub-District shall meet the Building Form and Development Standards in Section 7.4 of this Code.
- 5.3 Street Designations Street Type Established – The Regulating Plan shall establish the following Street Designations:
- 5.3.1 Type “A” Streets Established – Type “A” Streets are intended to be the primary pedestrian streets. The Type “A” Streets are Inner Ring Promenade, South Entry, North Entry and West Entry.
- 5.3.2 Type “B” Streets Established – Type “B” Streets are intended to balance pedestrian orientation with automobile orientation (service access, driveways, drive-through lanes, etc.). The Type “B” Streets are U.S. 75 Entry, Ring Road, Mews Drive “1” and Mews Drive “2”.
- 5.4 Civic/Open Space – The Regulating Plan indicates Mandatory Civic/Open Spaces. The specific standards for Civic/Open Space are established in Section 11.
- 5.5 Building Height – The Regulating Plan also indicates the maximum building height permitted within each Sub-District of the Palisades District.

Section 6. Schedule of Permitted Uses

- 6.1 Generally: Due to the emphasis on urban form over land uses in the Palisades District, general use categories have been identified by Sub-District. Uses not listed in the following schedule, but are substantially similar, may be permitted upon the approval of the City Manager or designee, subject to appeal directly to the City Council.

Planned Development Code

6.2 Schedule of Uses:

Table 6.1 – Schedule of Uses

	Sub-District	Outer Ring Mixed Use	Inner Ring Mixed Use	Urban Neighborhood	Freeway High Rise
Land Use					
Commercial Uses (Office, Retail, Sales & Service Uses)					
Retail Sales or Service with <u>no drive through facility</u> (includes alcohol sales, which shall meet Chapter 4, Alcohol Beverages of the City of Richardson Code of Ordinances). Excluded from this category are Auto-Retail Sales and Service Uses (see Section 3 of the Code for Definition of Retail, Service uses, and Auto-related Sales and Service)	P	P	NP	P	
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u>	P	P	NP	P	
Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc.	P	P	NP	P	
Research laboratory headquarters, laboratories and associated facilities	P	P	NP	P	
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u> . Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances.	P	P	NP	P	
Any use with a drive through facility	NP	P/C	NP	P/C	
Arts, Entertainment and Recreation Uses					
Art galleries	P	P	NP	P	
Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)	P	P	NP	P	
Theater, cinema, dance, music or other entertainment establishment	P	P	NP	P	
Museums and other special purpose recreational institutions	P	P	NP	P	
Fitness, recreational sports, gym, martial arts studio or athletic club	P	P	NP	P	
Parks, greens, plazas, squares, and playgrounds	P	P	P	P	
Educational, Public Administration, Health Care and Other Institutional Uses					
Business associations and professional membership organizations	P	P	NP	P	
Child day care and preschools	P	P	NP	P	
Schools, libraries, and community halls	P	P	NP	P	
Universities and Colleges	P/C	P/C	NP	P	
Hospital	P	P	NP	P	
Civic uses	P	P	NP	P	
Social and fraternal organizations	P	P	NP	P	
Social services and philanthropic organizations	P	P	NP	P	
Religious Institutions	P	P	NP	P	
Funeral homes	P	P	NP	P	
Residential Uses					
Home Occupations	P/A	P/A	P/A	P/A	
Multi-family residential					
Ground Floor	P/C	P/C	NP	P/C	
Upper Floors	P/C	P/C	NP	P/C	
Residential Lofts	P/C	P/C	NP	P/C	
Live-Work Unit	P	P	NP	P	
Single-family residential attached dwelling unit (Townhomes)	P/C	NP	P/C	NP	
Single-family residential detached dwelling unit	P/C	NP	P/C	NP	

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Sub-District	Outer Ring Mixed Use	Inner Ring Mixed Use	Urban Neighborhood	Freeway High Rise
Other Uses				
Hotels –full service	P	P	NP	P
Parking, surface (primary use of property)	NP	NP	NP	NP
Parking, structured	P	P	NP	P
Private attached garage	NP	NP	P	NP
Private detached garage	NP	NP	P	NP
Sales from kiosks	P	P	NP	P
Community garden	P	P	P	P
Incidental Outdoor Display	P/A	P/A	NP	P/A
Antennas including cell, accessory, and mounted on top of buildings.	NP	P/A/C	NP	P/A/C
Utility infrastructure	P/A/C	P/A/C	P/A/C	P/A/C
Rain water harvesting equipment	P/A/C	P/A/C	P/A/C	P/A/C
Wind energy equipment	P/A	P/A	P/A	P/A
Solar energy equipment	P/A	P/A	P/A	P/A

P= Permitted by right NP= Not Permitted P/C= Permitted with design criteria per Table 6.2 P/A = Permitted Accessory Use NA= Not applicable

A* = Accessory use to not exceed 25% of the primary use building square footage

** Model homes are limited to a time period until all the homes are sold in the neighborhood.

Planned Development Code

6.3 Use Criteria: All uses listed as P/C in Table 6.1 shall also meet the following standards in Table 6.2

Table 6.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
Non-Residential Uses		
Any permitted use with a drive through facility	Inner Ring Mixed Use and Freeway High Rise	<ul style="list-style-type: none"> All drive through access (driveways) shall be from Type ‘B’ Streets. Drive through lanes and/or canopies shall not have frontage along on or be located along any Type ‘A’ Streets. Drive through areas screened by a 4’ high Street Screen.
Universities and Colleges	Outer Ring Mixed Use and Inner Ring Mixed Use	<ul style="list-style-type: none"> Shall be required to provide structured parking as part of the build-out for the university/college campus
Residential Uses		
Multi-family residential Ground Floor	Outer Ring Mixed Use, Inner Ring Mixed Use, Freeway High Rise	<ul style="list-style-type: none"> All Ground Floor Activated Uses as depicted on the Regulating Plan shall be built to Retail Ready standards.
Multi-family residential (all dwelling units)	Outer Ring Mixed Use, Inner Ring Mixed Use, Freeway High Rise	<ul style="list-style-type: none"> Minimum dwelling unit size: Efficiency = 525 SF 1 Bedroom = 675 SF 2 Bedroom = 1,000 SF Any development with multi-family must be 4-story minimum No more than 40% of the overall permitted multi-family unit count may reside south of the Dallas/Collin County line
Single-family residential attached (townhomes) and detached dwelling units	Outer Ring Mixed Use	<ul style="list-style-type: none"> Prohibited north of Dallas/Collin County line If single family residential develops south of Dallas/Collin County line then Sections 7.4 and 8.3 of the code applies, unless it faces the South Entry and Ring Road, where Sections 7.2 and 8.2 still apply.
Residential lofts	Outer Ring Mixed Use, Inner Ring Mixed Use, Freeway High Rise	<ul style="list-style-type: none"> Prohibited south of Dallas/Collin County line
Single family residential attached dwelling unit (townhomes)	Urban Neighborhood, Outer Ring Mixed Use	<ul style="list-style-type: none"> Minimum dwelling unit size: 1,650 SF
Single family residential detached dwelling unit	Urban Neighborhood, Outer Ring Mixed Use	<ul style="list-style-type: none"> Minimum dwelling unit size: 2,000 SF
Multi-family residential (all dwelling units)	Freeway High Rise	<ul style="list-style-type: none"> No wood frame (Type III and Type V) construction permitted.
Other Uses		
Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	Inner Ring Mixed Use, Freeway High Rise	<ul style="list-style-type: none"> Antennas shall be permitted on rooftops. Antennas shall be screened entirely with a screen of same color as the principal building. Antennas shall not be visible from adjacent Type ‘A’ Street.
Utility equipment (includes electrical transformers, gas meters, etc)	All Zones	<ul style="list-style-type: none"> On all frontages utility equipment shall be screened with a Street Screen at least as high as the equipment being screened. On Type “A” street frontages utility equipment shall also be recessed into the building. Utility equipment shall be permitted on rooftops. Utility equipment shall be screened entirely with a screen of same color as the principal building.

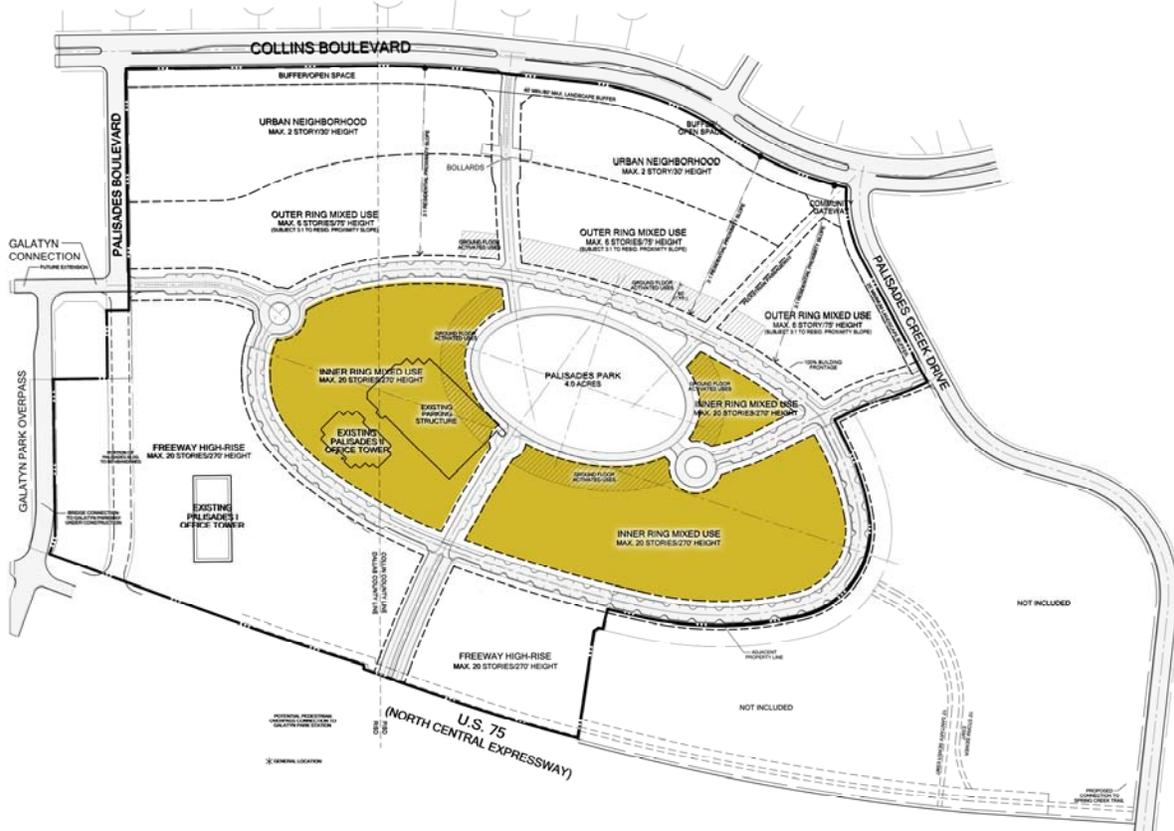
Planned Development Code

Table 6.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
Rain water harvesting equipment	All Zones	<ul style="list-style-type: none"> • Rain water harvesting equipment shall be permitted on rooftops. • Rain water harvesting equipment shall be screened entirely with a screen of same color as the principal building.

Section 7. Building Form and Development Standards

The following section establishes the Building Form and Development Standards for all Sub-Districts within the Palisades District. Diagrams and reference letters are used for illustrations purposes only. Reference letters may not be in continuous sequence.

7.1 Inner Ring Mixed Use Sub-District



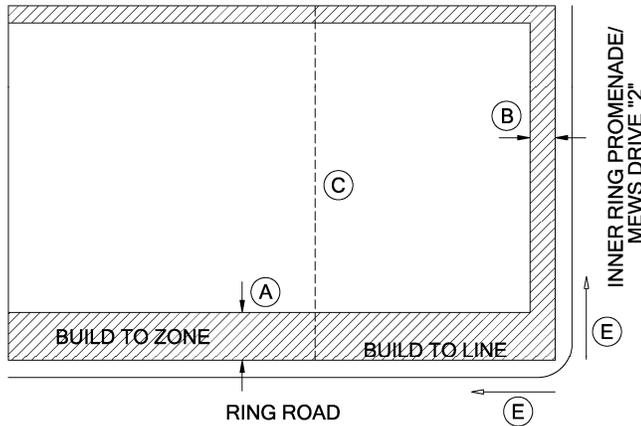
Inner Ring Mixed Use Sub-District Location Map

Note: This map is for reference only. Refer to the Regulating Plan (Appendix A) for all requirements.

Planned Development Code

Inner Ring Mixed Use

7.1.1 Building Placement



REFER TO SECTION 9 FOR BTL LOCATION

#3 – Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining street easements. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#4 – Setbacks and build-to lines for recessed entry and arcade buildings shall be measured from the building façade line which contains the recessed entry or arcade.

#5 – Required parking for commercial and office may be provided within 500 linear feet of the building frontage. Multi-family must be self-accommodated within its block.

#6 – Article III, Chapter 21, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

Build-To Zone (BTZ)

Front (Ring Road)	0 – 50 feet	(A)
Front (Inner Ring Promenade)	0 feet	(B)
Front (Mews Drive "2")	0-10 feet	(B)

Setback

Side (from property line)	0 feet (see #1)	(C)
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Building Frontage

Building Frontage required along all street BTZ	100% along Palisades Park 25% (min) along Ring Road	(E)
Building Frontage required along Mews Drive "2."	50%	

7.1.2 Building Height

Principal Building Standards

Building height	Max height 20 stories/270 feet
First floor to floor height	15 feet min. along open space, 10 feet min. others (see #2)
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)
Upper floor(s) height (floor-to-ceiling)	10 feet min. (excluding bathrooms, hallways, closets and areas common to furr downs)

7.1.3 Ground Floor Activated Uses

Ground floors of all buildings fronting on the Inner Ring Promenade shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

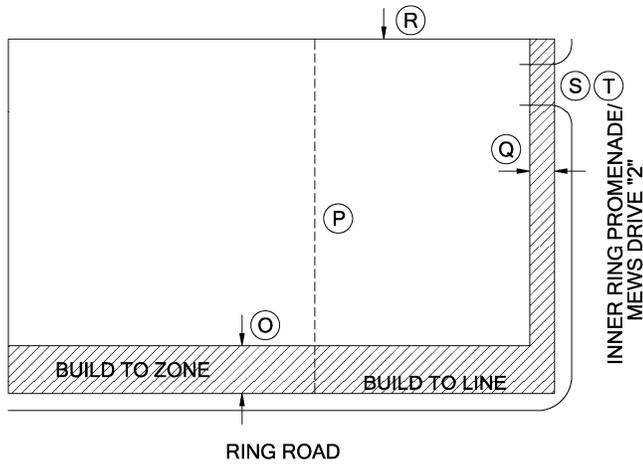
Notes

- #1 – Side setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #2 – First floor heights shall not apply to parking structures.

Planned Development Code

Inner Ring Mixed Use

7.1.4 Parking & Service Access



7.1.5 Encroachments

Canopies, signs, awnings and balconies may encroach over the BTZ, setback, and, sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.1.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Sub-District.

Notes

- #1 – Surface parking as an ancillary use with an office or condo tower motor court shall be permitted with a 0 – 20 foot setback.
- #2 – Setbacks and build-to lines for recessed entry and arcade buildings shall be measured from the building façade line which contains the recessed entry or arcade.
- #3 – Required parking may be provided anywhere within the Palisades District.
- #4 – Article III, Chapter 21, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

(i) Parking Location

Surface/At Grade Parking

Ring Road	Shall be located behind the principal building (see #1)	(O)
Inner Ring Promenade	None allowed.	(Q)
Side setback (distance from property line)	0 feet min.	(P)
Rear setback (distance from property line)	0 feet min.	(R)

Above Grade Parking

Setback along Ring Road	0 feet min.	(O)
Setback along Inner Ring Promenade	Not allowed at grade level.	(Q)
Side and rear setbacks (distance from property line)	0 feet min.	(P) (Q)

Upper Floors May be built up to the building line

(ii) Required Off-Street Parking Spaces

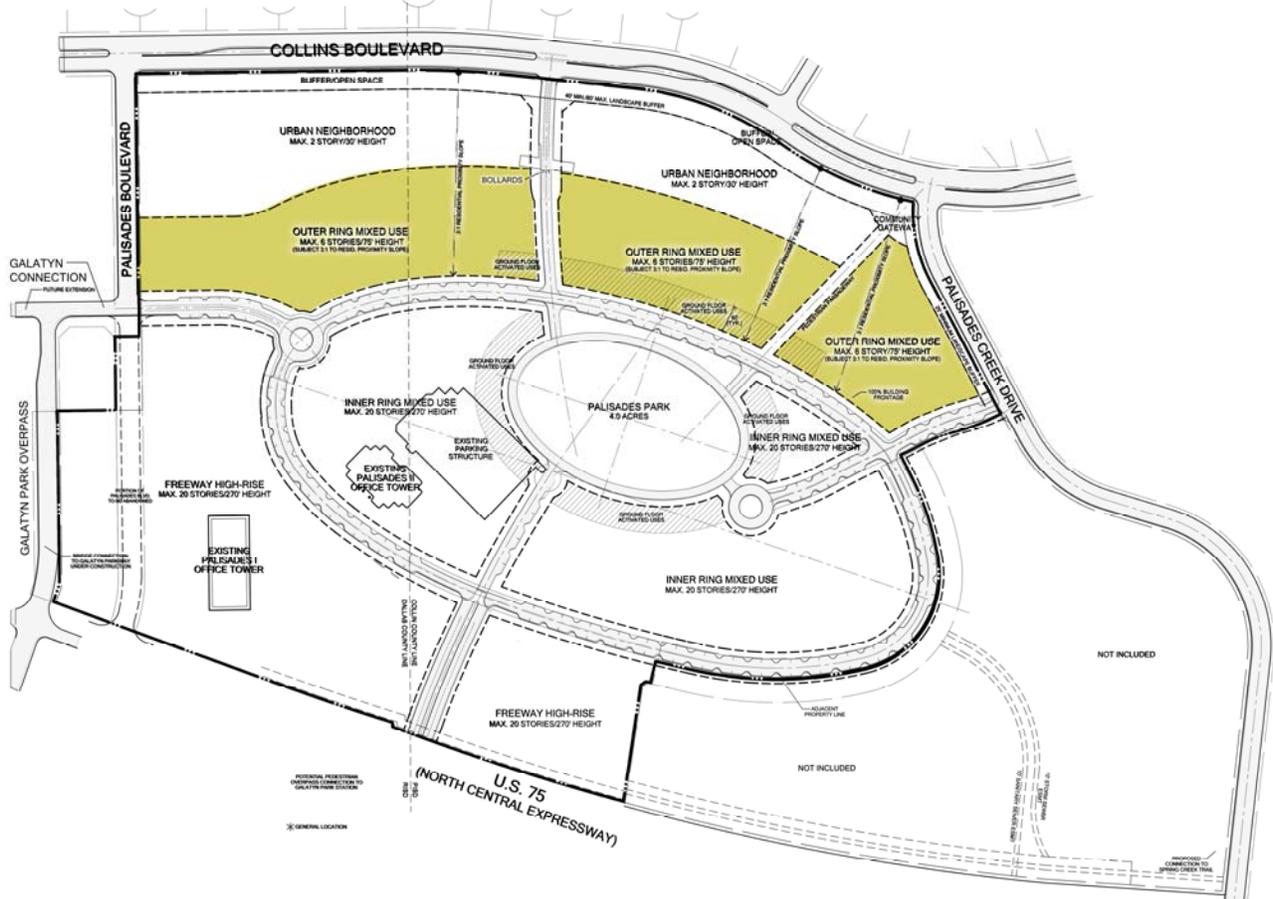
Non-residential uses	1 space/300 sq. feet (gross)
Residential uses	1 space/bedroom

(iii) Driveways and Service Access

Parking driveway width	20 feet max. (except when drives may need to be wider to address service access or fire lane standards)	(S)
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- Driveways and off-street loading and unloading docks shall not be located on a Type “A” Streets. (T)
- Porte cocheres may be permitted over the street easement, but not within any travel lanes to provide drop-off and valet service.
- Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.
- If driveway and/or off-street service loading and unloading access is provided from a Type “A” Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are developed.

7.2 Outer Ring Mixed Use Sub-District



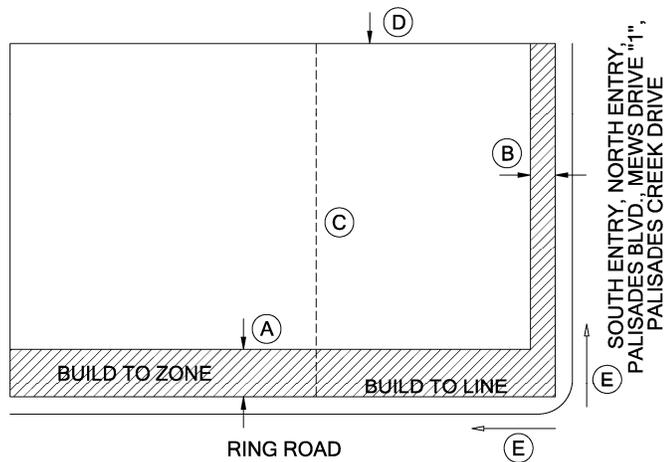
Outer Ring Mixed Use Sub-District Location Map

Note: This map is for reference only. Refer to the Regulating Plan (Appendix A) for all requirements.

Planned Development Code

Outer Ring Mixed Use

7.2.1 Building Placement



REFER TO SECTION 9 FOR BTL LOCATION

Build-To Zone (BTZ)		
Front (Ring Road)	0 - 10 feet	(A)
Front (South, North entries, Mews Drive "1")	0 - 20 feet	(B)
Front (Palisades Blvd.)	10 - 25 feet	(B)
Front (Palisades Creek Drive)	0 - 10 feet	(B)

Setback		
Side (distance from property line)	0 feet (see #1)	(C)
Rear (distance from property line)	0 feet (see #1)	(D)

Building Frontage		
Building Frontage required along Ring Road	75% (min.)	(E)
Building Frontage required along South, North entries	50% (min)	(E)

7.2.2 Building Height

Principal Building Standards	
Building height	Max height 6 stories/75-feet
First floor to floor height	15 feet min. for ground floor Retail Ready spaces, 10 feet min others (see #2)
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)
Upper floor(s) height (floor-to-ceiling)	10 feet min. (excluding bathrooms, hallways, closets, and areas common to furr downs)

7.2.3 Ground Floor Activated Uses

Ground floors of all buildings fronting on the Inner Ring Promenade shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

Notes

- #1 - Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #2 - First floor heights shall not apply to parking structures.
- #3 - All buildings in the Outer Ring Mixed Use shall meet the Building Design Standards in Section 8.

#4 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining street easements and public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

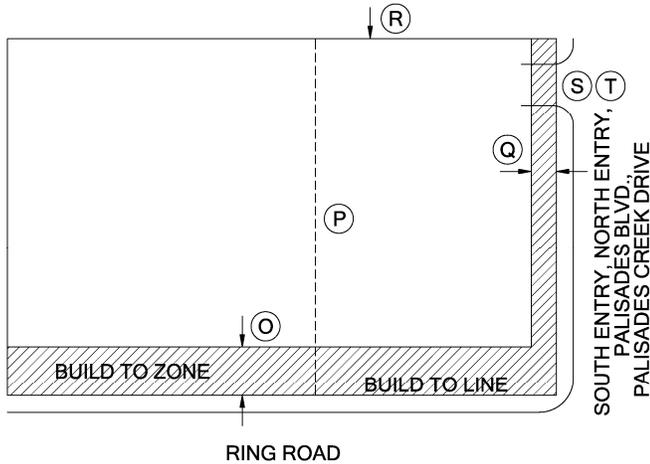
#5 - Setbacks and build-to lines for recessed entry and arcade buildings shall be measured from the building façade line which contains the recessed entry or arcade.

#6 - Required parking for commercial and office may be provided within 500 linear feet of the building frontage. Multi-family must be self-accommodated within its block.

#7 - Article III, Chapter 21, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas

Outer Ring Mixed Use

7.2.4 Parking & Service Access



7.2.5 Encroachments

Canopies, signs, awnings and balconies may encroach over the BTZ, setback, and, sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.2.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Sub-District.

Notes

#1 – Surface parking motor courts are permitted.

(i) Parking Location

Surface/At Grade Parking

Ring Road	Shall be located behind the principal building (see #1)	(O)
South, Palisades, Palisades Creek, North entries	Shall be located behind the principal building (see #1)	(Q)
Side setback (distance from property line)	0 feet min.	(P)
Rear setback (distance from property line)	0 feet min.	(R)

Above Grade Parking

Setback along Ring Road	0 feet	(O)
Setback along South and North entries	0 – 20 feet	(Q)
Side and rear setbacks (distance from property line)	0 feet min.	(P) (R)
Upper Floors	May be built up to the building line	

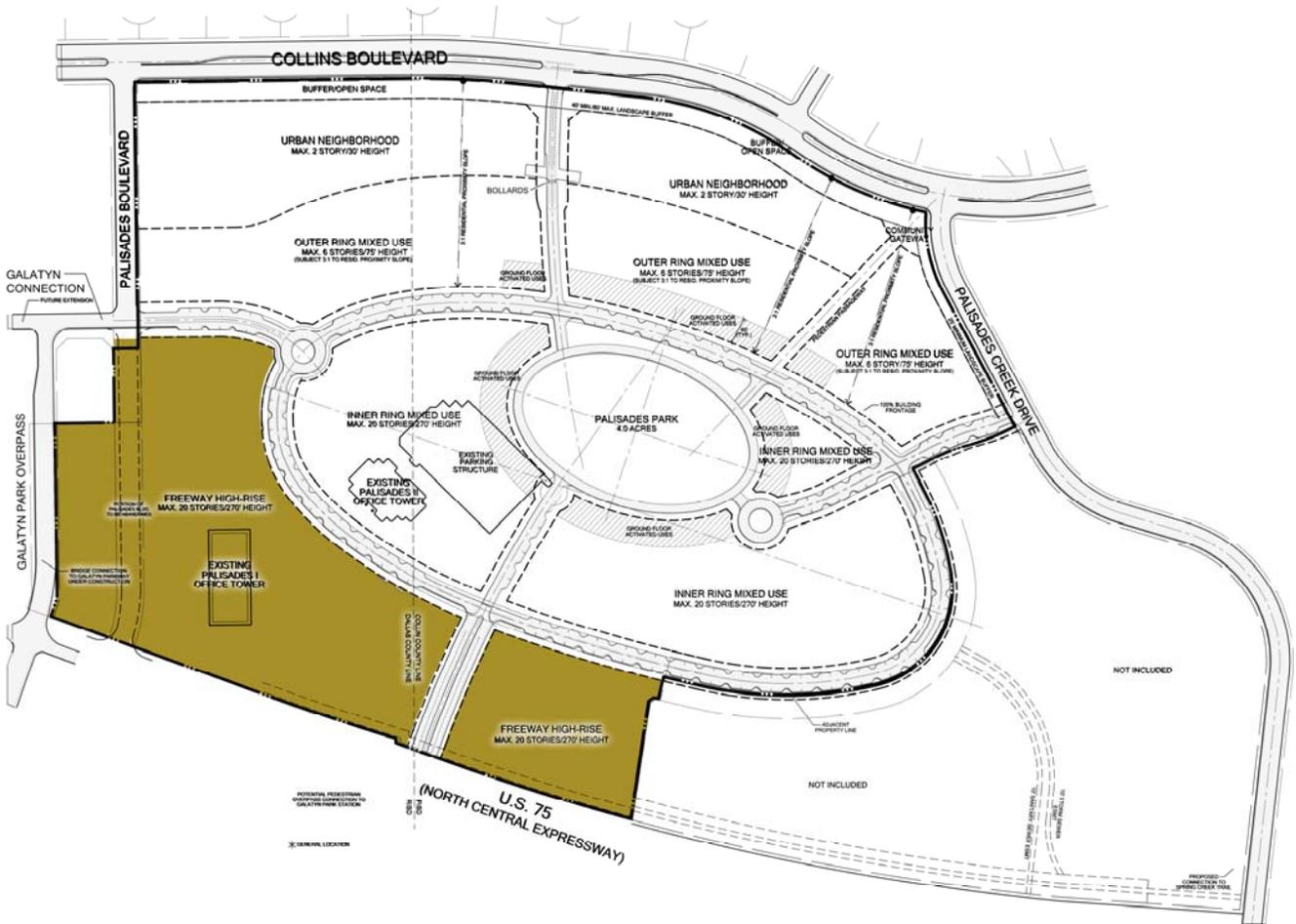
(ii) Required Off-Street Parking Spaces

Non-residential uses	1 space/300 sq. feet (gross)
Residential uses	1 space/bedroom

(iii) Driveways and Service Access

Parking driveway width	20 feet max. (except service drives which may be a max. of 30 feet wide)	(S)
Driveways and off-street loading and unloading docks shall not be located on a Type "A" Streets. Porte cocheres may be permitted over the street easement, but not withing on Type "A" Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from a Type "A" Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are developed.		(T)

7.3 Freeway High Rise Sub-District

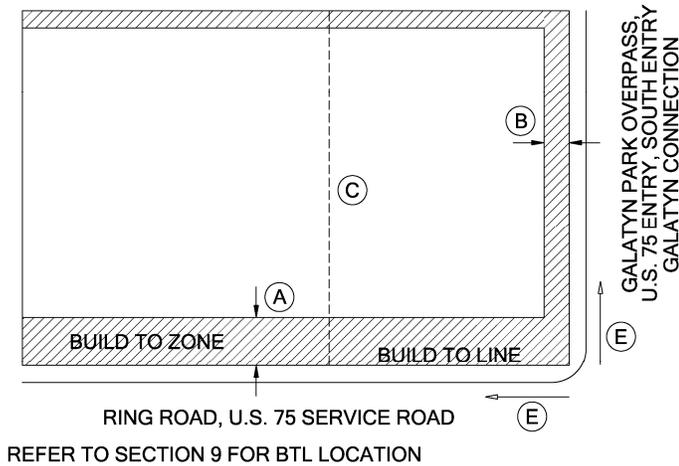


Freeway High Rise Sub-District Location Map

Note: This map is for reference only. Refer to the Regulating Plan (Appendix A) for all requirements.

Freeway High Rise

7.3.1 Building Placement



measured from the building façade line which contains the recessed entry or arcade.

#5 – Required parking for commercial and office may be provided within 500 linear feet of the building frontage. Multi-family must be self-accommodated within its block.

#6 – Article III, Chapter 21, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

Build-To Zone (BTZ)

Front (Ring Road)	0 – 20 feet	(A)
Front (U.S. 75 Entry)	10 – 40 feet	
Front (South Entry)	0 – 20 feet	

Setback

Front (U.S. 75 Service Road) from property line	30 feet (min.)	(A)
Front (Galatyn Park Overpass and Galatyn Connection) from property line	20 feet (min.)	(B)
Side (distance from property line)	0 feet (see #1)	(C)

Building Frontage

Building Frontage required along all street BTZ	50% (min.) along U.S. 75 Entry	(E)
Building Frontage required along all street BTZ	20% along Ring Road and South Entry	(E)
Building Frontage required along U.S. 75 Service Road and Galatyn Park Overpass	0% (min.)	(E)

7.3.2 Building Height

Principal Building Standards

Building height	Max 20 stories/270 feet
First floor to floor height	10 feet min. (excluding bathrooms, hallways, closets, and areas common to furr down)
Upper floor(s) height (floor-to-ceiling)	10 feet min. (excluding bathrooms, hallways, closets, and areas common to furr downs)

Notes

#1 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

#2 – First floor heights shall not apply to parking structures.

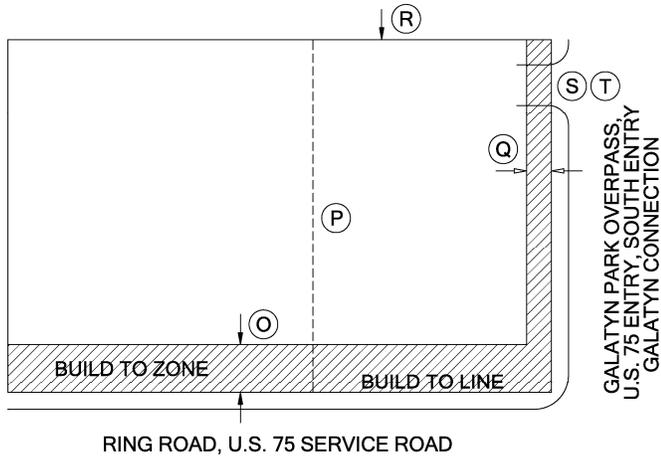
#3 – Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining street easements and public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#4 – Setbacks and build-to lines for recessed entry and arcade buildings shall be

Planned Development Code

Freeway High Rise

7.3.3 Parking & Service Access



- Driveways and off-street loading and unloading shall not be located on the U.S. 75 Frontage Road.
- Porte cocheres may be permitted on Type “A” Streets to provide drop-off and valet service.
- Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from the U.S. 75 Frontage Road, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are developed.

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7.3.4 Encroachments

Canopies, signs, awnings and balconies may encroach over the BTZ, setback, and, sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.3.5 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Sub-District.

Notes

#12 – Surface parking as an ancillary use with an office motor court shall be permitted with a 0 - 20-foot setback.

(i) Parking Location

Surface/At Grade Parking

Ring Road and U.S. 75 setback (see #12)	Shall be located behind the principal building	O
U.S. 75 Entry, Galatyn Park Overpass, South Entry and Galatyn Connection	Shall be located behind the principal building (see #12)	Q
Side setback (distance from property line)	0 feet min.	P

Above Grade Parking

Setback along U.S. 75 Frontage Road,	30 feet min.	O
Side and rear setbacks (distance from property line)	0 feet min.	P R
Setback along Galatyn Park Overpass and Galatyn Connection	20 feet min.	Q
Setback along Ring Road	0 feet	O
Setback along U.S. 75 Entry	10 feet min.	Q
Setback along South Entry	0 feet	Q

Upper Floors May be built up to the building line

(ii) Required Off-Street Parking Spaces

Non-residential uses	1 space/300 sq. feet (gross)
Residential uses	1 space/bedroom

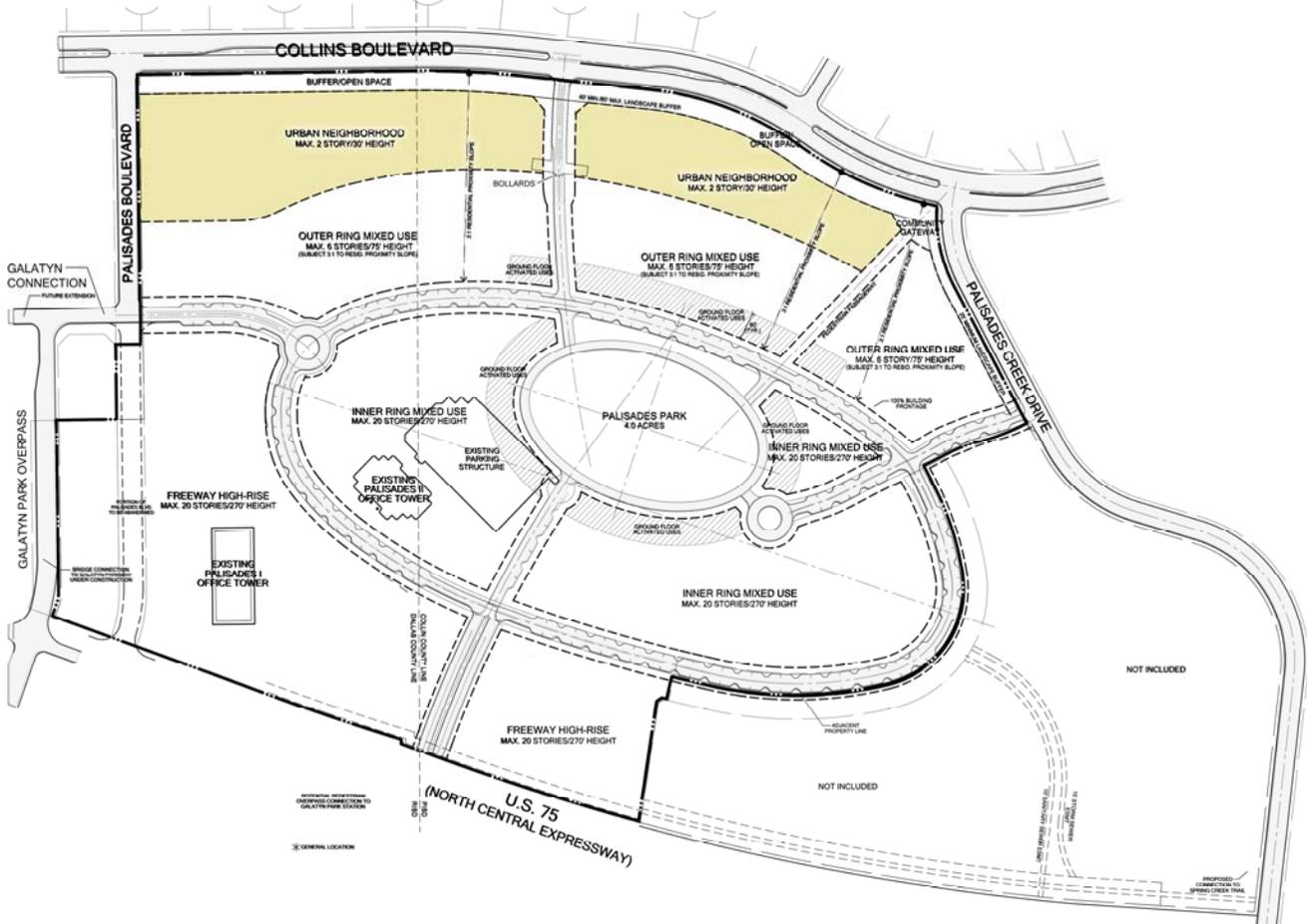
(iii) Driveways and Service Access

Parking driveway width	TXDOT standards on service road and 24 feet max on all Palisades District Streets, except when drives may need to be wider to address service access or fire lane standards.	S
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7.4 Urban Neighborhood Sub-District

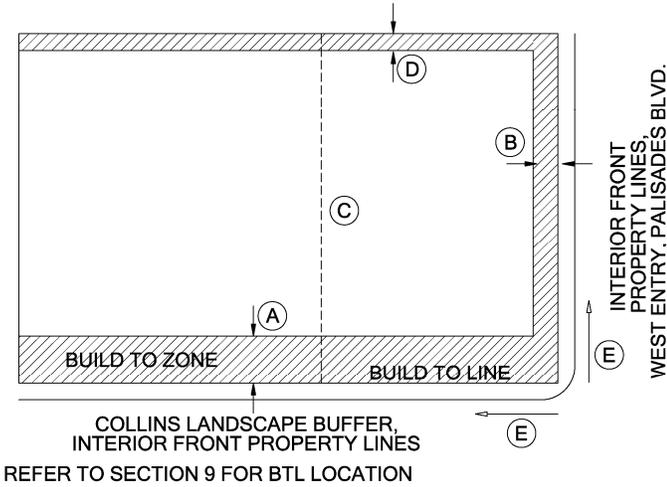


Urban Neighborhood Sub-District Location Map

Note: This map is for reference only. Refer to the Regulating Plan (Appendix A) for all requirements.

Urban Neighborhood

7.4.1 Building Placement



Setback (from property line)

Front (interior front property lines)	15 feet	(A)
Side (Palisades Blvd., West Entry)	20 feet	(B)
Side (distance from property line)	0 feet (see #1)	(C)
Rear (distance from property line)	10 feet	(B)
Collins landscape buffer width	40-80 feet	(A)

Min. setbacks for alley access only lots

Front (alley)	5 feet	(A)
Side (Collins Buffer)	5 feet	(C)
Side (interior)	(see #1)	(C)
Side (Mews "1")	5 feet	(C)
Rear (shared common green)	5 feet	(D)

7.4.2 Building Height

Principal Building Standards

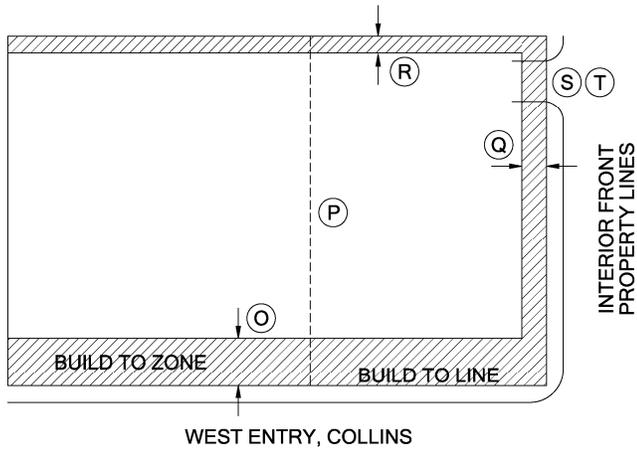
Building height	2 stories/30 feet
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Notes

#1 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

Urban Neighborhood

7.4.3 Parking & Service Access



(iv) Required Off-Street Parking Spaces

Residential uses	2 spaces/lot; visitor parking=.5 space/lot
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(v) Driveways and Service Access

Parking driveway width	20 feet max.	(S)
Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.		(T)

7.4.4 Encroachments

Porches, stoops, awnings, signs, canopies, balconies, bay windows and other architectural features may encroach into required yards, provided they do not encroach over the front property line.

7.4.5 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Sub-District.

Section 8. Building Design Standards

The Building Design Standards and Guidelines for the Palisades District shall establish a coherent urban character and encourage enduring and attractive development. Development plans shall be reviewed by the City Manager or designee for compliance with the standards below.

The key design principles establish essential goals for development in the Palisades District to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Sub-Districts

8.1.1 Building Orientation

- i. Buildings shall be oriented toward streets where the lot has frontage along streets.
- ii. Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- iii. All primary entrances shall be oriented to the sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

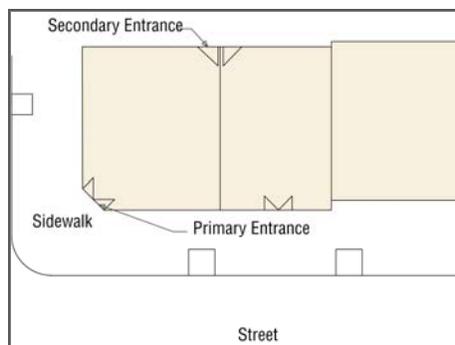


Figure showing required building orientation and location of primary entrances

8.1.2 Design of Parking Structures

- i. All frontages of parking structures located on Type “A” Streets and being located within 60’ of the street curb shall not have parking uses on the ground floor to a minimum depth of 30 feet.
- ii. Parking structure facades on all streets shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.

Planned Development Code

- iii. Where above-ground structured parking is located at the perimeter of a building with frontage along any street it shall be screened in such a way that cars on all levels are completely hidden from view along Type “A” streets. Along the west perimeter of Outer Ring Mixed Use Sub-District, any above ground parking must have cars completely screened from view. Screening may be achieved through the use of louvered, solid or opaque vertical screening elements, in which case Section 8.1.2ii applies.
- iv. When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- v. Parking structure ramps shall not be visible from any Type A street.



Images showing appropriate design of Parking Structures

8.1.3 Design of Automobile Related Building Site Elements

- i. Drive-through lanes for commercial uses shall not be located along or visible from any street within all Sub-Districts.
- ii. All off-street loading, unloading, and trash pick up areas shall be located along alleys or Type ‘B’ Streets unless permitted in the specific building form and development standards in Section 7. Any off-street loading, unloading, or trash pick up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building, (ii) a living screen or (iii) a combination of the two.

8.2 Standards Specific to the Outer Ring Mixed Use, Inner Ring Mixed Use and Freeway High Rise Sub-Districts:

8.2.1 Roof Form

- i. Buildings shall have simple, flat fronts with minimal articulations with flat or low pitched roofs (2.5:12 or lower) with parapets. Corner hip roof elements and gable accents at the parapet may be permitted. Projecting mansard roofs shall not be permitted.



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8.2.2 Façade Composition

- i. Storefronts on facades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.
- ii. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- iii. Buildings shall generally maintain the alignment of horizontal elements along the block.
- iv. Corner emphasizing architectural features, pedimented parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



Buildings with architectural features and storefront elements that add interest along the street.

- v. Buildings which are located on axis with a terminating street or at the intersection of streets shall be considered as feature buildings. Such buildings shall be designed with features which take advantage of that location, such as an accentuated entry and a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line.

8.2.3 Windows and Doors

- i. Windows and doors on street (except alleys) fronting facades shall be designed to be proportional and appropriate to the architectural style of the building. First floor windows shall NOT be opaque, tinted or mirrored glass.
- ii. All ground floor front facades of buildings along streets or Civic/Open Space shall have transparent storefront windows covering no less than 50% of the façade area.



Images showing appropriate window designs and proportions.

8.2.4 Building Materials

- i. At least 85% of each building's façade (excluding doors and windows) shall be finished in one of the following materials:
 - Masonry (brick, stone, concrete, stucco utilizing a three-step process, cast stone, glass or glass block)
- ii. No more than 15% of each façade along any street shall use accent materials such as wood, architectural metal panel, split-face concrete block, tile or Exterior Insulating Finishing System (EIFS). EIFS may only be used 8 feet above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and moulding features. Interior courtyards which shall be a minimum of 25% masonry content.



Images showing appropriate building materials within Inner Ring Mixed Use, Outer Ring Mixed Use, and Freeway High Rise.

- iii. Roofing materials visible from any street shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.

8.2.5 Ground floor activated uses

- i. Portions of the ground floor that are designated for ground floor activated uses on the Regulating Plan shall be constructed as a concrete podium and shall comply with the retail ready standards as defined in Section 4. Portions not designated as ground floor activated uses are not required for this type of construction.

8.3 Standards Specific to the Urban Neighborhood Sub-District:

8.3.1 Building Orientation

- i. Garages for Residential Buildings may be located on alleys at the rear of residential buildings or along the front. Garages must be set back from the street property line a minimum of 20 feet. Two car garages must use single width doors and may be staggered as much as 3 feet from each other to the street.
- ii. Along the east perimeter of Urban Neighborhood Sub-District a three foot high masonry screen wall topped with a four-foot high painted metal fence must be constructed, with a two-foot high landscape screen along its base.
- iii. Fencing is not permitted in lieu of or in addition to the screening wall as required in Section 11.9.

8.3.2 Building Massing and Scale

- i. Buildings shall have few, if any, articulations and simple roofs (gable, hip, combination) with most building wing articulations set at the rear of the structure. Window projections, bay windows, stoops, porches, balconies, and similar extensions shall be exempt from this standard.
- ii. Gable roofs, if provided for buildings, shall have a minimum pitch of 5/12. When hipped roofs are used, the minimum pitch shall be 5/12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3/12.

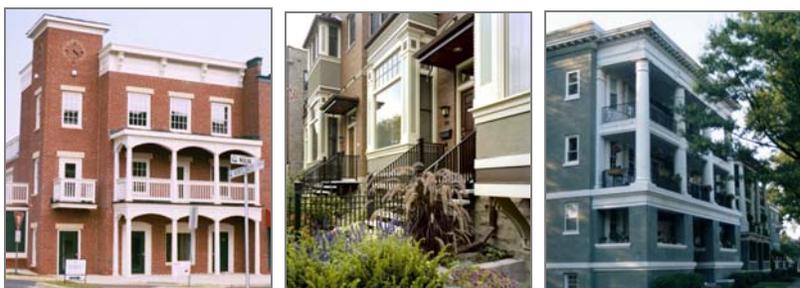
- iii. Projecting mansard roofs shall be prohibited.



Images showing appropriate massing and scale for Residential Buildings

8.3.3 Façade Composition

- i. Buildings shall maintain a façade rhythm of 20 feet to 30 feet along all streets. This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- ii. Buildings shall generally maintain the alignment of horizontal elements along the block.
- iii. Porches, stoops, eaves and balconies shall be added along the front residential façades to add pedestrian interest along streets.
- iv. Alley facing façades shall be of finished quality and of the same color to blend with the public façades of the building.



Residential buildings with porches, balconies, and stoops to add interest along the street.

8.3.4 Windows and Doors

- i. Windows and doors shall be designed to be proportional and appropriate to the architectural style of the building.
- ii. Windows may have jack arch, keystone arch, flat arch, or ornamental arches.



Images showing appropriate window designs and proportions.

- iii. All building façades of residential buildings fronting on streets or civic / open spaces, except alleys, shall have transparent windows covering at least 25% of each façade.

Planned Development Code**8.3.5 Building Materials**

- i. At least 85% of all street fronting facades (excluding doors and windows) shall be finished in one or more of the following materials. No more than three different materials shall be used on any single residential façade:
 - Masonry (brick; stone; cast in place concrete, cast stone, or stucco utilizing a three-step process).
- ii. The following may only be allowed up to 15% as an accent material:
 - Exterior Insulating Finishing System (EIFS), architectural metal panels or similar material over a cementitious base, rock, glass block and tile. EIFS may not be used on the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and moulding features.
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty.
- iii. Rear and side facades shall be of finished quality and of the same color that blend with the street facades of the building.
- iv. Roofing materials (visible from any street): copper, factory finished painted metal, slate, synthetic slate, terra cotta, and asphalt shingles. Three-tab shingles are not permitted.
- v. An enclosed 2-car garage shall be designed and constructed of the same material as the primary building.
- vi. Hand rails and balcony rails shall be of steel, glass or aluminum. Wood is not permitted.

Section 9. Street & Streetscape Design Standards

9.1 Generally: Streets in the Palisades District need to support the overall goal of a mixed use, compact, pedestrian-oriented district. They should balance all forms of mobility while maximizing convenience for residents and visitors.

The Regulating Plan designates the required and recommended street network within the Palisades District. This section specifies the typical configuration of streets within the Palisades District. The specifications address vehicular lane width, parkway widths, street easement widths, number of travel lanes, on-street parking, and pedestrian accommodation. US 75 is under the purview of Texas Department of Transportation (TxDOT) while the remaining streets referenced in this section are private.

9.2 New Streets: This section specifies standards for all new streets in the Palisades District.

9.3 Street Classifications Established: Table 9.1 and associated cross sections shall establish the cross sections for each street type. The cross sections may be adjusted to fit existing contexts with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

Table 9.1

Elements Street Classifications	Street Easement Width (Recommended Minimum)		Number of Vehicular Lanes	Lane Widths for Vehicular Lanes	On-Street Parking	Pedestrian Sidewalk Width (min.)*	Parkway/ Tree Well
	Pavement Width	Pedestrian Easement (both sides)					
Ring Road	44 feet	15 feet	2	14 feet	Yes, both sides, parallel	8'-6"	In bulb out
North Entry	49 feet	15 feet	3	11 feet	Yes, both sides, parallel	8'-6"	In bulb out
South Entry	49 feet	15 feet	3	11 feet	Yes, both sides, parallel	8'-6"	In bulb out
West Entry	33 feet	15 feet	3	11 feet	No	8'-6"	Tree well (5 feet x 5 feet)
US 75 Entry	51 feet	14 feet	4	10 feet	No	6 feet	Parkway (8 feet)
Mews Drive "1"	24 feet	15 feet	2	12 feet	No	8'-6"	Tree well (5 feet x 5 feet)
Mews Drive "2"	32 feet	15 feet	2	12 feet	Yes, one side, parallel	8'-6"	Tree well (5 feet x 5 feet), one side in bulb out
Inner Ring Promenade	24 feet	15 feet	0 Fire Lane Only	24 feet	No	8'-6"	Tree well (5 feet x 5 feet) on one side

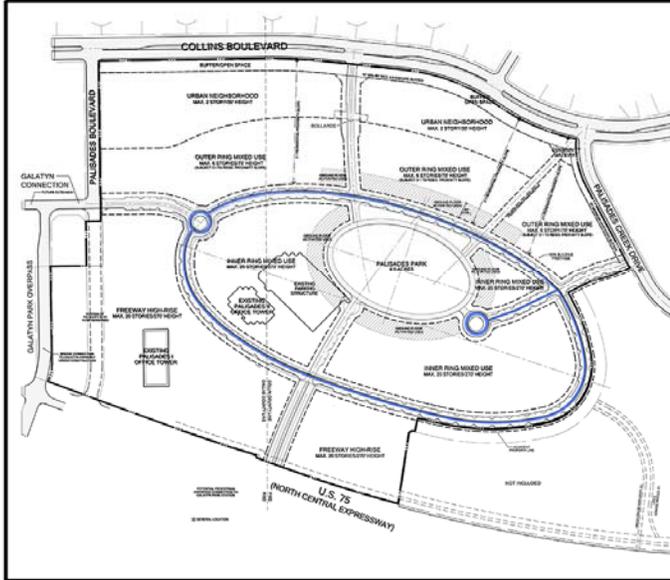
* A minimum 6-foot unencumbered sidewalk areas shall be provided. The 6-foot area shall be exclusive of tree grates or any other encroachments.

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9.4 Ring Road

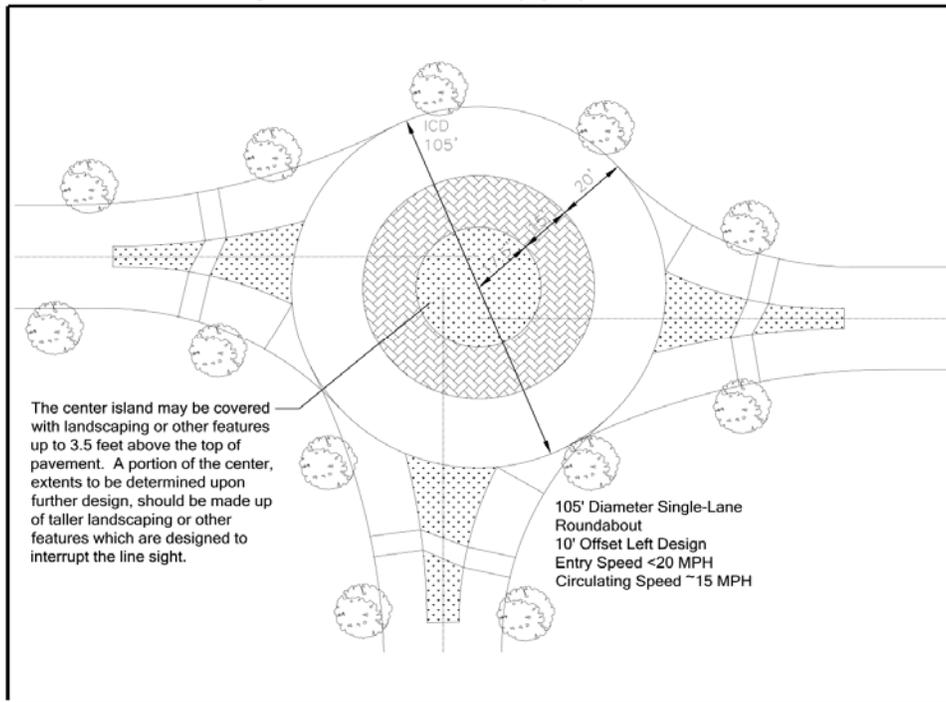
Location Map



Ring Road

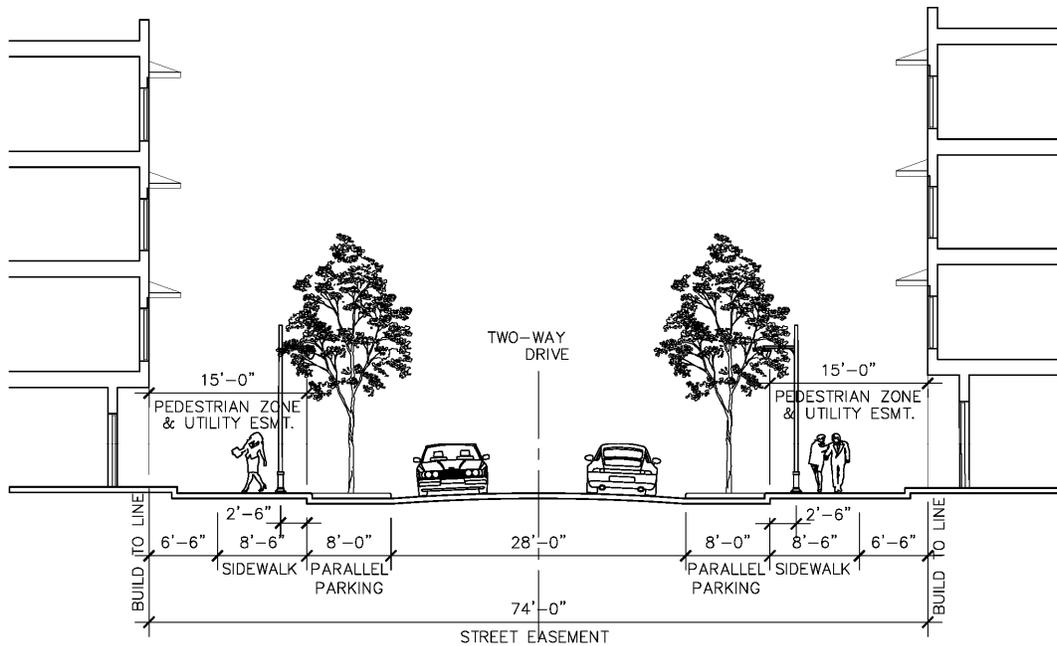
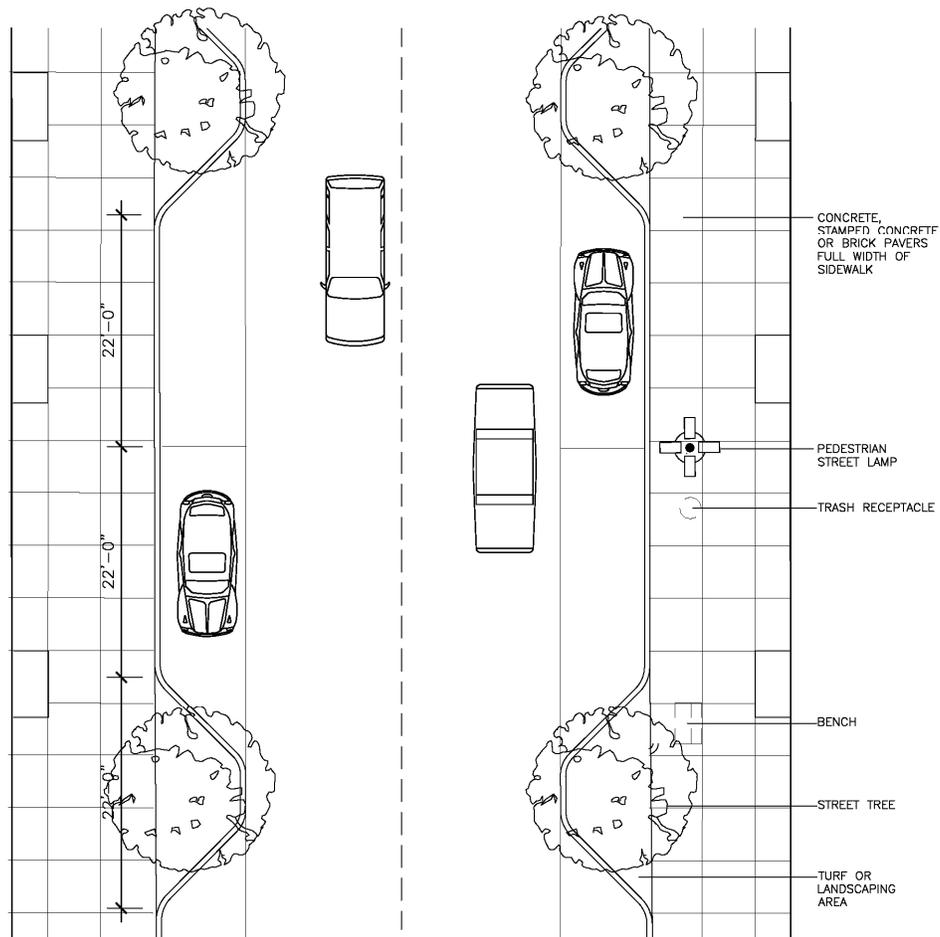
Street Type: B
Design Speed: 30 MPH
Parking: Parallel parking on both sides
Number of Vehicular Lanes: 2
Curb Radius: 20 ft.
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

Street Section: Ring Road Roundabout (Typ.)



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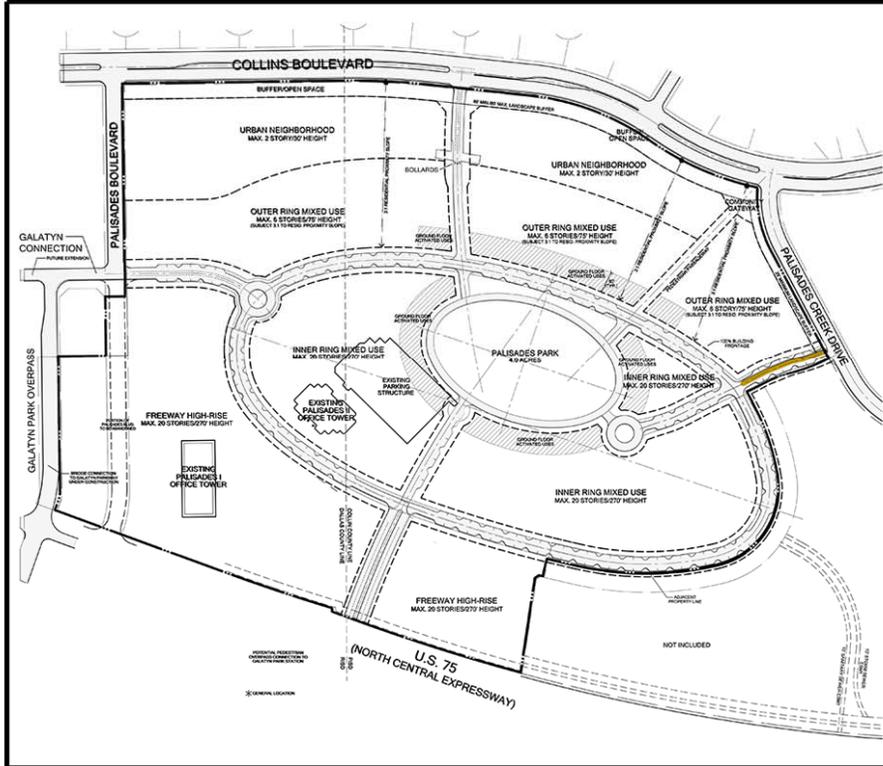


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9.5 North Entry

Location Map



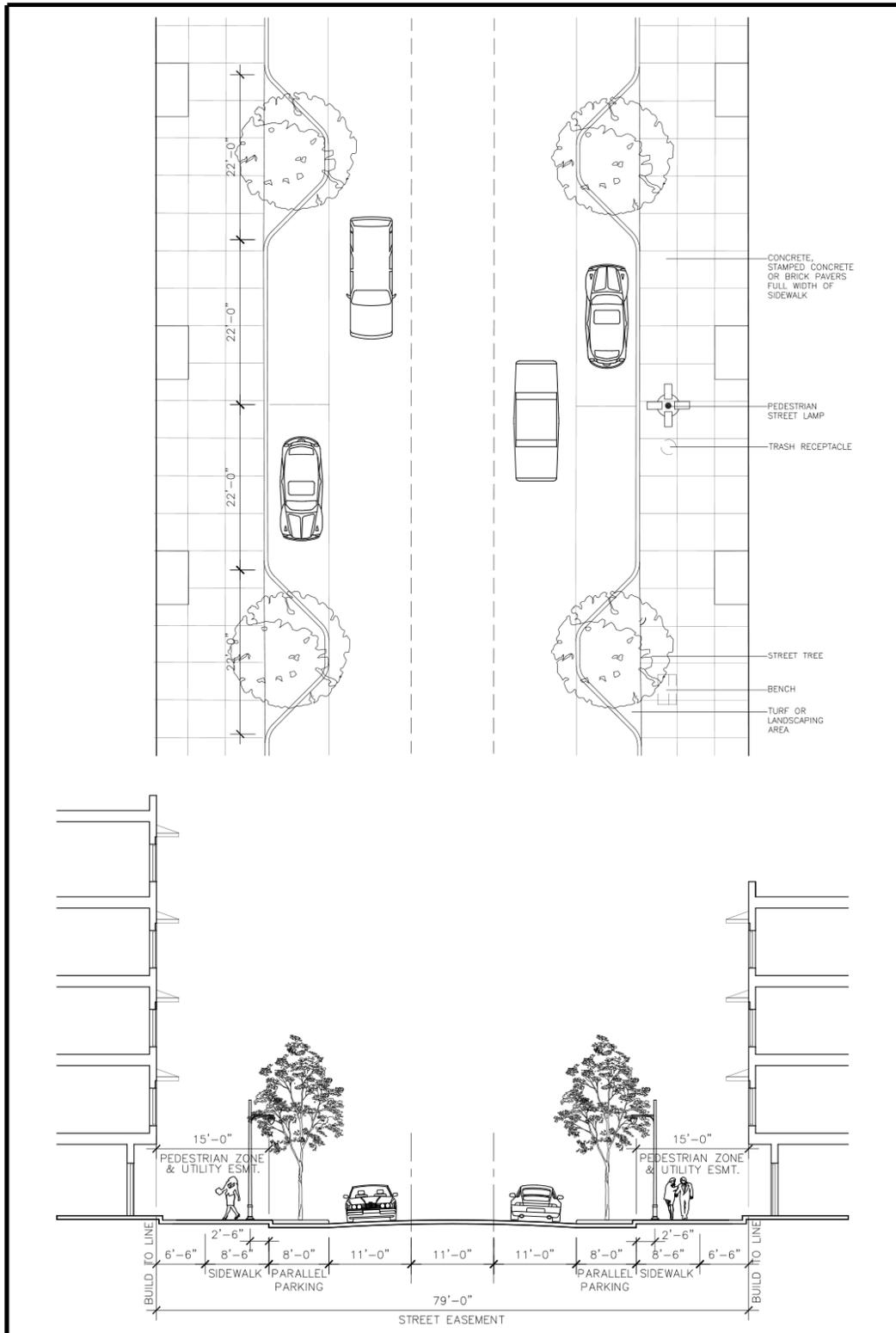
North Entry

Street Type: A
Design Speed: 30 MPH
Parking: Parallel parking on both sides
Number of Vehicular Lanes: 3
Curb Radius: 20 ft., 30 ft. from public streets
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: North Entry

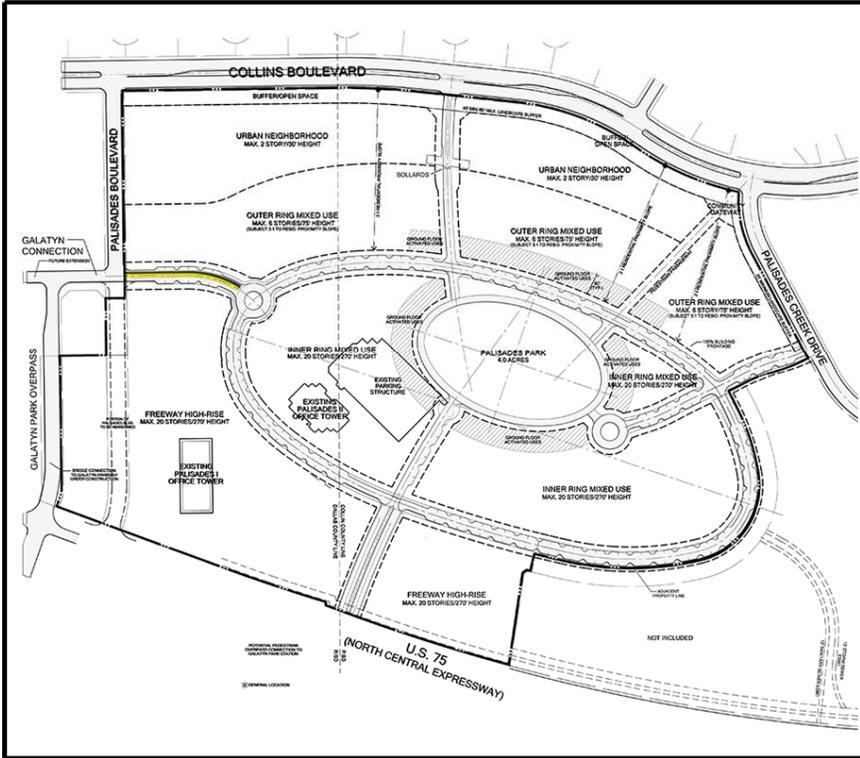


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9.6 South Entry

Location Map



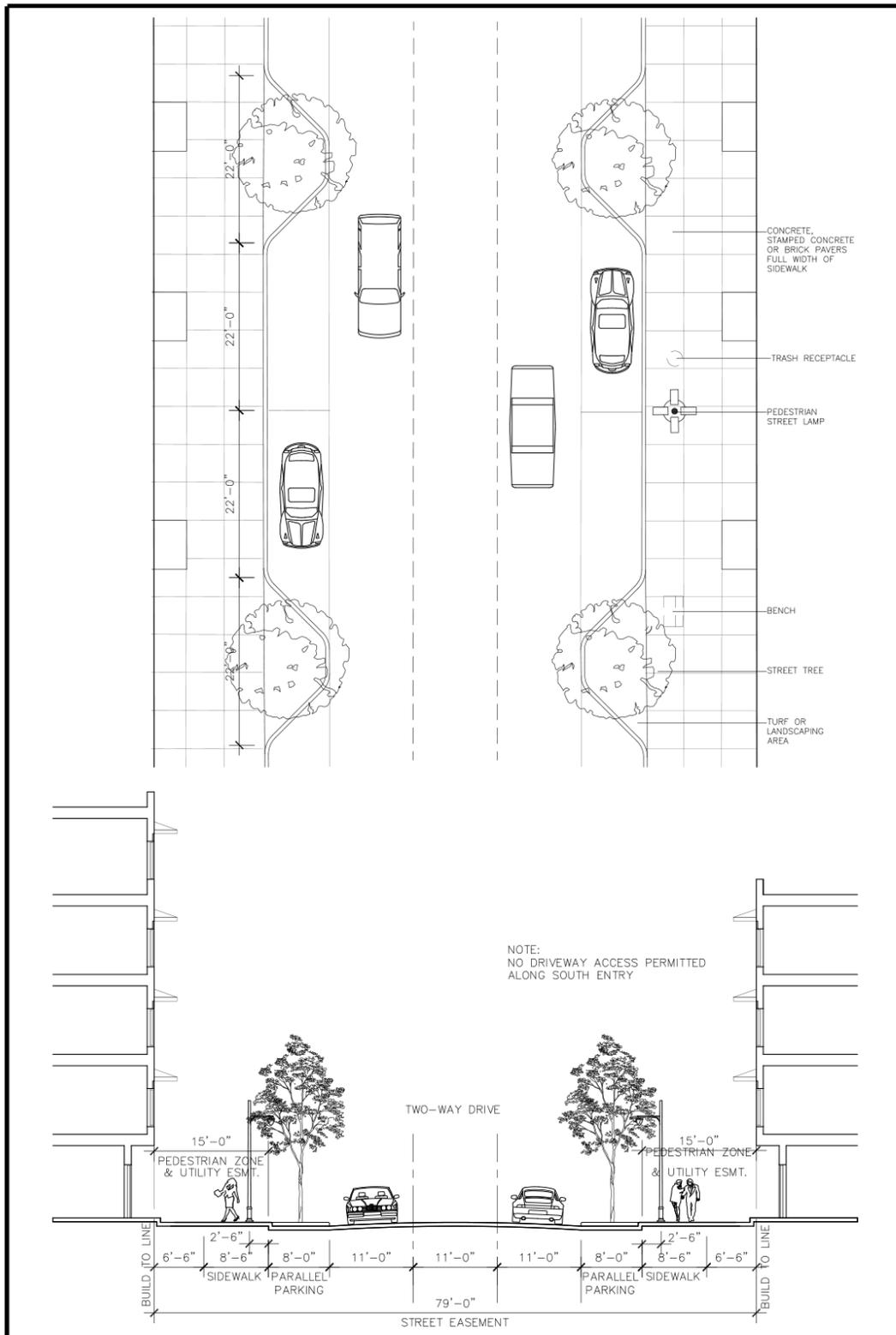
South Entry

Street Type: A
Design Speed: 30 MPH
Parking: Parallel parking on both sides
Number of Vehicular Lanes: 3
Curb Radius: 20 ft., 30 ft. from public streets
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: South Entry

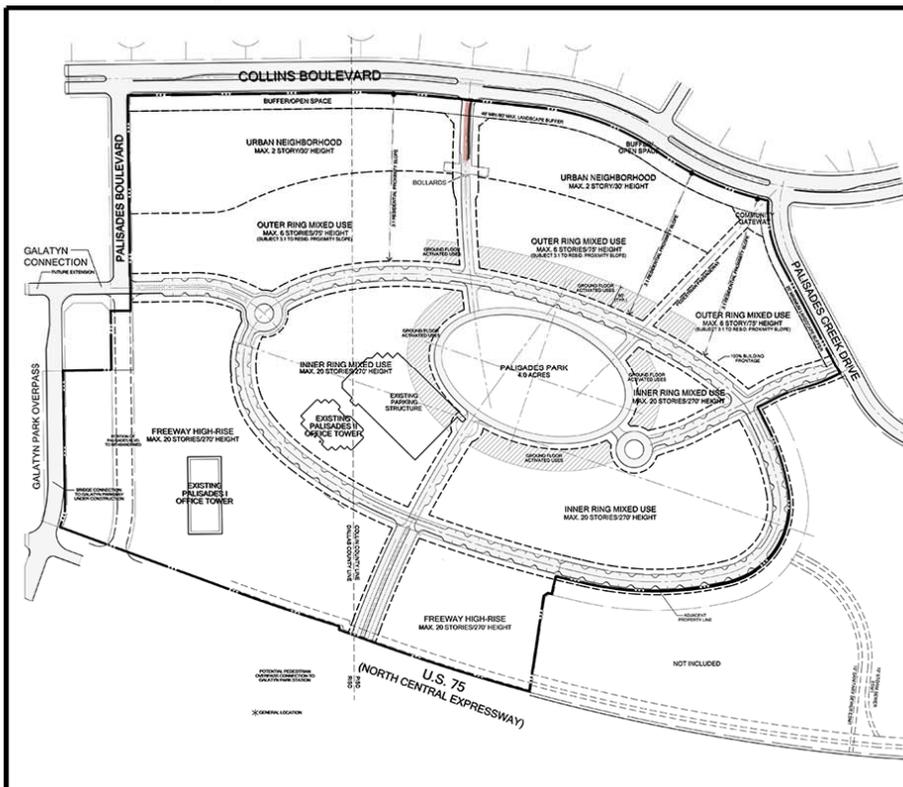


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9.7 West Entry

Location Map



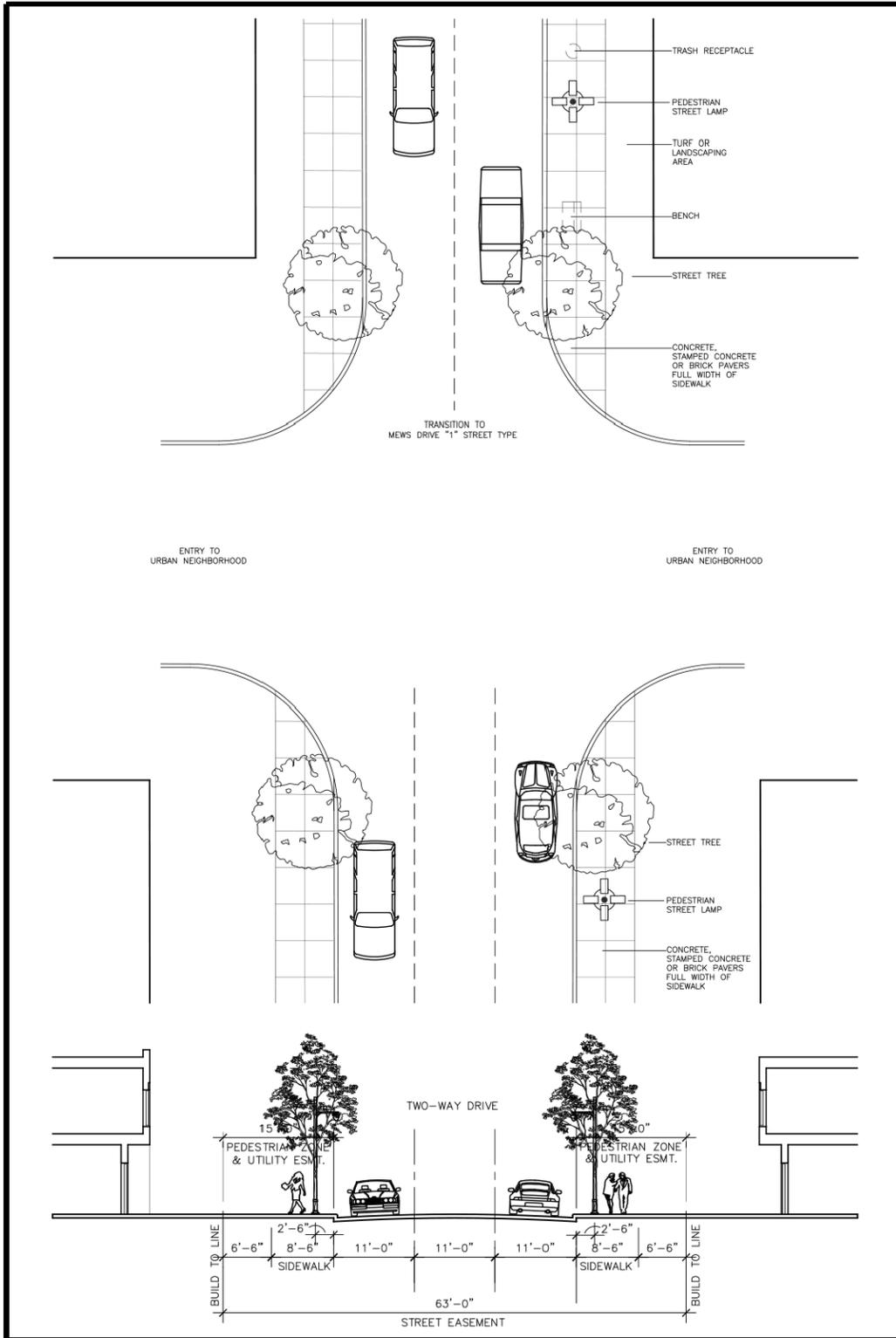
West Entry

Street Type: A
Design Speed: 30 MPH
Parking: No
Number of Vehicular Lanes: 3
Curb Radius: 20 ft., 30 ft. from public streets
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: West Entry

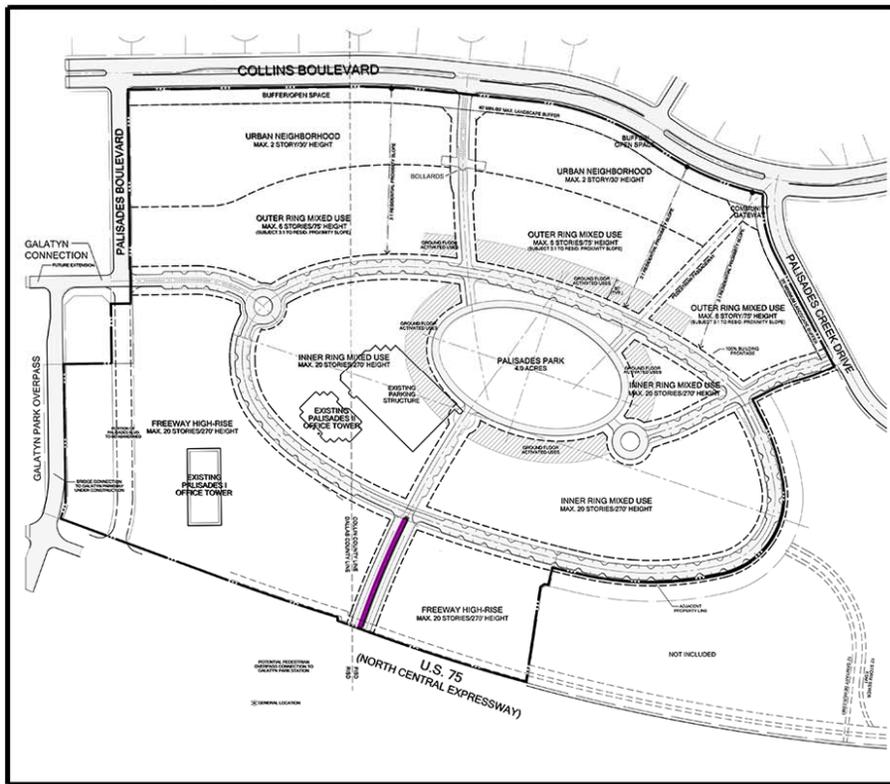


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9.8 U.S. 75 Entry

Location Map



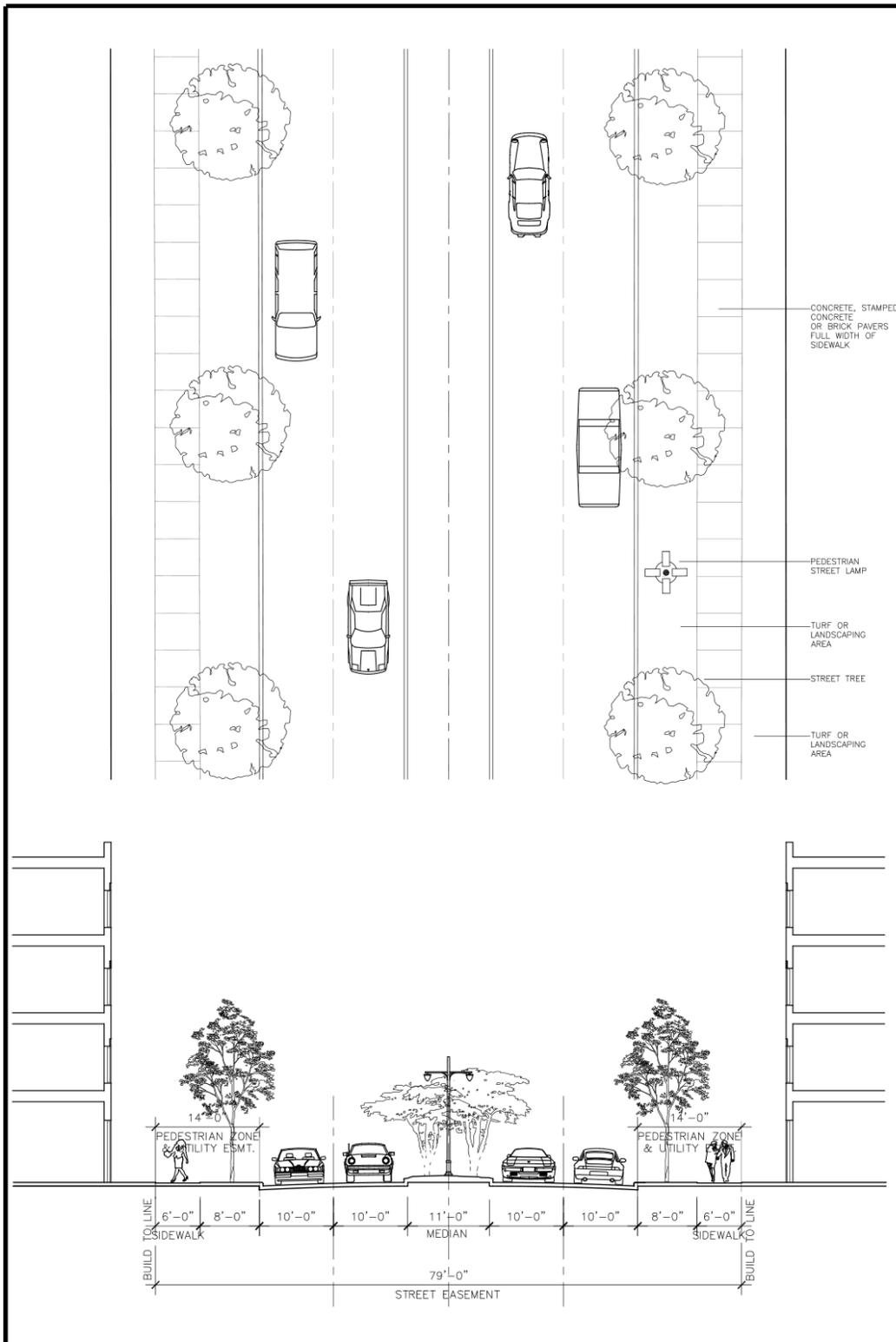
U.S. 75 Entry

Street Type: B
Design Speed: 30 MPH
Parking: No
Number of Vehicular Lanes: 4
Curb Radius: 20 ft., 30 ft. from public streets
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: U.S. 75 Entry

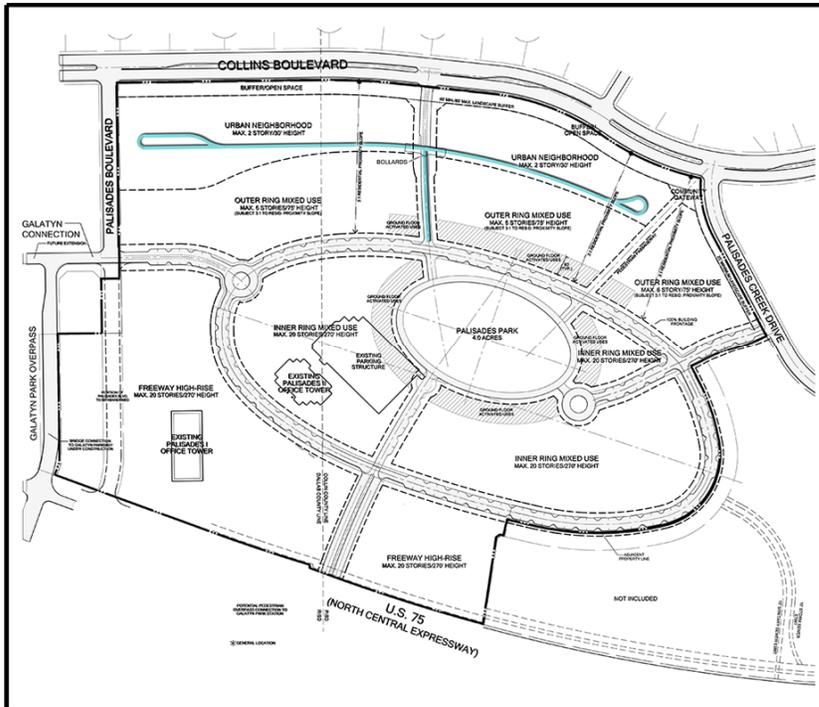


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9.9 Mews Drive “1”

Location Map



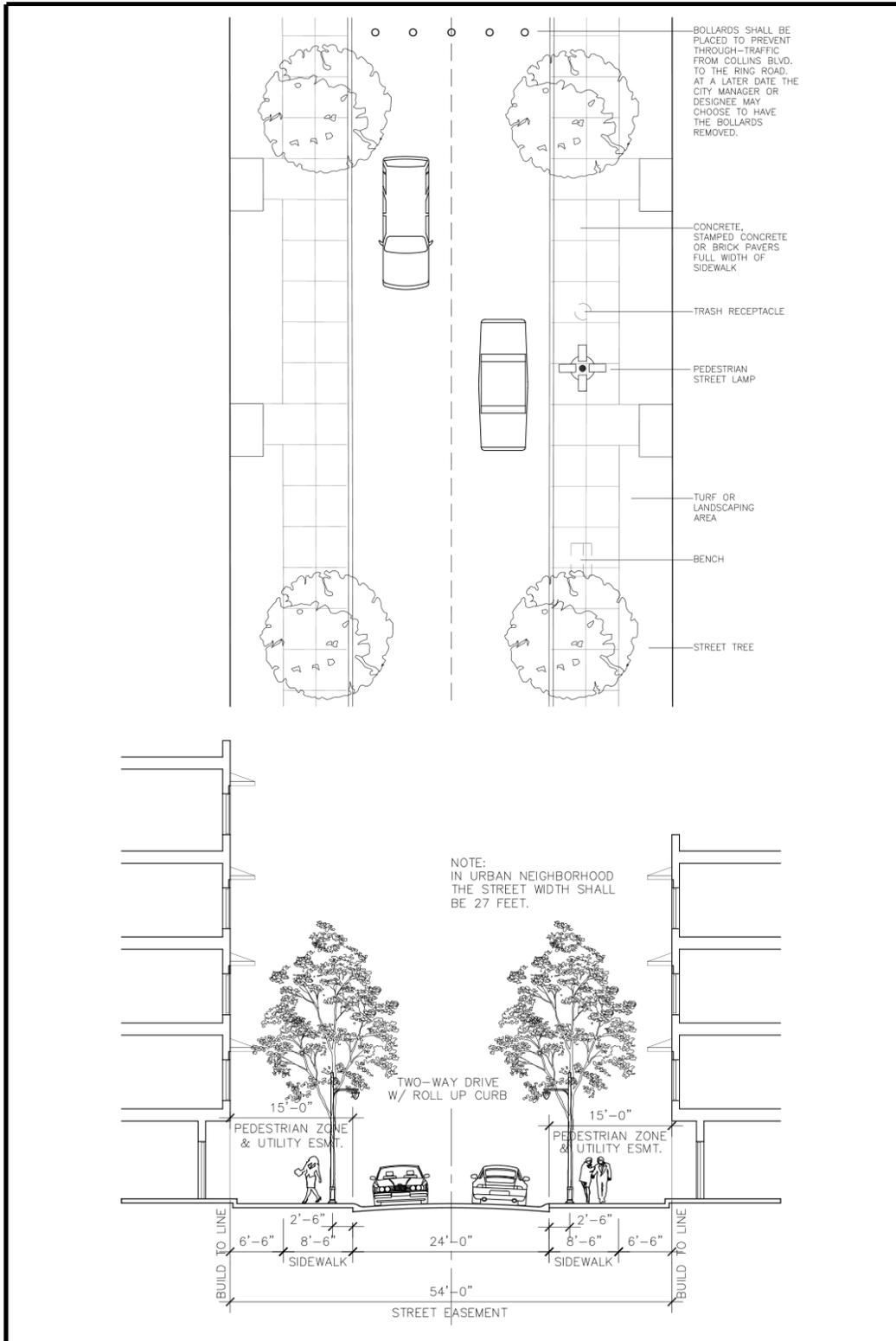
Mews Drive “1”

Street Type: B
Design Speed: 30 MPH
Parking: No
Number of Vehicular Lanes: 2
Curb Radius: 20 ft.
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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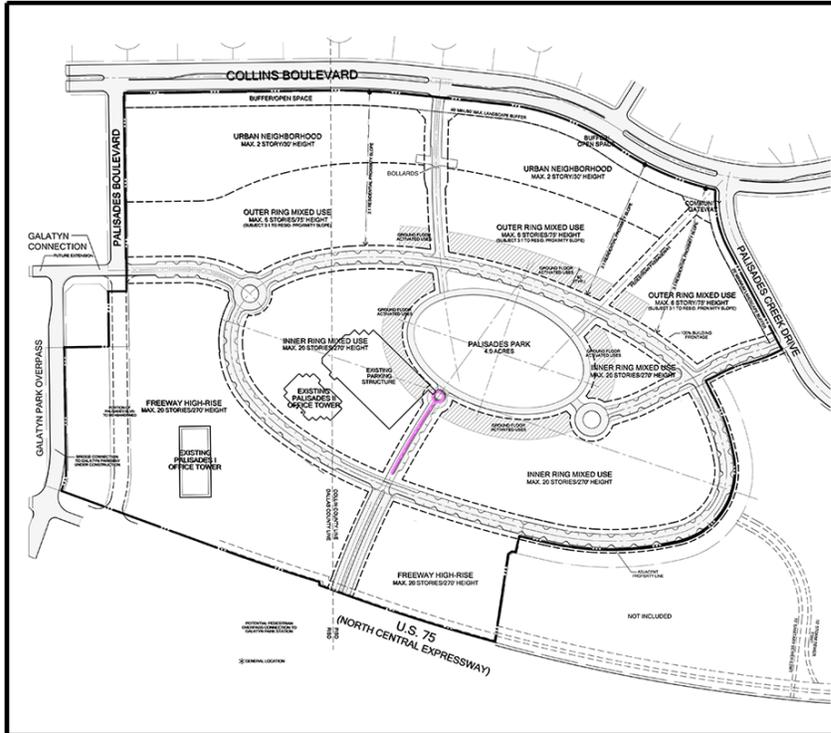
Street Section: Mews Drive "1"



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9.10 Mews Drive “2” Location Map



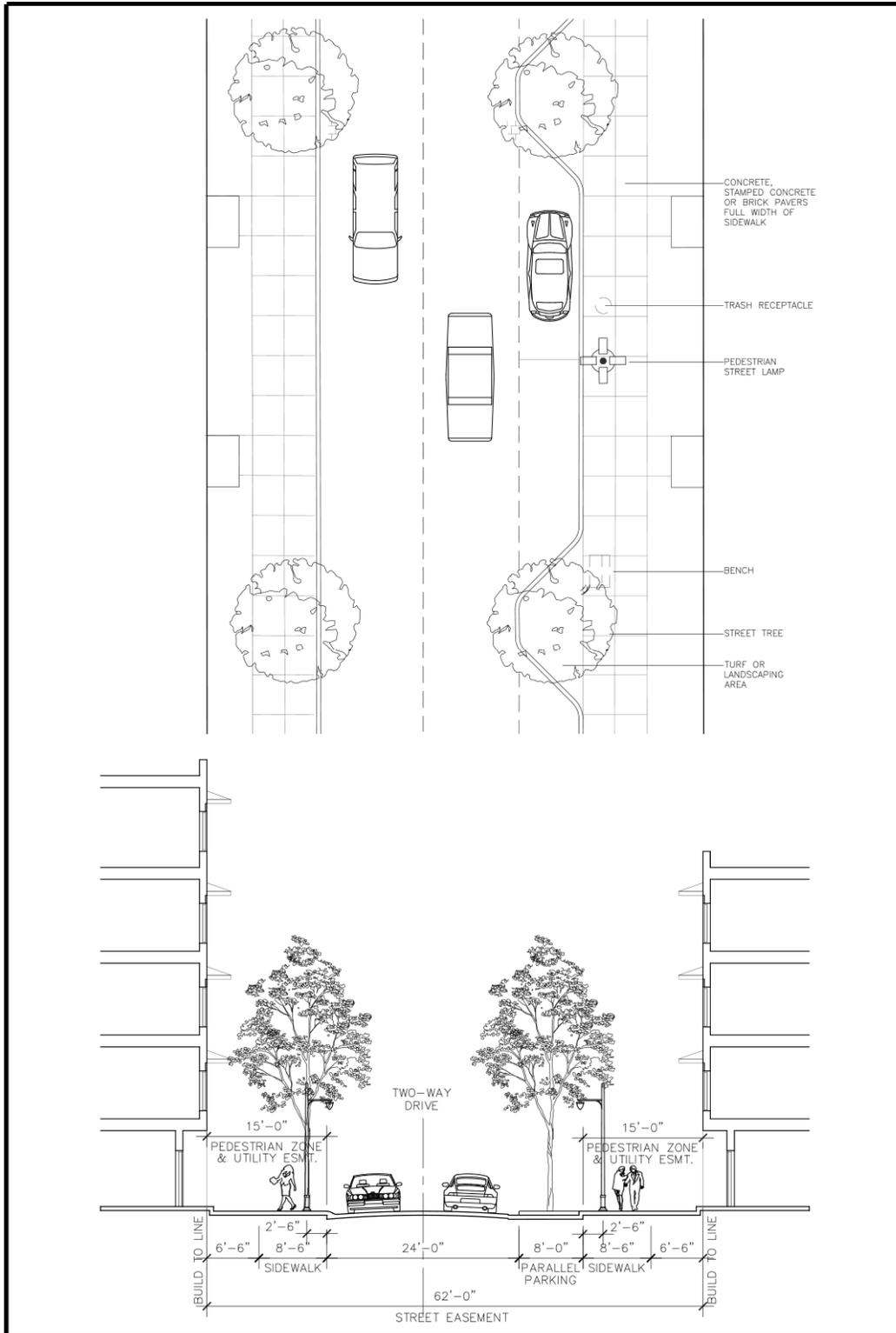
Mews Drive “2”

Street Type: B
Design Speed: 30 MPH
Parking: Parallel parking on one side only
Number of Vehicular Lanes: 2
Curb Radius: 20 ft.
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: Mews Drive "2"

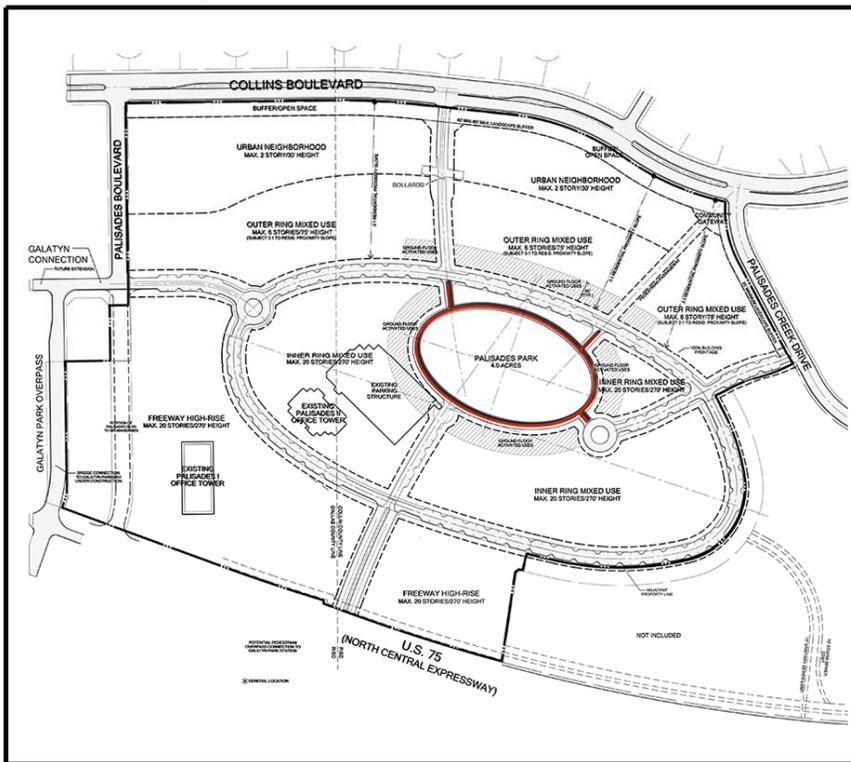


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9.11 Inner Ring Promenade

Location Map



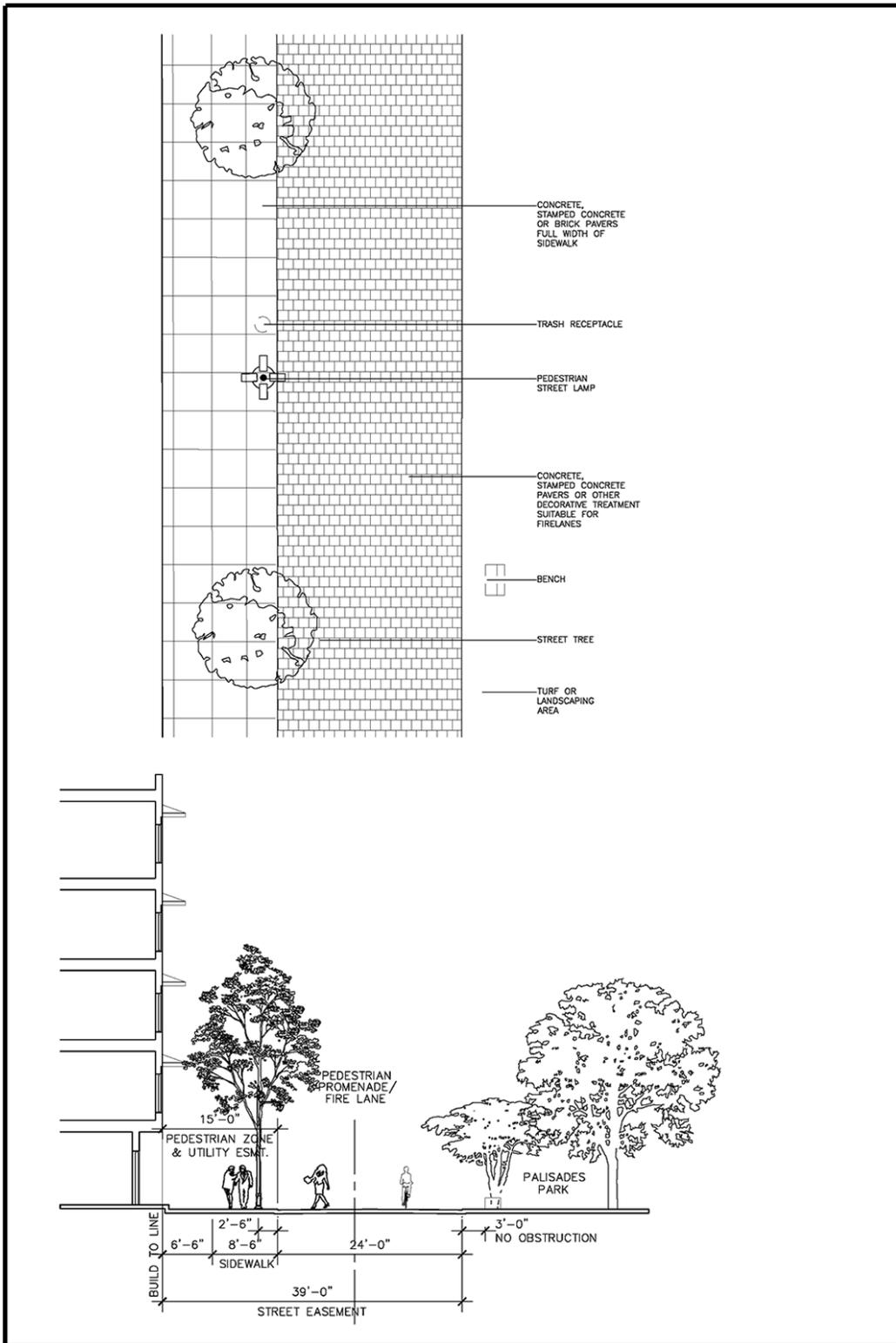
Inner Ring Promenade

Street Type: A
Design Speed: 30 MPH
Parking: N.A.
Number of Vehicular Lanes: N.A.
Curb Radius: 20 ft.
Walkway Type: Pedestrian/Fire Lane Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: Inner Ring Promenade



9.12 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets within the Palisades District. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all landscape within the street easements shall be by the property owners association established for the Palisades District.

9.13 Street Trees and Landscaping (within the pedestrian easement):

9.13.1 Street trees shall be required on all Palisades District streets (except on alleys).

9.13.2 Street trees shall be planted approximately 3 feet behind the curb line when located in a bulb-out. The tree shall be centered within the bulb-out.

9.13.3 Spacing shall be an average of 50 feet on center (measured per block face) along all streets unless otherwise specified in the cross sections.

9.13.4 The minimum caliper size for each tree shall be 3 in. and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 36 sq. feet; however, the tree well area may be no smaller than 5 feet by 5 feet.

9.13.5 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof. Turf grass must be installed as solid sod and not seeded on.

9.13.6 Species shall be selected from the Palisades District Planting List in Appendix B of this ordinance.

9.13.7 Maintenance of all landscape materials shall meet the requirements of the City of Richardson Landscape Ordinance Requirements.

9.13.8 Along arterials and the highway access road, street trees shall be planted within the required landscape buffer as per the City of Richardson Landscape Ordinance/Policies.

9.14 Street Furniture, Lighting, and Materials:

9.14.1 Pedestrian scale lighting shall be required along all Palisades District streets. They shall be no taller than 20 feet.

9.14.2 Exterior lighting shall minimize the lighting of architectural and landscape features. Where lighting is required for safety, security, egress or identifications, utilize down-lighting technologies rather than up-lighting.

9.14.3 Pedestrian-scale regular street lights shall be placed at uniform locations based on the placement of street trees and other street furniture to provide safety for both pedestrians and automobiles while limiting spill-over and light pollution effects of such street lights. The placement and illumination intensity shall be subject to City approval at the time of the Development Plan.

9.14.4 The light standard selected shall be compatible with the design of the street and buildings.

9.14.5 Trash receptacles and bike racks shall be required along all Type 'B' Streets. A minimum of one each per block face shall be required. Each bike rack must accommodate at least six (6) bikes.

9.14.6 Street furniture and pedestrian amenities such as benches are required along all Type "A" and "B" Streets.

9.14.7 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.

9.14.8 Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

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Section 10. Signage

Except as specifically listed below, all other signage and sign standards must comply with Chapter 18 of the City of Richardson Code of Ordinances, as amended.

10.1 For new signs, the standards in Table 10.1 shall apply and sign permits shall be approved administratively by the City of Richardson Building Official unless specifically noted in this section.

Table 10.1

Sub-District	Inner Ring Mixed Use	Outer Ring Mixed Use	Freeway High Rise	Urban Neighborhood	Standard
Address signs	P	P	P	P	Same as City of Richardson Sign Regulations
Banners	P	P	P	NP	Same as City of Richardson Sign Regulations
Building Blade Signs	P	P	P	NP	<ul style="list-style-type: none"> One per building face (commercial and mixed use buildings only) Area = 30 sq. feet maximum per sign face. May encroach a maximum of 6 feet over a sidewalk, but shall not encroach over any parking or travel lane. Building blade signs may be attached to the building at the corners of building or along any street facing façade above the first floor facade. Min. height clearance = 8 feet.
Directory signs	P	P	P	NP	<ul style="list-style-type: none"> Shall be allowed for all multi-tenant commercial and mixed use buildings only One directory sign per multi-tenant building limited to 12 sq. feet in area Design of the sign shall be integral to the façade on which the sign is to be affixed.
For sale/for lease signs	P	P	P	P	<ul style="list-style-type: none"> Size is limited to 32 sq. feet per sign face All other standards are the same as City or Richardson Sign Regulations.
LED signs	P	P	P	NP	<ul style="list-style-type: none"> Shall be covered by a lens or diffuser. Shall only be permitted as part of a Master Sign Plan. Shall be subject to the conditions of Ch. 18 of the ordinances except as otherwise noted.
Light Pole Banners	P	P	P	NP	<ul style="list-style-type: none"> Permitted only with approval of the Building Official. Max. 10 sq. feet per sign face. Limited to one per light pole All light pole banners shall be approved by the appropriate utility company prior to consideration by the Building Official. Light pole banners shall be limited to publicize community-wide events, holiday celebrations, public art, and

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Sub-District	Inner Ring	Outer Ring	Freeway High	Urban Neighborhood	Standard
					<ul style="list-style-type: none"> other city sponsored events.
Marquee Signs	P	P	P	NP	<ul style="list-style-type: none"> Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more Marquee signs shall be attached to the building or located above or below a canopy only Area = 100 sq.foot maximum Message board may be changeable copy (electronic and non-electronic). Electronic message boards shall be non-flashing. Marquee signs shall not be permitted along Palisades Blvd., Collins Blvd., Palisades Creek Drive and U.S. 75 access road.
Monument Signs	P	NP	P	NP	<ul style="list-style-type: none"> One monument sign per lot per lot street frontage (no more than 2 per lot separated by at least 100 feet) limited to a maximum of 50 sq. feet per sign face and 6 feet in height. Permitted only along U.S 75 access road, Ring Road and streets along Freeway High Rise.
Off-premises signs	NP	NP	NP	NP	
Pole signs	NP	NP	NP	NP	
Sandwich board signs	P	P	P	NP	<ul style="list-style-type: none"> Permitted only for retail, service, or restaurant uses Limited to 12 sq. feet per sign face per storefront; Sign may not exceed 4 feet in height. A minimum of 6 feet of sidewalk shall remain clear. Chalkboards may be used for daily changing of messages. Readerboards (electronic and non-electronic) shall be prohibited. Sign shall be removed every day after the business is closed.
Sub-division Entry Sign	NP	NP	NP	P	<ul style="list-style-type: none"> Permitted at Collins Entry Max. heights 4 feet
Temporary construction signs	P	P	P	P	One (1) free standing sign per lot during construction only; limited to 32 sq. feet
Tenant Blade Signs	P	P	P	NP	<ul style="list-style-type: none"> One per commercial tenant space (retail, office, or restaurant use) Area = 16 sq.foot maximum per sign face May encroach a maximum of 4 feet over a sidewalk, but shall not encroach over any parking or travel lane. Tenant blade signs shall be oriented perpendicular to the building façade and hung under the soffit of an arcade or under a canopy/awning or attached to the building façade immediately over the ground floor tenant space while maintaining a vertical clearance of 8 feet from the finished sidewalk.

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Sub-District	Inner Ring	Outer Ring	Freeway High	Urban Neighborhood	Standard
					<ul style="list-style-type: none"> Min. height clearance = 8 feet.
Wall (Building) Signs	P	P	P	NP	<ul style="list-style-type: none"> For all ground floor commercial uses (retail, office, and restaurant): One sign per tenant space; area to be calculated at 1.5 sq. feet per linear foot of street frontage for the tenant space with a maximum of 100 sq. ft per tenant. Second and upper floor commercial uses may also be permitted one second floor wall sign per tenant space per street frontage; area to be calculated at 1.5 sq. feet per linear foot of second or upper floor frontage along that street with a maximum of 125 sq.feet Institutional uses (non-profits and churches): One sign per tenant space; area to be calculated at 1.5 sq. feet per linear foot of street frontage with a maximum of 100 sq. feet Live-Work and Home occupations: One sign limited to an area of 20 sq. feet max. Building sign may encroach a maximum of 12” on to a sidewalk while maintaining a vertical clearance of 8 feet from the finished sidewalk. Building signs may be internally or externally lit. Marquee signs as only permitted as specified below.
Window Signs	P	P	P	NP	<ul style="list-style-type: none"> Limited to 10% of the window area. The following shall be exempt from this limitation: <ul style="list-style-type: none"> Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs. Mannequins and storefront displays of merchandise sold. Interior directory signage identifying shopping aisles and merchandise display areas.

10.2 An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City of Richardson City Manager or Designee and are subject to approval of the City Plan Commission. In evaluating a Master Sign Plan, the City Plan Commission shall consider the extent to which the application meets the proposed Sign Plan with the following goals:

- 10.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
- 10.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;
- 10.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and
- 10.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

Section 11. Civic/Open Space Standards

11.1 The design of Civic/Open Space shall be regulated by the Civic/Open Space standards herein which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from large regional parks to neighborhood-scaled plazas. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike.

11.2 Open Space Standards – Palisades Park



The required open space, Palisades Park, as designated on the Regulating Plan, will create an important public space that connects the community within the Palisades District and allows for active and passive recreation. Palisades Park shall primarily be naturally landscaped with many places to sit on benches or low walls. Appropriate civic elements, café tables, water features, arbors, amphitheater space or open shelters may be included.

Typical Characteristics

General Character

Large, open space

Spatially defined by landscaping and building frontages

Paths, trails, open shelters, lawns, trees and shrubs naturally disposed

Location and Size

Location and size shall be as shown on the Regulating Plan (Appendix A).

Typical Uses

Passive, and unstructured active recreation

Casual seating/picnicking

11.3 Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets.

Typical Characteristics

General Character

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

Typical Uses

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining

11.4 Pedestrian Passage Standards



Pedestrian passages create intimate passageways through buildings at designated locations. These paths provide direct pedestrian access to residential addresses and create unique spaces for frontages to engage and enter off of. Pedestrian passages allow for social and commercial activity to spill into the public realm. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants.

Typical Characteristics

General Character

- Hardscape pathway
- Frequent entries and frontages
- Exterior stairways
- Defined by building frontages
- Minimal planting and potted plants
- Maintain the character of surrounding buildings

Standards

Min. Pavement 12 feet
 Width

Typical Uses

- Pedestrian connection and access
- Casual seating

11.5 Multi-Use Trail Standards



The multi-use trail provides an important place for active recreation and creates a connection to regional paths and biking trails. The multi-use trail will help activate connections between uses throughout the Palisades District with other trails that branch off to adjacent neighborhoods. The multi-use trail may have different character as it passes along the outer streets and connects internally with streets.

Typical Characteristics

General Character

Public Multi-Use Trail:

Hardscape Path

Formally disposed pedestrian furniture, landscaping and lighting

Trees lining trail for shade

Appropriately lit for safety

Standards

Min. Pavement 12 feet
Width

Location shown on the Regulating Plan (Appendix A).

Typical Uses

Active and passive recreation

Casual seating

11.6 Project Path Standards



The Project Path provides an important place for active recreation and creates a connection to regional paths and biking trails. It will help activate connections between the open spaces and the uses throughout the Palisades District. It may have different character as it passes along the outer streets and connects internally with streets.

The Project Path is intended as a system of pedestrian access along the perimeters and through the heart of the Palisades District. It will connect various segments of the Palisades District with both the District’s perimeters as well as the centrally located Palisades Park. It will also tie with the more regionally focused multi-use trail.

For the buffer zone along Collins Boulevard the Project Path will meander along the road, providing a five foot minimum park strip between the path and the road. No path amenities will be provided along this stretch. Landscape shall be in conformance with the City of Richardson Comprehensive Zoning Ordinance and Landscape Ordinance.

Typical Characteristics

General Character

Hardscape Path

Formally disposed pedestrian furniture, landscaping and lighting

Trees lining trail for shade

Appropriately lit for safety

Standards

Min. Pavement Width 8 feet

Location shown on the Regulating Plan (Appendix A).

Typical Uses

Active and passive recreation
 Casual seating

11.7 Playgrounds



Playgrounds shall be permitted in parks to provide open space designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places – protected from the street and typically located where children are not required to cross major roads to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided.

A large playground may be incorporated into the park.

Playground equipment shall serve all ages, based on City of Richardson Parks and Recreation Standards, as amended. Playground equipment and design shall be reviewed and approved by the City of Richardson, including the Parks and Recreation Department.

Typical Characteristics

General Character

- Focused toward children
- Fenced with minimal exits (non-mandatory)
- Open shelter
- Shade and seating provided
- Play structure, interactive art or fountains

Standards

- | | |
|-----------|-----|
| Min. Size | N/A |
| Max. Size | N/A |
- As described by civic space type in which playground is located
 - Protected from traffic
 - No service or mechanical equipment

Typical Uses

- Active and passive recreation
- Unstructured recreation
- Casual seating

11.8 Ancillary Structures



Ancillary structures should be formal in character and generally are related to but clearly subordinate to surrounding buildings. Each individual structure should keep in character with the style of nearby buildings. Typically, these structures are located at prominent locations within an appropriate civic space. Ancillary structures located in more urban zones may have minor commercial uses, such as small food or news vendors, but may also serve as civic elements for general public use with more passive activities. Other ancillary structures located within the Urban Neighborhood Sub-District should be more modest in use and character, ranging from a simple neighborhood kiosk or mail pavilion, excluding any commercial use. When located within civic open spaces such as Palisades Park, the maximum percentage of space they occupy shall be no greater than 5% of the open space coverage. No single structure shall be greater than 1,500 SF in size.

Typical Characteristics

General Character

- Formal character
- Relating to style of surrounding buildings
- One or more open sides
- Covered or providing shade
- Small, stand alone structure
- Located within Park, Green, Square or Plaza

Standards

Min. Size	N/A
Max. Size	N/A

Typical Uses

- Civic purposes
- Minor commercial uses
- Casual seating/picnicking

11.9 Landscape Buffer – Collins Boulevard Buffer



The Collins Boulevard landscape buffer is intended as a green buffer strip that separates the single family neighborhood to the west from the development to the east. The buffer strip will accommodate the natural topography of the land, which steeply slopes in some places. The 8 foot meandering Project Path runs through the length of the buffer and should align as much as possible with the flattest portions of the buffer’s width to prevent the Path from requiring retaining walls.

Using the landscape requirements per the City of Richardson Landscape Ordinance for Non-Residential Properties along US 75 and PGBH Design Guidelines as a guide, two canopy trees and one ornamental tree must be provided along the buffer for each 50 lineal feet of street frontage. These trees may be selected from the Palisades Code Planting List (Appendix B). Trees are not required to be placed on 50 foot centers; this is merely a quantity guideline. Trees may be planted in “natural” groupings to provide informal clusters of shade. All canopy trees must be planted within 10 feet of the meandering Project Path.

Along the east edge of the buffer (the west property line of the Urban Neighborhood lots) shall be a 3 foot high masonry wall topped with a 4 foot high painted metal fence. Along the wall on the buffer’s side a landscape hedge row of shrubs shall be added, using plantings selected from the Palisades Code Planting List (Appendix B). Selected shrubs must be at least 3 feet in height at full maturity. A consistent, yet random location of planting is preferred, but no plantings shall be further than 15 feet from the buffer’s east edge.

Typical Characteristics

General Character

Landscape Buffer
 Project Path included

Located along Collins Blvd.

Standards

Buffer Width 40’ – 80’

Typical Uses

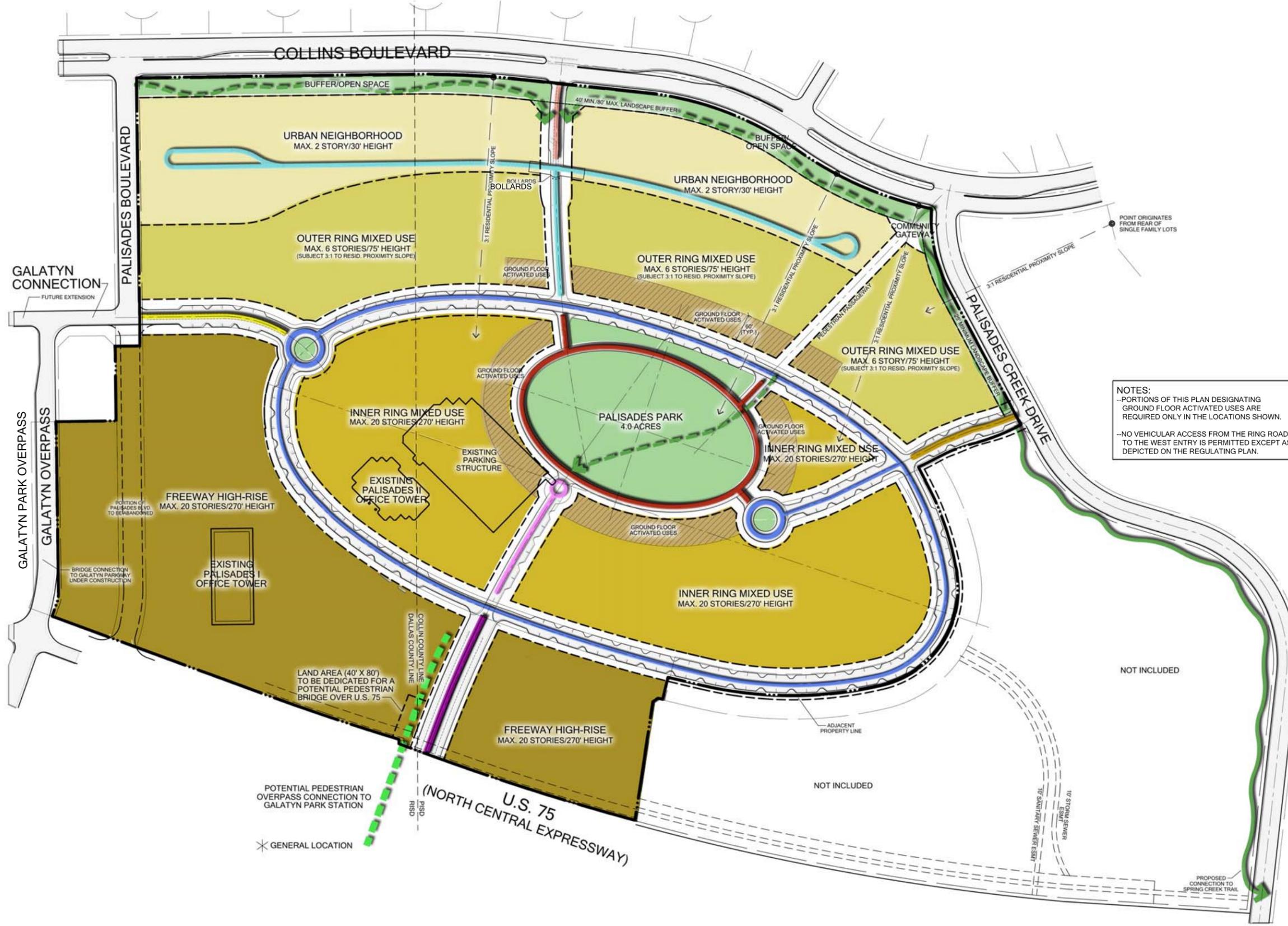
Active Recreation

**PALISADES
Planned Development Code**

January 27, 2014

Please see following page attached.

APPENDIX A



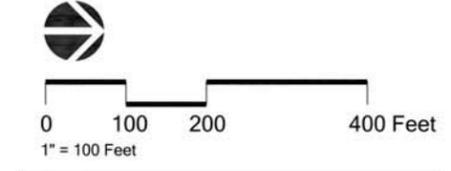
NOTES:
 --PORTIONS OF THIS PLAN DESIGNATING GROUND FLOOR ACTIVATED USES ARE REQUIRED ONLY IN THE LOCATIONS SHOWN.
 --NO VEHICULAR ACCESS FROM THE RING ROAD TO THE WEST ENTRY IS PERMITTED EXCEPT AS DEPICTED ON THE REGULATING PLAN.



Project Data:
 Multi-Family: 600 units max. Retail: 200,000 sf max.
 Single Family: 80 units max. Hotel: 300 Room max.
 Office: 1.5 million sf max. + existing

NOTE:
 FOR THE OUTER RING MIXED USE, INNER RING MIXED USE AND FREEWAY HIGH-RISE SUB-DISTRICT THE ROOFLINES MUST RESIDE BELOW THE 3:1 PROXIMITY SLOPE AS DEPICTED

ALL STREET TYPES DEPICTED ARE PRIVATE STREETS



gff GFF Planning

2808 Fairmount Street
 Suite 300
 Dallas, Texas 75201

214.303.1500/Tel
 214.303.1512/Fax
 www.gff.com

Owner:
 JP Realty Partners, Ltd.
 Contact: Mark Jordan
 14801 Quorum Drive, Suite 200
 Dallas, Texas 75254
 972.458.7600
 mjordan@jppartners.net

Job #: 11233.00
 File Name: Site-Regulating Plan-9.dwg
 Date: 01/27/14
 Drawn by: R. Lawrence Good /
 Brian E. Moore

REGULATING PLAN
PALISADES
PLANNED DEVELOPMENT

Address
 Richardson, Texas
 59.40 Acres

Exhibit A

PALISADES
Planned Development Code

January 27, 2014

Appendix B

Planting List

The following lists contain all species approved for use in the Palisades District. It contains native and acceptable adapted species. Other species that are drought tolerant and adaptive may be used for planting within the Palisades District. The use of alternative species may be permitted with the approval of the City Manager or designee.

CANOPY/STREET TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Live Oak	<i>Quercus virginiana</i>
Red Oak	<i>Quercus shumardi</i>
Bald Cypress	<i>Taxodium distichum</i>
Cedar Elm	<i>Ulmus crassifolia</i>
Lacebark Elm	<i>Ulmus parvifolia</i>
Bigtooth Maple	<i>Acer grandidentatum</i>
Caddo Maple	<i>Acer saccharum 'Caddo'</i>
Texas Ash	<i>Fraxinus texensis</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinquapin Oak	<i>Quercus muhlenbergii</i>
Escarpment Live Oak	<i>Quercus fusiformis</i>
Ginkgo	<i>Ginkgo biloba</i>
Chinese Pistache	<i>Pistacia chinensis</i>

ORNAMENTAL TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Yaupon Holly	<i>Ilex vomatoria</i>
Crape Myrtle	<i>Lagerstromia indica</i>
Deciduous Yaupon	<i>Ilex decidua</i>
Mexican Plum	<i>Prunus Mexicana</i>
Wax Myrtle	<i>Myrica carifera</i>
Chitalpa	<i>Chitalpa tashkentensis</i>
Desert Willow	<i>Chilopsis linearis</i>
Eve's Necklace	<i>Sophora affinis</i>
Vitex	<i>Vitex angus-castus</i>
Redbud	<i>Cercis canadensis</i>
Saucer Magnolia	<i>Magnolia soulangiana</i>

SHRUBS LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Nandina	<i>Nandina domestica 'nana'</i>
Dwarf Burford Holly	<i>Ilex cornuta 'burfordi nana'</i>
Abelia Grandiflora	<i>Abelia grandiflora</i>
Barberry	<i>Barberry spp.</i>
Yucca (Red, Yellow or Soft Tip)	<i>Hesperaloe parviflora</i>
Texas Sage	<i>Leucophyllum frutescans</i>



Planned Development Code

Indian Hawthorn	<i>Raphiolepis indica</i>
Dwarf Crape Myrtle	<i>Lagerstromia indica 'nana'</i>
Dwarf Yaupon Holly	<i>Ilex vomitoria 'nana'</i>
Black-Eyed Susan	<i>Rudbeckia hirta</i>
Dwarf Wax Myrtle	<i>Myrica pusilla</i>
Needlepoint Holly	<i>Ilex cornuta 'Needle Point'</i>
Knockout Rose	<i>Rosa 'Knock Out'</i>
Rosemary	<i>Rosmarinus officinalis</i>

GROUND COVER/VINES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Asian Jasmine	<i>Trachelosperum Asiaticum</i>
Liriope "Big Blue"	<i>Liriope "big blue"</i>
Mondograss	<i>Ophiopogon japonicus</i>
Purple Wintercreeper	<i>Euonymum coloratus</i>
Santolina	<i>Santolina virens</i>
Trumpet Vine	<i>Campsis radicans</i>
Virginia Creeper	<i>Parthenocissus quinifolia</i>
Lady Banks Rose	<i>Rosa banksiaw lutea</i>
Confederate Jasmine	<i>Trachelospermum jasminoides</i>
Crossvine	<i>Bignonia capreolata</i>
Evergreen Wisteria	<i>Millettia reticulata</i>
Lantana 'New Gold'	<i>Lantana camara 'New Gold'</i>
Liriope 'Silver Dragon'	<i>Liriope muscari 'Silver Dragon'</i>
Prostrate Rosemary	<i>Rosmarinus officinalis prostrata</i>
Sweet Autumn Clematis	<i>Clematis terniflora</i>

ORNAMENTAL GRASSES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Fountain Grass 'Little Bunny'	<i>Pennisetum alopecuroides 'Little Bunny'</i>
Dwarf Maiden Grass	<i>Miscanthus sinensis 'Adagio'</i>
Fountain Grass	<i>Pennisetum alopecuroides</i>
Inland Seoats	<i>Chasmanthium latifolium</i>
Maiden Grass	<i>Miscanthus sinensis 'Gracillimus'</i>
Mexican Feather Grass	<i>Stipa tenuissima</i>
Muhly Grass	<i>Muhlenbergia capillaris</i>
Weeping Lovegrass	<i>Eragrostis curvula</i>

TURF

<u>Common Name</u>	<u>Botanical Name</u>
Bermuda	<i>Cynodon dactylon</i>
St. Augustine	<i>Stenotaphrum secundatum</i>
Zoysia	<i>Zoysia tenuifolia</i>

PALISADES
Planned Development Code

January 27, 2014

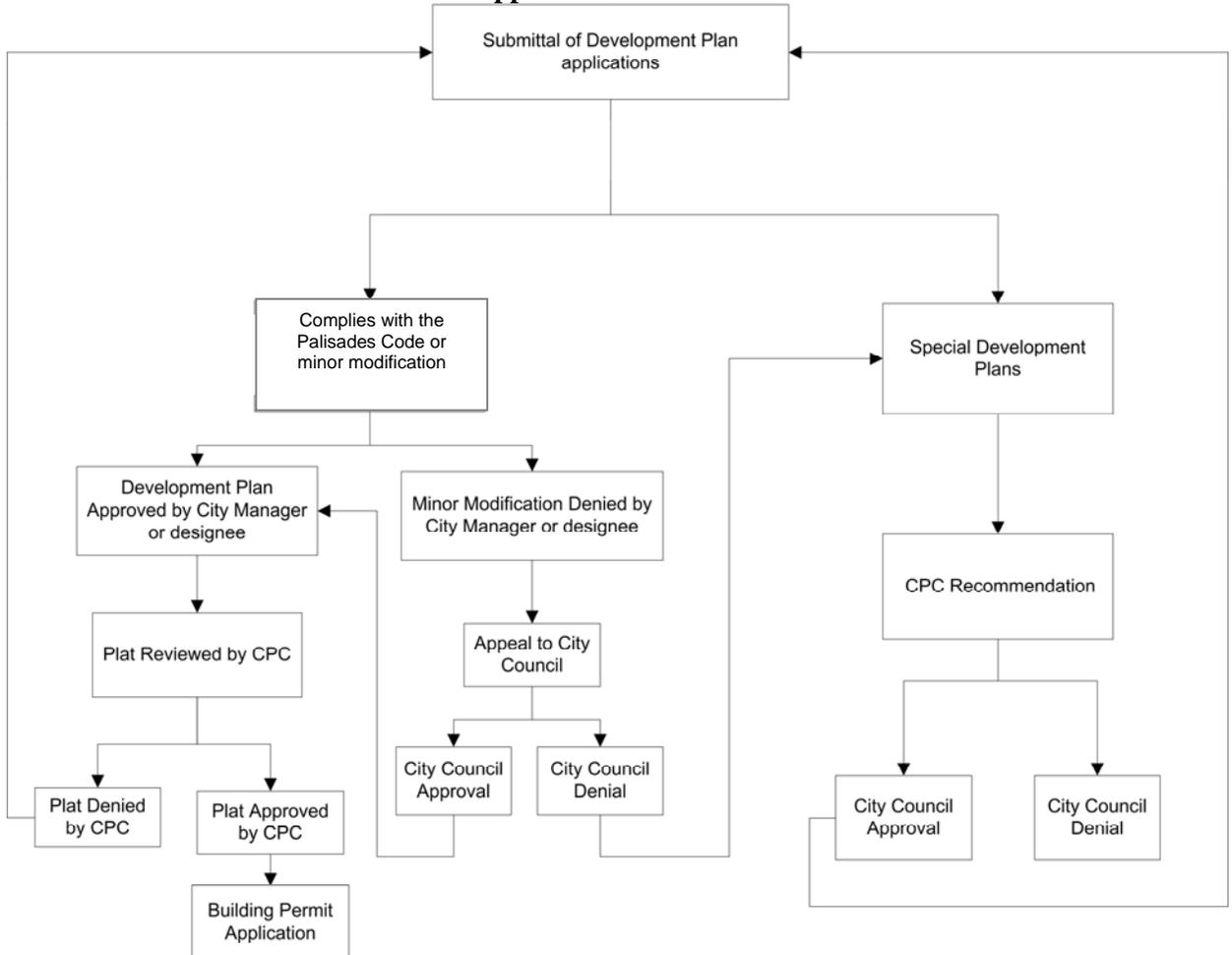
These plantings may be placed in Civic/Open Spaces or used to meet the private landscaping requirements of the Code. The applicant shall select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.



PALISADES Planned Development Code

January 27, 2014

Appendix C



CPC: City Plan Commission
 CC: City Council
 SDP: Special Development Plan

Note: Development Plans include site plans, building elevations, landscape plans, civil engineering plans, and all plats



MEMO

DATE: January 21, 2014

TO: Kent Pfeil – Director of Finance

FROM: Pam Kirkland – Purchasing Manager

SUBJECT: Award of Bid #06-14 for the 2010 Sidewalk Replacement Project Region 10 to 3D Paving and Contracting, LLC in the amount of \$971,287.70

Proposed Date of Award: January 27, 2014

I concur with the recommendation of Steve Spanos – Director of Engineering, and request permission to award a contract to the low bidder, 3D Paving and Contracting, LLC, for the above referenced construction in the amount of \$971,287.70, as outlined in the attached memo.

Funding is provided from the Neighborhood Vitality GO Bonds.

The bid was advertised in *The Dallas Morning News* on October 30, 2013 and November 6, 2013 and was posted on Bidsync.com. A prebid conference was held on November 7, 2013 and 10 bids were solicited and 7 bids were received.

Concur:

Kent Pfeil

Attachments

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Dan Johnson, City Manager

THROUGH: Cliff Miller, Assistant City Manager *CFM*

FROM: Steve Spanos, P.E., Director of Engineering *SS*

SUBJECT: Award of Bid No. 06-14 for the 2010 Sidewalk Replacement Project Region 10
3D Paving and Contracting, LLC

DATE: January 17, 2014

ACTION REQUESTED:

Council to consider award of Bid No. 06-14 for the 2010 Sidewalk Replacement Project Region 10 to 3D Paving and Contracting, LLC in the amount of \$971,287.70.

BACKGROUND INFORMATION:

On November 20, 2013 the Capital Projects Department opened bids for the subject project. The attached bid tabulation certifies the lowest base bid was submitted by 3D Paving and Contracting, LLC., in the amount of \$971,287.70.

Staff has reviewed 3D Paving's company financials, bonding, insurance and references, and found them to be acceptable, therefore we recommend awarding the 2010 Sidewalk Replacement Project to 3D Paving and Contracting, LLC.

The 2010 Sidewalk Replacement Project Region 10 encompasses the area south of Spring Valley Road from Central Expressway east to the DART Rail Line and south of Centennial Boulevard from the DART Line east to the KCS Railroad and to the city limits in the south direction. Construction will include removal and replacement of existing residential 4 foot sidewalk and driveway approach pavement. Sidewalk repairs will vary in size at any particular location. The work will also include the construction of barrier free ramps, alley approach repairs at the sidewalk, concrete curb, sod, water meter and manhole lid adjustments, and sidewalk grinding.

FUNDING:

Funding is provided from the Neighborhood Vitality GO Bonds.

SCHEDULE:

Construction is expected to begin March 2014 and be completed by August 2014.

Cc: Edward Witkowski Jr., P.E., Project Engineer

2010 SIDEWALK REPLACEMENT PROJECT REGION 10

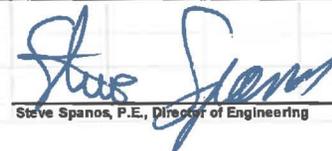
Bid# 06-14

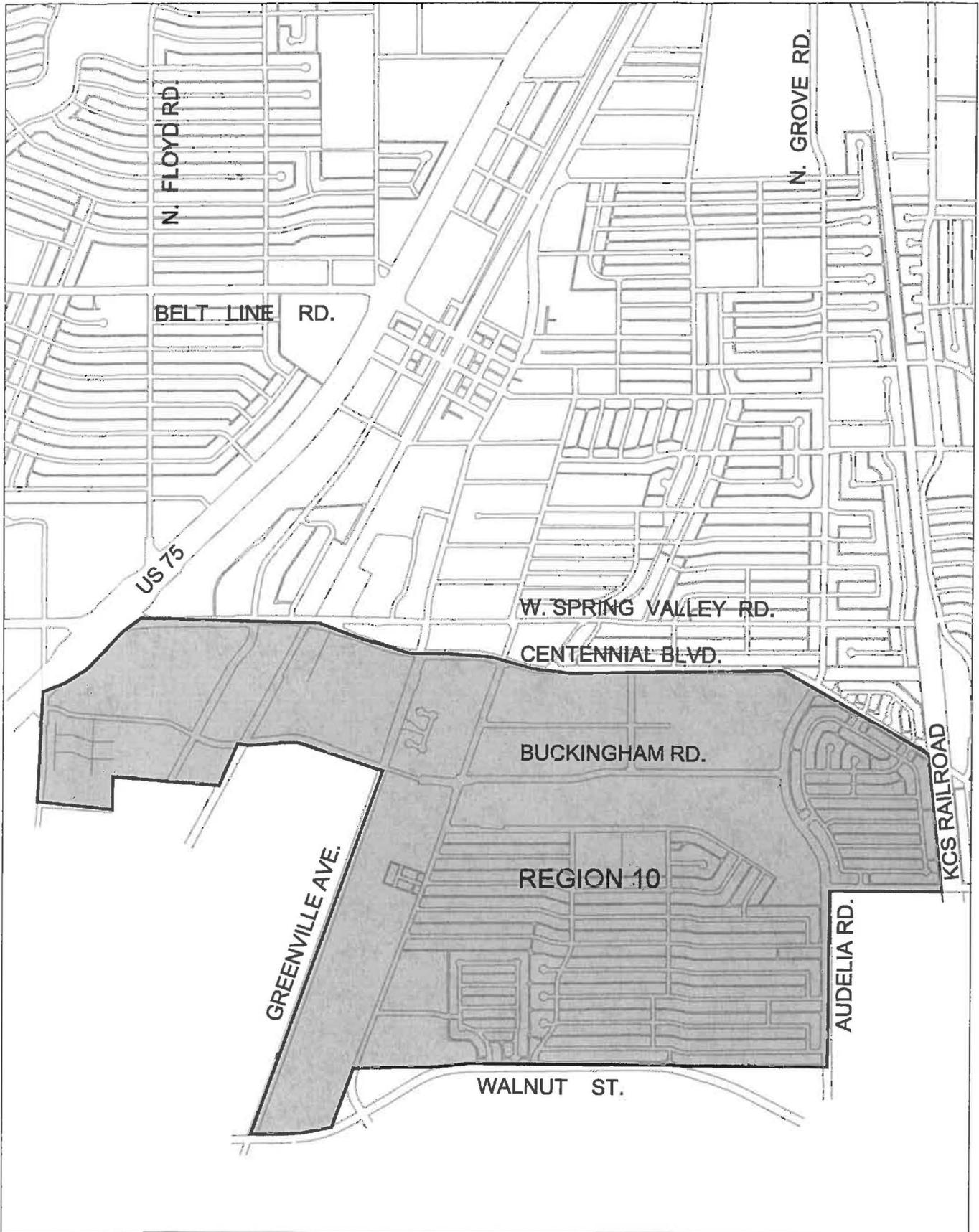
Bid Opening November 20, 2013

ITEM	DESCRIPTION	QTY.	UNIT	3D Paving and Contracting LLC		Estrada Concrete, LLC		Camino Construction, LP		Admiral Construction Company		Quality Excavation		Tracon Ventures, LTD		2L Construction, LLC		AVERAGES	
				UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
1	Remove & Replace - 4" Class "A" Reinforced Concrete Sidewalk	159,882	SF	\$4.85	\$775,427.70	\$4.80	\$767,433.60	\$5.63	\$900,135.66	\$4.80	\$767,433.60	\$5.40	\$863,362.80	\$5.75	\$919,321.50	\$5.50	\$879,351.00	\$5.25	\$838,923.69
2	Remove & Replace - 5" Class "A" Reinforced Concrete Driveway Pavement	4,000	SF	\$5.00	\$20,000.00	\$5.00	\$20,000.00	\$6.00	\$24,000.00	\$5.85	\$23,400.00	\$6.75	\$27,000.00	\$6.00	\$24,000.00	\$6.60	\$26,400.00	\$5.89	\$23,542.86
3	Remove & Replace - 6" Class "C" Reinforced Concrete Street Pavement	1,000	SF	\$6.00	\$6,000.00	\$6.00	\$6,000.00	\$6.00	\$6,000.00	\$6.75	\$6,750.00	\$7.25	\$7,250.00	\$6.00	\$6,000.00	\$6.80	\$8,800.00	\$6.69	\$6,685.71
4	Remove & Replace - 6" Class "C" Reinforced Concrete Alley Pavement	2,000	SF	\$6.00	\$12,000.00	\$6.00	\$12,000.00	\$7.00	\$14,000.00	\$6.75	\$13,500.00	\$7.20	\$14,400.00	\$6.00	\$12,000.00	\$6.75	\$17,500.00	\$6.81	\$13,628.57
5	Remove & Replace - 6" Class "C" Reinforced Concrete Curb and 18" Gutter	200	LF	\$30.00	\$6,000.00	\$20.00	\$4,000.00	\$35.00	\$7,000.00	\$28.00	\$5,600.00	\$54.00	\$10,800.00	\$12.00	\$2,400.00	\$35.00	\$7,000.00	\$30.57	\$6,114.29
6	Barrier Free Ramps - Rehab (Types A-D)	21	EA	\$800.00	\$16,800.00	\$1,000.00	\$21,000.00	\$1,400.00	\$29,400.00	\$5,282.00	\$110,922.00	\$1,400.00	\$29,400.00	\$1,500.00	\$31,500.00	\$1,600.00	\$33,600.00	\$1,854.67	\$38,946.00
7	Barrier Free Ramps - Rehab (Types E&F)	2	EA	\$400.00	\$800.00	\$1,000.00	\$2,000.00	\$1,000.00	\$2,000.00	\$1,194.00	\$2,388.00	\$1,000.00	\$2,000.00	\$1,200.00	\$2,400.00	\$1,200.00	\$2,400.00	\$999.14	\$1,998.29
8	Barrier Free Ramps - New (Types A-D)	3	EA	\$750.00	\$2,250.00	\$1,000.00	\$3,000.00	\$1,400.00	\$4,200.00	\$5,682.00	\$17,046.00	\$1,400.00	\$4,200.00	\$1,500.00	\$4,500.00	\$1,400.00	\$4,200.00	\$1,876.00	\$5,628.00
9	Barrier Free Ramps - New (Types E&F)	2	EA	\$550.00	\$1,100.00	\$1,000.00	\$2,000.00	\$1,000.00	\$2,000.00	\$1,294.00	\$2,588.00	\$1,000.00	\$2,000.00	\$1,200.00	\$2,400.00	\$950.00	\$1,900.00	\$999.14	\$1,998.29
10	Compacted Clean Fill	100	CY	\$15.00	\$1,500.00	\$20.00	\$2,000.00	\$25.00	\$2,500.00	\$7.15	\$715.00	\$82.00	\$8,200.00	\$70.00	\$7,000.00	\$65.00	\$6,500.00	\$40.59	\$4,059.29
11	4" Topsoil with Block Sod to Match Existing	10,400	SF	\$1.00	\$10,400.00	\$1.00	\$10,400.00	\$1.25	\$13,000.00	\$1.24	\$12,896.00	\$1.10	\$11,440.00	\$1.50	\$15,600.00	\$1.50	\$15,600.00	\$1.23	\$12,762.29
12	Utility / Meter Box Adjustment	30	EA	\$100.00	\$3,000.00	\$100.00	\$3,000.00	\$50.00	\$1,500.00	\$150.00	\$4,500.00	\$310.00	\$9,300.00	\$150.00	\$4,500.00	\$430.00	\$12,900.00	\$184.29	\$5,528.57
13	Water Meter Relocation including Meter Box	20	EA	\$200.00	\$4,000.00	\$750.00	\$15,000.00	\$625.00	\$12,500.00	\$580.00	\$11,600.00	\$650.00	\$13,000.00	\$1,500.00	\$30,000.00	\$920.00	\$18,400.00	\$746.43	\$14,928.57
14	Traffic Control For High Volume Streets	12	EA	\$250.00	\$3,000.00	\$200.00	\$2,400.00	\$200.00	\$2,400.00	\$100.00	\$1,200.00	\$900.00	\$10,800.00	\$1,500.00	\$18,000.00	\$2,800.00	\$33,600.00	\$850.00	\$10,200.00
15	Remove & Replace - Asphalt to Match Existing	500	SF	\$5.00	\$2,500.00	\$5.00	\$2,500.00	\$4.00	\$2,000.00	\$6.00	\$3,000.00	\$16.00	\$8,000.00	\$5.00	\$2,500.00	\$7.50	\$3,750.00	\$6.83	\$3,464.29
16	Remove & Replace - 4" Exposed Aggregate Class "A" Reinforced Concrete Sidewalk to Match Existing	400	SF	\$8.00	\$3,200.00	\$8.00	\$3,200.00	\$8.00	\$3,200.00	\$6.75	\$2,700.00	\$22.00	\$8,800.00	\$7.00	\$2,800.00	\$7.25	\$2,900.00	\$9.57	\$3,828.57
17	Sidewalk Grinding	90	EA	\$100.00	\$9,000.00	\$50.00	\$4,500.00	\$35.00	\$3,150.00	\$72.50	\$6,525.00	\$300.00	\$27,000.00	\$150.00	\$13,500.00	\$1,200.00	\$108,000.00	\$272.50	\$24,525.00
18	Irrigation Lowering / Relocation	24	EA	\$100.00	\$2,400.00	\$120.00	\$2,880.00	\$200.00	\$4,800.00	\$500.00	\$12,000.00	\$350.00	\$8,400.00	\$100.00	\$2,400.00	\$800.00	\$19,200.00	\$310.00	\$7,440.00
19	House Number Replacement	90	EA	\$15.00	\$1,350.00	\$30.00	\$2,700.00	\$25.00	\$2,250.00	\$10.00	\$900.00	\$30.00	\$2,700.00	\$100.00	\$9,000.00	\$55.00	\$4,950.00	\$37.86	\$3,407.14
20	New 4" Class "A" Reinforced Concrete Sidewalk - Including Clearing, Excavation & Haul Off	1,000	SF	\$5.00	\$5,000.00	\$5.00	\$5,000.00	\$5.50	\$5,500.00	\$6.00	\$6,000.00	\$5.00	\$5,000.00	\$5.00	\$5,000.00	\$4.75	\$4,750.00	\$5.18	\$5,178.57
21	Sidewalk Curb as Directed by the City	300	LF	\$5.00	\$1,500.00	\$6.00	\$1,800.00	\$10.00	\$3,000.00	\$5.00	\$1,500.00	\$5.50	\$1,650.00	\$12.00	\$3,600.00	\$7.25	\$2,175.00	\$7.25	\$2,175.00
22	Remove & Replace - 4" Class "A" Reinforced Concrete Driveway Pavement Outside of Contract Region	1,600	SF	\$4.85	\$7,760.00	\$4.80	\$7,680.00	\$5.63	\$9,008.00	\$5.00	\$8,000.00	\$6.00	\$9,600.00	\$7.00	\$11,200.00	\$8.00	\$12,800.00	\$5.90	\$9,435.43
23	Barrier Free Ramp Outside of Contract Region as Directed by City	16	EA	\$750.00	\$12,000.00	\$1,000.00	\$16,000.00	\$1,400.00	\$22,400.00	\$6,550.00	\$104,800.00	\$1,500.00	\$24,000.00	\$1,500.00	\$24,000.00	\$1,600.00	\$25,600.00	\$2,042.86	\$32,685.71
24	Remove & Replace - 5" Class "A" Reinforced Concrete Driveway Pavement Outside of Contract Region	600	SF	\$5.00	\$3,000.00	\$5.00	\$3,000.00	\$6.00	\$3,600.00	\$5.50	\$3,300.00	\$8.00	\$4,800.00	\$6.00	\$3,600.00	\$6.60	\$3,960.00	\$6.01	\$3,608.57
25	Remove & Replace - 6" Class "C" Reinforced Concrete Alley Pavement Outside of Contract Region	900	SF	\$6.00	\$5,400.00	\$6.00	\$5,400.00	\$7.00	\$6,300.00	\$6.00	\$5,400.00	\$8.00	\$7,200.00	\$7.00	\$6,300.00	\$8.75	\$7,875.00	\$6.96	\$6,267.86
26	Remove & Replace - 6" Class "C" Reinforced Concrete Street Pavement Outside of Contract Region	500	SF	\$6.00	\$3,000.00	\$6.00	\$3,000.00	\$6.00	\$3,000.00	\$6.00	\$3,000.00	\$6.00	\$4,000.00	\$7.00	\$3,500.00	\$6.80	\$4,400.00	\$6.83	\$3,414.29
27	4" Topsoil with Block Sod to Match Existing Outside of Contract Region	1,000	SF	\$1.00	\$1,000.00	\$2.00	\$2,000.00	\$1.25	\$1,250.00	\$1.25	\$1,250.00	\$3.00	\$3,000.00	\$1.50	\$1,500.00	\$1.50	\$1,500.00	\$1.64	\$1,642.86
28	Adjust Manhole Lids to Grade	20	EA	\$450.00	\$9,000.00	\$200.00	\$4,000.00	\$500.00	\$10,000.00	\$170.00	\$3,400.00	\$700.00	\$14,000.00	\$400.00	\$8,000.00	\$375.00	\$7,500.00	\$399.29	\$7,985.71
29	6' X 4' Project Signs	6	EA	\$400.00	\$2,400.00	\$600.00	\$3,600.00	\$500.00	\$3,000.00	\$225.00	\$1,350.00	\$550.00	\$3,300.00	\$2,000.00	\$12,000.00	\$950.00	\$5,700.00	\$746.43	\$4,478.57
30	Small Construction Site - Storm Water Pollution Prevention Plan, Implementation, and Erosion	1	LS	\$2,500.00	\$2,500.00	\$2,000.00	\$2,000.00	\$2,974.00	\$2,974.00	\$500.00	\$500.00	\$5,300.00	\$5,300.00	\$10,000.00	\$10,000.00	\$7,000.00	\$7,000.00	\$4,339.14	\$4,339.14
31	Construction Contingency	1	LS	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00	\$38,000.00
TOTAL AMOUNT BID					\$971,267.70		\$977,493.60		\$1,144,067.66		\$1,182,263.60		\$1,187,902.80		\$1,236,521.50		\$1,328,211.00		\$1,148,821.12
CONTRACTORS BID				SAME	SAME	SAME	SAME	SAME	\$1,182,263.30	SAME	SAME	SAME	SAME	SAME	SAME	SAME	SAME	SAME	SAME

Engineer's Estimate: \$788,000.00

Certified By:


Steve Spanos, P.E., Director of Engineering



SIDEWALK REPLACEMENT PROJECT

REGION 10

FEBRUARY 2014

BID # 06-14

1" = 1500'



**CITY OF
RICHARDSON
TEXAS**





MEMO

DATE: January 21, 2014

TO: Kent Pfeil – Director of Finance

FROM: Pam Kirkland – Purchasing Manager 

SUBJECT: Award of Bid #13-14 for the Stages, Lighting, Sound, Backline, Miscellaneous Structures & Stage Personnel for City Festivals to Dallas Backup, Inc. dba Onstage Systems in an estimated amount of \$174,897

Proposed Date of Award: January 27, 2014

I concur with the recommendation of Geoff Fairchild – Special Events Manager, and request permission to issue a purchase order for the above referenced stages and production services to Dallas Backup, Inc. dba Onstage Systems in an estimated amount of \$174,897.

This bid included stages, sound, lighting, miscellaneous structures and stage personnel for Wildflower Festival, Cottonwood Art Festival, Family 4th, and Corporate Challenge. The award of this bid was based on best value criteria as provided in the Texas Local Government Code, Chapter 252.043, which allows consideration of other factors besides price alone when awarding a contract for goods and services. The bids were evaluated on four criteria specified in the bid, 1) total bid amount; 2) experience and qualifications of the bidder's personnel; 3) information/comments from references; 4) extent the goods/services meet the needs of the City.

Two bids were received from Dallas Backup, Inc. dba Onstage Systems and Production Experience, Inc. dba Sound Mind Events. Dallas Backup, Inc. was the unanimous decision of the committee, scored a total of 95 of 100 points on the award criteria, and best fits the needs of the City, as outlined in Mr. Fairchild's attached memo.

The equipment cost for all city festivals is \$154,897 and the backline costs for Wildflower Festival are estimated at \$20,000 for a total estimated award of \$174,897. The backline costs cannot be determined until the artist's riders are finalized. Dallas Backup, Inc. will provide frequent expense updates on backline costs as they are negotiated and confirmed for approval by Mr. Fairchild.

The term of the contract is for one (1) year with options for four (4) additional one (1) year renewal periods, if agreeable to both parties.

A prebid conference was held on December 4, 2013 and three bidders and two staff members were in attendance. The bid was advertised in *The Dallas Morning News* on November 19 & 26, 2013. A total of 2,903 supplier invitations were electronically sent via Bidsync; 35 vendors viewed the bid; and two responsive bids were received.

Concur:


Kent Pfeil

Attachments

XC: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Pam Kirkland, Purchasing Manager

FROM: Geoff Fairchild, Special Events Manager- Parks and Recreation Department 

RE: Stage, Lighting, Sound, Backline, Miscellaneous Structures & Stage Personnel bid for various City of Richardson produced events.

DATE: January 15, 2014

The Parks and Recreation Department recommends awarding the Stage, Lighting, Sound, Backline, Miscellaneous Structures & Stage Personnel bid (#13-14) to Onstage Systems for the various events (Wildflower Festival, Cottonwood Festival, Family Fourth, Corporate Challenge Opening Ceremony) produced by the Parks and Recreation Department. The total estimated annual cost for all items is \$174,897.00, which includes an estimated \$20,000 for the band backline needed for the city's Wildflower Festival.

Onstage Systems clearly met the City's standards regarding the bid specifications, as well as, experience with similar size events and experience of key personnel.

While both bidders demonstrated viable references and quality work in the respective events they were involved with, it was clear to the review committee that the events Sound Mind was/is involved with, as well as their particular involvement with each, were not on par with the level of the Wildflower Festival (the needs of the Wildflower Festival were specifically highlighted in the bid and the ability to fulfill those needs was the main focal point of this bid).

In addition, Sound Mind Events did not provide a detailed company history, adequate biographies of key personnel, nor a summary of the firm's capabilities to provide goods and services for an event similar in scope to Wildflower. The City requested a minimum of five comparable scale events equal to the Wildflower Festival that the bidder had participated in. And based on feedback from their references we only found two events that Sound Mind listed that were possibly close in scale to the Wildflower Festival.

Account numbers that will be funding this particular bid include:

Wildflower – 011-0230-512-5981
Family Fourth – 011-0230-512-5982

Cottonwood – 011-3021-541-6198
Corporate Challenge – 011-3021-541-5990

BID TABULATION- STAGES, SOUND, LIGHTING FOR CITY FESTIVALS

ITEM NO.	DESCRIPTION	EST. QTY.	UNIT	DALLAS BACKUP, INC. dba ONSTAGE SYSTEMS		PRODUCTION EXPER. dba SOUND MIND EVENTS		UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT				
1	Main Stage WFF	1	ea		\$21,525.00		\$20,200.00				
2	Main Stage WFF, Sound	1	ea		\$20,600.00		\$19,470.00				
3	Main Stage WFF, Sound, Optional FOH console	1	ea		\$1,600.00		\$1,425.00				
4	Main Stage WFF, Sound, Optional monitor cons	1	ea		\$1,600.00		\$1,325.00				
5	Main Stage WFF, Lighting	1	ea		\$9,900.00		\$9,360.00				
6	Main Stage WFF, Optional Lighting, moving lite	1	ea		\$2,250.00		\$2,150.00				
7	Main Stage WFF, Optional Lighting, spot	1	ea	Included in #6	\$0.00		\$750.00				
8	Plaza Stage II WFF	1	ea		\$15,700.00		\$14,625.00				
9	Plaza Stage II WFF, Sound	1	ea		\$13,750.00		\$13,000.00				
10	Plaza Stage II WFF, Optional FOH Console	1	ea		\$1,500.00		\$1,325.00				
11	Plaza Stage II WFF, Optional 12 mix console	1	ea		\$1,500.00		\$1,325.00				
12	Plaza Stage II WFF, Lighting	1	ea		\$8,400.00		\$7,855.00				
13	Plaza Stage II WFF, Lighting, Optional moving	1	ea		\$2,500.00		\$2,150.00				
14	Misc. Structures WFF, Arch Gateways	2	ea	\$2,600.00	\$5,200.00	\$1,235.00	\$2,470.00				
15	Misc. Structures WFF, Video Camera Platform	1	ea		\$800.00		\$180.00				
16	Misc. Structures WFF, Video Screen Platform	1	ea		\$800.00		\$760.00				
17	Misc. Structures WFF, Perf. Row Ent. Towers	1	ea		\$250.00		\$1,235.00				
18	Stagehands, hourly rate	594	hr	\$23.00	\$13,662.00	\$19.00	\$11,286.00				
19	Backline Technicians, hourly rate	108	hr	\$35.00	\$3,780.00	\$23.50	\$2,538.00				
20	Production Manager, hourly rate	54	hr	\$45.00	\$2,430.00	\$30.50	\$1,647.00				
21	Sound Technicians, daily rate	1	day		\$500.00		\$405.00				
22	Lighting Designer, daily rate	1	day		\$500.00		\$405.00				
23	Stage Managers, daily rate	2	day	\$525.00	\$1,050.00		\$950.00				
24	Corporate Challenge Opening Sound	1	ea		\$3,550.00		\$3,350.00				
25	Family Fourth Stage	1	ea		\$6,000.00		\$5,748.00				
26	Family Fourth Sound	1	ea		\$4,250.00		\$3,993.00				
27	Family Fourth Lighting	1	ea		\$2,100.00		\$1,995.00				

BID TABULATION- STAGES, SOUND, LIGHTING FOR CITY FESTIVALS

ITEM NO.	DESCRIPTION	EST. QTY.	UNIT	DALLAS BACKUP, INC. dba ONSTAGE SYSTEMS		PRODUCTION EXPER. dba SOUND MIND EVENTS		UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT				
28	Family Fourth Labor	1	lot		\$6,700.00		\$6,370.00				
29	Cottonwood Platform Stage	1	ea		\$2,500.00		\$2,300.00				
30	Backline WFF - Estimate	1	lot		\$20,000.00	YES	\$20,000.00				
TOTAL PRICE					\$174,897.00		\$160,592.00				



MEMO

DATE: January 21, 2014
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager 
SUBJECT: Award of Bid #16-14 for the 2014 Police Department and Municipal Court HVAC Upgrades to Federal Mechanical Systems, Inc. in the amount of \$421,500

Proposed Date of Award: January 27, 2014

I concur with the recommendation of Joe Travers – Assistant Director of Public Services, and request permission to award a contract to the lowest responsible bidder, Federal Mechanical Systems, Inc., for the above referenced construction in the amount of \$421,500, as outlined in the attached memo.

Funding is provided from the Certificate of Obligation Funds.

The bid was advertised in *The Dallas Morning News* on December 18 & 25, 2013 and was posted on Bidsync.com. A prebid conference was held on December 18, 2013 and 18 bids were solicited and 11 bids were received.

Concur:


Kent Pfeil

Attachments

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Dan Johnson, City Manager

THROUGH: Don Magner, Assistant City Manager 

FROM: Jerry Ortega, Director of Public Services
Joe Travers, Assistant Director of Public Services

SUBJECT: Award of Bid No. 16-14 for the 2014 Police Department and Municipal Court HVAC Upgrades – Federal Mechanical Systems, Inc.

DATE: January 17, 2014

ACTION REQUESTED:

Council to consider award of Bid No. 16-14 for the 2014 Police Department and Municipal Court HVAC Upgrades to Federal Mechanical Systems, Inc., in the amount of \$421,500.00.

BACKGROUND INFORMATION:

On January 14, 2014 the Public Services Department opened bids for the subject project. The attached bid tabulation states the lowest base bid was submitted by Metco Engineering in the amount of \$308,100.00. Staff's review of the Metco bid revealed that they did not acknowledge receipt of critical addenda and did not request third party controls pricing as required by the bidding documents.

After review of the factors stated above as well as the financial statement provided by Metco Engineering and discussions with the Project Engineer, staff recommends award of these 2014 Police Department and Municipal Court HVAC Upgrades to the second lowest base bidder, Federal Mechanical Systems, Inc., in the amount of \$421,500.00. The alternate for carbon dioxide sensors in two jury rooms and one court room will also be awarded.

\$190,000.00	Total Base Bid for Public Safety Building
\$224,000.00	Total Base Bid for Municipal Court
<u>\$ 7,500.00</u>	Alternate 1 (Carbon Dioxide Sensors for Municipal Court)
\$421,500.00	Total Bid for Public Safety Building, Municipal Court and Alternate 1

This project consists of replacing the air cooled water chiller and boiler at the Richardson Municipal Court. For increased efficiency the boiler will be relocated to a location inside the building from its current outdoor location. Replacement of rooftop air conditioning units (RTU'S) at the Richardson Police Station is the second part of this project. These projects will target use of energy-efficient equipment as older equipment is replaced furthering the City's sustainability efforts.

FUNDING:

Funding is provided from the Certificate of Obligation Funds.

SCHEDULE:

Construction is expected to begin February 2014 and be completed by May 2014.

Cc: Joe Travers, Assistant Director of Public Services

CP/Office/AR/AI-Jan2014/2014Police&CourtHVACUpgrades/ExememoAwd.doc

2014 Police Department and Municipal Court HVAC Upgrades

Bid No. 16-14

BID OPENING: Tuesday, January 14, 2014

Items No.	Description	Est Qty	Unit	Metco Engineering		Federal Mechanical		DMI Corp.		Assured Mechanical	
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
PS-1	Public Safety Building	1	LS	\$144,500.00	\$144,500.00	\$185,000.00	\$185,000.00	\$190,183.00	\$190,183.00	\$200,500.00	\$200,500.00
PS-2	Construction Contingency	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
PUBLIC SAFETY TOTAL BASE BID WITH CONTINGENCY					\$149,500.00		\$190,000.00		\$195,183.00		\$205,500.00
MC-1	Municipal Court	1	LS	\$152,000.00	\$152,000.00	\$219,000.00	\$219,000.00	\$249,759.00	\$249,759.00	\$255,000.00	\$255,000.00
MC-2	Construction Contingency	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
MUNICIPAL COURT TOTAL BASE BID WITH CONTINGENCY					\$157,000.00		\$224,000.00		\$254,759.00		\$260,000.00

TOTAL		\$306,500.00		\$414,000.00		\$449,942.00		\$465,500.00
CONTRACTOR'S BID		SAME		SAME		SAME		SAME

ALT-1	Municipal Court Alternate 1	1	LS	\$ 1,600.00	\$ 1,600.00	\$ 7,500.00	\$ 7,500.00	\$ 7,710.00	\$ 7,710.00	\$ 4,500.00	\$ 4,500.00
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ALT-2	Municipal Court Alternate 2	1	LS	\$129,000.00	\$129,000.00	\$ 15,000.00	\$ 15,000.00	\$ 45,070.00	\$ 45,070.00	\$ 75,000.00	\$ 75,000.00
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Municipal Court Total with Alternate 1					\$158,600.00		\$ 7,500.00		\$231,500.00		\$ 264,500.00
Municipal Court Total with Alternate 2					\$286,000.00		\$239,000.00		\$299,829.00		\$ 335,000.00
Municipal Court Total with Alternate 1 & 2					\$ 287,600.00		\$ 246,500.00		\$ 307,539.00		\$ 339,500.00

Items No.	Description	Est Qty	Unit	Gulf Energy Systems		Tegrity Contractors		NSI		Zoom Air	
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
PS-1	Public Safety Building	1	LS	\$192,000.00	\$192,000.00	\$217,777.00	\$217,777.00	\$219,947.00	\$219,947.00	\$213,324.00	\$213,324.00
PS-2	Construction Contingency	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
PUBLIC SAFETY TOTAL BASE BID WITH CONTINGENCY					\$197,000.00		\$222,777.00		\$224,947.00		\$218,324.00
MC-1	Municipal Court	1	LS	\$269,500.00	\$269,500.00	\$262,777.00	\$262,777.00	\$264,815.00	\$264,815.00	\$273,249.00	\$273,249.00
MC-2	Construction Contingency	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
MUNICIPAL COURT TOTAL BASE BID WITH CONTINGENCY					\$274,500.00		\$267,777.00		\$269,815.00		\$278,249.00

TOTAL		\$471,500.00		\$490,554.00		\$494,762.00		\$496,573.00
CONTRACTOR'S BID		SAME		SAME		SAME		SAME

ALT-1	Municipal Court Alternate 1	1	LS	\$ 7,300.00	\$ 7,300.00	\$ 9,077.00	\$ 9,077.00	\$ 7,731.00	\$ 7,731.00	\$ 11,280.00	\$ 11,280.00
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ALT-2	Municipal Court Alternate 2	1	LS	\$ 15,000.00	\$ 15,000.00	\$ 22,077.00	\$ 22,077.00	\$ 14,928.00	\$ 14,928.00	\$ 16,367.00	\$ 16,367.00
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Municipal Court Total with Alternate 1					\$281,800.00		\$276,854.00		\$277,546.00		\$289,529.00
Municipal Court Total with Alternate 2					\$289,500.00		\$289,854.00		\$284,743.00		\$294,616.00
Municipal Court Total with Alternate 1 & 2					\$ 296,800.00		\$ 298,931.00		\$ 292,474.00		\$ 305,896.00

Items No.	Description	Est Qty	Unit	Berger Engineering		Pennington Mechanical		Powers MEP Group		AVERAGES	
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
PS-1	Public Safety Building	1	LS	\$233,230.00	\$233,230.00	\$218,490.00	\$218,490.00	\$213,000.00	\$213,000.00	\$ 5,000.00	\$ 202,541.00
PS-2	Construction Contingency	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
PUBLIC SAFETY TOTAL BASE BID WITH CONTINGENCY					\$238,230.00		\$223,490.00		\$218,000.00		\$ 207,541.00
MC-1	Municipal Court	1	LS	\$287,760.00	\$287,760.00	\$312,546.00	\$312,546.00	\$346,000.00	\$346,000.00	\$ 5,000.00	\$ 262,946.00
MC-2	Construction Contingency	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
MUNICIPAL COURT TOTAL BASE BID WITH CONTINGENCY					\$292,760.00		\$317,546.00		\$351,000.00		\$ 267,946.00

TOTAL		\$530,990.00		\$541,036.00		\$569,000.00		\$475,487.00
CONTRACTOR'S BID		SAME		SAME		SAME		SAME

ALT-1	Municipal Court Alternate 1	1	LS	\$ 11,000.00	\$ 11,000.00	\$ 7,048.00	\$ 7,048.00	\$ 8,500.00	\$ 8,500.00		\$ 7,567.82
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ALT-2	Municipal Court Alternate 2	1	LS	\$ 17,200.00	\$ 17,200.00	\$ 14,465.00	\$ 14,465.00	\$ 13,000.00	\$ 13,000.00		\$ 34,282.45
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Municipal Court Total with Alternate 1					\$303,760.00		\$324,594.00		\$359,500.00		\$ 275,513.82
Municipal Court Total with Alternate 2					\$309,960.00		\$332,011.00		\$364,000.00		\$ 302,228.45
Municipal Court Total with Alternate 1 & 2					\$ 320,960.00		\$ 339,059.00		\$ 372,500.00		\$ 309,796.27

ENGINEER'S ESTIMATE FOR BASE BID \$440,000

CERTIFIED BY:

Joe Travers
Joe Travers, Assistant Director of Public Services



MEMO

DATE: January 21, 2014
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager 
SUBJECT: Award of Bid #29-14 for an annual contract for janitorial services at the Public Library, Service Center, Municipal Court, Animal Shelter, Police Substation and Golf Course to Texas Industries for the Blind and Handicapped in the amount of \$154,910.52
Proposed Date of Award: January 27, 2014

I concur with the recommendation of Joe Travers – Assistant Director of Public Services, and request permission to award an annual contract in the amount of \$154,910.52 to the Texas Industries for the Blind and Handicapped.

This contract with the State Use Program with the Texas Industries for the Blind and Handicapped is an exempt procurement as outlined in Chapter 252.022(a)(13) of the Texas Local Government Code for services performed by blind or severely disabled persons and Chapter 122 of the Human Resources Code. The City of Richardson has used other TIBH services (landscaping, litter pickup, restroom cleaning) since the 1990's with excellent results.

In early October 2009, the Public Services Department and Purchasing authorized a three month trial with LifeNet Community Behavioral Healthcare, who holds the janitorial contract with TIBH, to perform routine janitorial services at the Public Library and Service Center pursuant to our specifications. LifeNet performed satisfactorily and provided fair market value pricing. Since that time, we have added services for Municipal Court, Animal Shelter and the Police Substation. We are now requesting to add services to the Sherrill Park Golf Course, as outlined in Mr. Travers attached memo.

Pricing is based on a unit price per square foot per location as per the attachment, which includes all overhead and supplies for basic services. The initial contract shall begin on March 1, 2014 through February 28, 2015 unless terminated by either party upon 30 days written notice.

Funding is available in accounts 011-2080-531-3399 and 580-3710-509-3499.

Concur:


Kent Pfeil

ATTACHMENTS

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

To: Pam Kirkland, Purchasing Manager
From: Joe Travers, Assistant Director of Public Services
Subject: Contract for Janitorial Services
Date: January 6, 2014

We have reviewed the request from TIBH for an increase in the Janitorial Services cost from \$11,554.21 per month to \$11,709.21 per month. The proposed cost is consistent with other providers for similar work in this area. This represents an increase of approximately 1.3% over our current cost. This is very reasonable given the level of service we have received from TIBH in the past. Therefore, we recommend that we continue to utilize TIBH for the City's Janitorial Services. We are also adding services at the Sherrill Park Golf Facilities. The award amount breaks down as follows:

• Library:	\$ 74,142.00
• Service Center:	\$ 42,486.12
• Court:	\$ 18,972.00
• Animal Shelter:	\$ 2,678.40
• Police Substation:	\$ 2,232.00
<hr/>	
Subtotal: (General Fund)	\$140,510.52
• Sherrill Park Facilities (Golf Fund)	\$ 14,400.00
<hr/>	
Total, All Janitorial Service	\$154,910.52

Funding for services at the Library, Service Center, Court, Animal Shelter and Police Substation are budgeted in 011-2080-531-33-99. Funds for the Sherrill Park Facilities are budgeted in 580-3710-509-3499

Please let me know if I need to provide you anything additional. Thanks for all your assistance with this.

xc. Jerry Ortega, Director of Public Services

Cleaning Contract Work Sheet

TIBH

Building	Area Cleaned	Days Per Week	Labor Cost Per Month/Sq. Ft.	Supply Cost Per Month/Sq. Ft.	Total Cost Per Month/Sq. Ft.	Cost Per Month	Annual Cost
Public Library	68,650	7	\$0.06	\$0.03	\$0.09	\$6,178.50	\$74,142.00
Service Center	38,070	5	\$0.06	\$0.03	\$0.09	\$3,540.51	\$42,486.12
Municipal Court	17,000	5	\$0.06	\$0.03	\$0.09	\$1,581.00	\$18,972.00
Animal Shelter	2,400	5	\$0.06	\$0.03	\$0.09	\$223.20	\$2,678.40
Police Sub Station	2,000	2	\$0.06	\$0.03	\$0.09	\$186.00	\$2,232.00
Golf		5	\$0.00	\$0.00	\$0.00	\$1,200.00	\$14,400.00
Total	128,120						\$154,910.52
Average Monthly Cost/ Sq. Ft:		\$0.0914					



MEMO

DATE: January 21, 2014

TO: Kent Pfeil – Director of Finance

FROM: Pam Kirkland – Purchasing Manager

SUBJECT: Award of Bid #32-14 for the cooperative purchase of three vehicles for Police and Customer Service to Silsbee Ford/Toyota in the amount of \$67,708.25 through the Houston-Galveston Area Council of Governments Contract #VE11-13

Proposed Date of Award: January 27, 2014

I concur with the recommendations of Ernest Ramos – Fleet and Materials Manager, Jim Spivey – Police Chief and Cara Copley – Customer Service Manager, and request permission to issue a purchase order for the vehicles listed below to Silsby Ford/Toyota, in the amount of \$67,708.25.

Toyota Camry Hybrid Sedan	Police Department	\$25,702.75
Ford Explorer SUV	Police Department	22,819.75
Toyota Tacoma ½ ton Truck	Customer Service	<u>19,185.75</u>
Total		\$67,708.25

The above referenced vehicles have been bid through the Houston-Galveston Area Council of Governments (HGAC) Contract #VE11-13. The City of Richardson participates in the HGAC program through our existing interlocal agreement for cooperative purchasing pursuant to Texas Government Code, Chapter 791.025 and Texas Local Government Code, Subchapter F, Section 271.102. This agreement automatically renews annually unless either party gives prior notice of termination.

Funding is available in accounts 234-1011-581-7421, Projects PD1403 & PD1404 and 511-5010-503-7421.

Concur:

Kent Pfeil

- Xc: Dan Johnson
- David Morgan
- Cliff Miller
- Don Magner
- Shanna Sims-Bradish



MEMO

DATE: January 7, 2014
TO: Pam Kirkland, Purchasing Manager
FROM: Ernie Ramos, Fleet & Materials Manager *E.R.*
RE: Capital Equipment Purchase, Various Departments via HGAC
Contract # VE11-13, Effective 12/1/13

I have reviewed the existing contract referenced above and recommend purchasing three (3) vehicles for an amount of \$66,708.25 from the approved HGAC vendor Silsbee Ford/Toyota. I have received and approved the quotes with options listed from Silsbee Ford/Toyota.

Project # PD1403, Account # 234-1011-581-7421, \$25,004.00,
2014 Toyota Camry Hybrid 4-Door Sedan as specified on HGAC quote.
Total Price with fee and delivery charge: \$25,702.75

Project # PD1404, Account # 234-1011-581-7421, \$22,121.00,
2014 Ford Explorer 4-Door SUV as specified on the HGAC quote.
Total Price with fee and delivery charge: \$22,819.75

Account # 503-5010-503-7421, \$18,487.00
2014 Toyota Tacoma Regular Cab ½-ton Compact Truck as specified of the
quote. Total Price with fee and delivery charge: \$19,185.75

Since this is an HGAC purchase, the \$600 Fee has been split between the three units being recommended for purchase on each quote. There is also a \$498.75 delivery fee for each unit. Fees and delivery charges for each unit total approximately \$698.75 per unit.

The Silsbee Ford/Toyota is a new vendor, and this vendor will need to be set up in our system prior to the requisition being generated for these vehicles. The contact at Silsbee Ford/Toyota is Mr. Richard Hyder, and he can be reached at (800) 464-2749, or E-mail: RHYDER.COWBOYFLEET@GMAIL.COM, or fax: (409) 386-0824. Please order the vehicles as specified in the attached quote.

Attachment/s: Silsbee Ford/Toyota HGAC Quotes (3-pages)
HGAC Contract, VE11-13 (13-pages)
Toyota Camry Brochure (35-pages)
Ford Explorer Brochure (7-pages)
Toyota Tacoma ½-Compact Truck (25-pages)
W-9 Form, Silsbee Ford, (1-page)
W-9 Form, Silsbee Toyota, (1-page)

CC: Keith Kockler, Police Captain
Coby Pewitt, Police Lieutenant
Karen Rizzo, Equipment Control Technician
Danny Martin, Assistant Chief of Police
Jim Spivey, Chief of Police
Cara Copley, Customer Service Manager
Keith Dagen, Assistant Director of Finance
Kent Pfeil, Director of Finance



MEMO

DATE: January 8, 2014

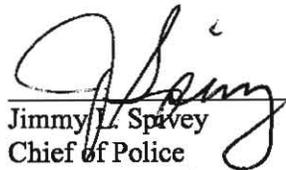
TO: Pam Kirkland, Purchasing Manager

FROM: Jimmy L. Spivey
Chief of Police

REF: Projects #PD1403 & #PD1404 – Capital Equipment Purchase

After review of the existing contract #VE11-13, it is the recommendation of the Richardson Police Department that we proceed with the purchase of a 2014 Toyota Camry for an amount not to exceed \$25,702.75 and a 2014 Ford Explorer for an amount not to exceed \$22,819.75.

Thank you for your attention to this matter.



Jimmy L. Spivey
Chief of Police
Richardson Police Department

:pb

cc: Danny Martin, Assistant Chief
Keith Kockler, Captain
Kent Pfeil, Director of Finance



MEMO

TO: Pam Kirkland, Purchasing Manager

FROM: Cara Copley, Customer Service Manager *CC*

DATE: January 10, 2014

SUBJECT: Vehicle Purchase for Customer Service

I have reviewed and concur with the Fleet Department recommendation to purchase on 2014 Toyota Tacoma regular cab 1/2 ton compact truck in the amount of \$19,185.75. The FY13-14 Customer Service budget includes funds in account number 511-5010-501-7421 for this purchase in the amount of \$24,200.



MEMO

DATE: January 21, 2014

TO: Kent Pfeil – Director of Finance

FROM: Pam Kirkland – Purchasing Manager

SUBJECT: Award of Bid #33-14 for the cooperative purchase of a 40-Yard Front Loader Body for Solid Waste to McNeilus Companies in the amount of \$95,432 through the Texas Local Government Statewide Purchasing Cooperative Buyboard Contract #425-13

Proposed Date of Award: January 27, 2014

I concur with the recommendation of Travis Switzer – Assistant Director of Public Services, and Ernest Ramos – Fleet & Materials Manager to issue a purchase order for a 40-yard front loader body to McNeilus Companies, as outlined in the attached quotation, for a total expenditure of \$95,432.

The above referenced front loader body has been competitively bid through the Texas Local Government Statewide Purchasing Cooperative (Buyboard) Contract #425-13. The City of Richardson is a member of the Texas Local Government Statewide Purchasing Cooperative through our existing interlocal agreement for cooperative purchasing pursuant to Texas Government Code, Chapter 791.025 and Texas Local Government Code, Subchapter F, Section 271.102. This agreement automatically renews annually unless either party gives prior notice of termination.

Funding is available in account 597-2050-581-7421, Project #CS1401 for this expenditure.

Concur:

Kent Pfeil

ATTACHMENTS

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

DATE: January 16, 2014
TO: Pam Kirkland, Purchasing Manager
FROM: Ernie Ramos, Fleet & Materials Manager *E.R.*
RE: Capital Equipment Purchase, CS1401, Front Loader Body via
TASB Buyboard Contract 425-13

I have reviewed the existing contract referenced above and recommend purchasing a McNeilus Atlantic Series 40-yard Front Loader Body from McNeilus Companies for an amount of \$95,432. I have reviewed and approved the quote with options listed from McNeilus Companies.

The funding for this purchase is funded from account # 597-2050-581-7421, Project # CS1401. The contact at McNeilus Companies is Mr. JR Gonzales and he can be reached at (972) 225-0702, or E-mail: dgonzales@mcneilusco.com, or Fax: (972) 225-7077. Please order the body with options as specified on the quote.

Attachment/s: Buyboard quote (1-page)
Buyboard Contract (2-pages)
Buyboard Vendor Contract Information (1-page)

CC: Travis Switzer, Assistant Director of Public Services
Jerry Ortega, Director of Public Services
Kent Pfeil, Director of Finance



MEMO

TO: Pam Kirkland, Purchasing Manager

FROM: Travis Switzer, Assistant Director of Public Services *TS*

DATE: January 17, 2014

SUBJECT: Capital Equipment Purchase, CS1401, Front Loader Body via TASB Buyboard Contract 425-13

I concur with the recommendation of Ernie Ramos, Fleet & Materials Manager, to purchase one McNeilus Atlantic Series 40-yard Front Loader Body from McNeilus Companies for an amount of \$95,432. Please reference Mr. Ramos' memo dated January 16, 2014.

The account for this purchase is 597-2050-581-7421, Project # CS1401.

xc: Jerry Ortega, Director of Public Services
Ryan Delzell, Superintendent of Solid Waste

BuyBoard

McNeilus Truck Manufacturing - Dallas

The following details shall be provided with any BuyBoard purchase order (Fax Purchase Order to {800}211-5454

BuyBoard Vendor: <u>McNeilus Truck & Manufacturing</u>	Prepared By: <u>JR Gonzales</u>
[Address P.O. to:] <u>1101 I-45 South</u>	Vendor Phone: <u>972-225-0702</u>
<u>Hutchins TX 75141</u>	Vendor Fax: <u>(972)225-7077</u>
	Vendor Toll Free _____
Government Agency: <u>City Of Richardson</u> Gov. Agency <u>SAME</u>	Date Prepared <u>11/4/2013</u>
[Ship to:] <u>1266 Columbia Dr</u> [Bill to:] <u>SAME</u>	
<u>Richardson, Tx 75083</u>	
Contacts Name: <u>Ernie Ramos</u> Gov. Agn. Phone No: <u>972-744-4421</u>	G. A. Fax No: <u>972-744-5812</u>
Product Description: <u>McNeilus 40yd Front Loader</u>	

I: <u>BuyBoard contrac 425-13</u>	Price List: <u>59</u>	Base Price	<u>\$ 89,086.00</u>
II: <u>Base Bid Options (Itemize Below)</u>			
* <u>Spot Mirror Streetside</u>	<u>\$ 150.00</u>	* <u>Low hyd Light</u>	<u>\$ 199.00</u>
* <u>Center Stop Light</u>	<u>\$ 205.00</u>	* <u>Camera system,3 cameras</u>	<u>\$ 1,727.00</u>
* <u>Fender Lights</u>	<u>\$ 276.00</u>	* <u>Hopper Lights276</u>	<u>\$ -</u>
* <u>5lb. Fire ext.</u>	<u>\$ 101.00</u>	* <u>MTM Discount</u>	<u>\$ (14,921.00)</u>
* <u>20lb. Fire ext.</u>	<u>\$ 518.00</u>	* <u>Lincoln Lube chassis,body,monitor</u>	<u>\$ 11,188.00</u>
* <u>Safety Triangle kit</u>	<u>\$ 67.00</u>	* _____	<u>\$ -</u>
* <u>Service lift</u>	<u>\$ 3,108.00</u>	* _____	<u>\$ -</u>
* <u>Smart lights</u>	<u>\$ 810.00</u>	* _____	<u>\$ -</u>
Subtotal	<u>\$ 5,235.00</u>	Subtotal	<u>\$ (1,807.00)</u>
Contract List Price Total			<u>\$ 3,428.00</u>
III: <u>Subtotal of I + II</u>	<u>=></u>	BuyBoard Contract Price:	<u>\$ 92,514.00</u>
IV: <u>Non-Base Options (Itemize below)</u> NON-BASE = _____ %			
* <u>Buy Board Fee</u>	<u>\$ 400.00</u>	_____	_____
* <u>Freight</u>	<u>\$ 2,518.00</u>	_____	_____
* _____	_____	_____	_____
* _____	_____	_____	_____
Subtotal	<u>\$ 2,918.00</u>	Subtotal	<u>\$ 2,918.00</u>
V	Unpublished Options added to Contract Price (Subtotal of Co. 1 & Col 2)		<u>\$ 2,918.00</u>
VI Total IV + V			<u>\$ 95,432.00</u>
VII Quantity Ordered Units:	<u>1</u>	x "E"	<u>\$ 95,432.00</u>
VIII Trade-in or other Credit(s)			<u>\$ -</u>
IX TOTAL PURCHASE PRICE INCLUDING VII + VIII			<u>\$ 95,432.00</u>

Contract effective 8/1/2010

Fax all Purchase Orders to BuyBoard at (800) 211-5454



MEMO

DATE: January 21, 2014

TO: Kent Pfeil – Director of Finance

FROM: Pam Kirkland – Purchasing Manager

SUBJECT: Award of Bid #34-14 for emergency grinding and hauling of brush from the December 2013 inclement weather storm to Intercon Demolition Company for a total amount of \$156,040 pursuant to Local Government Code, Chapter 252.022(a)(1)(3) due to a public calamity that requires immediate action to protect the public health and safety of our citizens and to repair the unforeseen damage of public property

Proposed Date of Award: January 27, 2014

I concur with the recommendation of Jerry Ortega – Director of Public Services, and request council approval for emergency grinding and hauling of brush from the December 2013 inclement weather storm to Intercon Demolition Company for a total amount of \$156,040.

An emergency purchase procedure was authorized, as per Local Government Code, Chapter 252.022(a)(1)(3), to protect the public health and safety of citizens and to repair the unforeseen damage of public property, as outlined in Mr. Ortega's attached memo.

Funding is provided in account 591-2045-502-3499.

Concur:

Kent Pfeil

ATTACHMENTS

XC: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Don Magner, Assistant City Manager

FROM: Jerry Ortega, Director of Public Services

SUBJECT: Inclement Weather / Ice Storm of Dec 6 through Dec 8, 2013

DATE: January 16, 2014

On Friday, December 6, 2013 the City experienced an unfrequented ice storm resulting in an immediate need to implement cleanup operations aimed at removing brush from downed trees throughout the City.

The City enlisted the assistance of its annual contract spoils hauler, Intercon Demolition, to assist with hauling material to the composting site located inside the North Texas Municipal Water District's property at 7934 N. Hwy 121, Melissa, Texas. The unprecedented amount of materials (being delivered to the City's brush storage site on Lookout Drive) quickly overwhelmed the City's resources and intermittently halted the cleanup operation until material could be removed from the site by the Contract hauler. In discussions with Intercon management, it was determined that Intercon could provide a grinder with its excavator loader, and operating personnel to significantly increase the efficiency at the Lookout site during the brush disposal operation. Use of a grinder would allow for a reduction in load counts of at least a 4:1 ratio. And it was further determined that the estimated cost of grinding the material prior to hauling it from the site would be no more than the cost of hauling un-shredded, raw material from the site and would also reduce the storm cleanup time by at least half the time.

Since time was of the essence in expediting the citywide storm cleanup, with the public's safety and welfare in mind, we agreed to request relief from the normal bidding procedures through an emergency procurement process. This was deemed judicious at the time, as the alternate bidding processes would have taken several weeks before the grinding process could begin. As such, by way of this memorandum I seek relief from the competitive bidding requirements—as it is allowed under Section 252.022(a)(1)(3) of the Local Government code. This code waives the requirements for competitive bidding process on emergency situations such as this ice storm presented. We have discussed this with Pam Kirkland in Purchasing and she concurs with the process described above. Funds will come from account 591-2045-502-3499.

APPROVED:



Don Magner, Assistant City Manager

Cc: Pam Kirkland, Purchasing Manager

Intercon Demolition Co.

Intercon Construction Co., Inc.

1310 Wheelis Rd
Wylie, TX 75098
Phone 972.424.2220

DATE: January 15, 2014
INVOICE # P14002
FOR: Demolition Services

Bill To:
Mr. Joe Traverse
City of Richardson/Accounts Payable
P.O. Box 830309
Richardson, Texas 75083-0309

DESCRIPTION	AMOUNT
Grinding Services 2013 Ice Storm Clean Up Furnish all Equipment, Fuel, Labor & Wear Parts associated with Grinding Operation. Hourly rate of \$665 per hour 176 hrs @ \$665.00 per hour	\$117,040.00
TOTAL	\$ 117,040.00

Make all checks payable to **Intercon Demolition Co.**

If you have any questions concerning this invoice, contact Michelle Oliver 972-424-2220

THANK YOU FOR YOUR BUSINESS!

Intercon Demolition Co.

Intercon Construction Co., Inc.

1310 Wheelis Rd
Wylie, TX 75098
Phone 972.424.2220

DATE: January 15, 2014
INVOICE # P14002
FOR: Demolition Services

Bill To:

Mr. Joe Traverse
City of Richardson/Accounts Payable
P.O. Box 830309
Richardson, Texas 75083-0309

DESCRIPTION	AMOUNT
ANNUAL CONTRACT FOR HAULING OF CONSTRUCTION DEBRIS Limb Clean up - 2013 Ice Storm 200 Loads @ \$195 per Load Back up Attached	39,000.00
TOTAL	\$ 39,000.00

Make all checks payable to **Intercon Demolition Co.**

If you have any questions concerning this invoice, contact Michelle Oliver 972-424-2220

THANK YOU FOR YOUR BUSINESS!