

**RICHARDSON CITY COUNCIL
MONDAY, DECEMBER 9, 2013
WORK SESSION AT 6:00 PM; COUNCIL MEETING AT 7:30 PM
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX**

The Richardson City Council will conduct a Work Session at 6:00 p.m. on Monday, December 9, 2013 in the Richardson Room of the Civic Center, 411, W. Arapaho Road, Richardson, Texas. The Work Session will be followed by a Council Meeting at 7:30 p.m. in the Council Chambers. Council will reconvene the Work Session following the Council Meeting if necessary.

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

WORK SESSION – 6:00 PM, RICHARDSON ROOM

• **CALL TO ORDER**

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

The City Council will have an opportunity to preview items listed on the Council Meeting agenda for action and discuss with City Staff.

B. REVIEW AND DISCUSS PLANS FOR THE OWENS TRAIL – ONCOR TEXAS TRAILS LIVING LABORATORY LANDSCAPE PROJECT IN RICHARDSON

C. REVIEW AND DISCUSS UPDATES TO EISEMANN CENTER PROGRAMMING

D. REPORT ON ITEMS OF COMMUNITY INTEREST

The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.

COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS

1. INVOCATION – STEVE MITCHELL

2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – STEVE MITCHELL

3. MINUTES OF THE NOVEMBER 25, 2013 (ADVISORY BOARDS AND COMMISSIONS MEETING), NOVEMBER 25, 2013, AND DECEMBER 2, 2013 MEETINGS

4. VISITORS

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a “City Council Appearance Card” and present it to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns will be addressed by City Staff, may be placed on a future agenda, or by some other course of response.

5. CONSIDER APPOINTMENTS TO THE PARKS AND RECREATION COMMISSION.

PUBLIC HEARING ITEMS:

6. PUBLIC HEARING, ZONING FILE 13-13: A REQUEST BY LARRY GOOD, GFF PLANNING, REPRESENTING JP REALTY PARTNERS, LTD., FOR A CHANGE IN ZONING FROM LR-M(2) LOCAL RETAIL, PD PLANNED DEVELOPMENT, AND TO-M TECHNICAL OFFICE TO PD PLANNED DEVELOPMENT FOR THE DEVELOPMENT OF A PEDESTRIAN-ORIENTED, MIXED-USE DEVELOPMENT ON APPROXIMATELY 58.5 ACRES LOCATED ON THE WEST SIDE OF CENTRAL EXPRESSWAY, GENERALLY BOUNDED BY COLLINS BOULEVARD TO THE WEST, PALISADES BOULEVARD AND GALATYN PARKWAY WEST EXTENSION TO THE SOUTH, AND PALISADES CREEK DRIVE TO THE NORTH. THE PROPERTY IS CURRENTLY ZONED LR-M(2) LOCAL RETAIL, PD PLANNED DEVELOPMENT, AND TO-M TECHNICAL OFFICE.

7. CONSENT AGENDA:

All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.

A. ADOPTION OF THE FOLLOWING ORDINANCES:

1. ORDINANCE NO. 4035, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 22, BY AMENDING SECTION 22-118(A) TO AMEND THE SCHOOL ZONE HOURS FOR RICHARDSON INDEPENDENT SCHOOL DISTRICT ELEMENTARY SCHOOLS.
2. ORDINANCE NO. 4036, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 18, SIGN REGULATIONS, BY AMENDING SECTION 18-5(3), PROHIBITED SIGNS; BY REPEALING SECTION 18-29; BY AMENDING SECTION 18-96(24), POLITICAL SIGNS (TEMPORARY); AND BY AMENDING CHAPTER 13 TO ADD ARTICLE XIII REGULATING ELECTIONEERING AT POLLING LOCATIONS.

B. CONSIDER RESOLUTION NO. 13-29, PROVIDING FOR THE REDEMPTION OF A PORTION OF THE OUTSTANDING "CITY OF RICHARDSON, TEXAS, GENERAL OBLIGATION REFUNDING BONDS, TAXABLE SERIES 2004"; AND RESOLVING OTHER MATTERS INCIDENT AND RELATED TO THE REDEMPTION OF SUCH OBLIGATIONS.

C. AUTHORIZE THE ADVERTISEMENT OF THE FOLLOWING BIDS:

1. BID #16-14 – 2014 POLICE DEPARTMENT AND MUNICIPAL COURT HVAC UPGRADES. BIDS TO BE RECEIVED BY TUESDAY, JANUARY 7, 2014 AT 2:00 P.M.
2. BID #21-14 – 2014 BRIDGE RAIL MAINTENANCE PROJECT. BIDS TO BE RECEIVED BY TUESDAY, JANUARY 28, 2014 AT 2:00 P.M.
3. BID #22-14 – 2014 COLLECTOR STREET PAVEMENT REPAIR PROJECT (FLOYD, APOLLO, BUCKINGHAM). BIDS TO BE RECEIVED BY TUESDAY, JANUARY 21, 2014 AT 2:00 P.M.

D. AUTHORIZE THE ADVERTISEMENT OF COMPETITIVE SEALED PROPOSAL NO. 901-14 – APPROVAL OF PLANS AND CONTRACT DOCUMENTS FOR THE 2014 ONCOR SIGNATURE TRAILS LANDSCAPE PROJECT. COMPETITIVE SEALED PROPOSALS TO BE RECEIVED BY THURSDAY, JANUARY 23, 2014 AT 2:00 P.M.

E. CONSIDER AWARD OF THE FOLLOWING BIDS:

1. BID #01-14 – WE RECOMMEND THE AWARD TO ESTRADA CONCRETE COMPANY, LLC FOR THE 2014 NEIGHBORHOOD PAVEMENT REPAIR PROJECT AREAS 1, 2, AND 3 PURSUANT TO UNIT PRICES.

2. BID #23-14 – WE RECOMMEND THE AWARD TO GIFFORD ELECTRIC, INC., FOR A SOLE SOURCE PROCUREMENT OF A PORTABLE SIREN AND PUBLIC ADDRESS TRAILER IN THE AMOUNT OF \$55,500.
 3. BID #64-13 – WE RECOMMEND THE AWARD TO RATLIFF HARDSCAPE FOR THE 2010 NEIGHBORHOOD VITALITY ENTRY FEATURES IN THE AMOUNT OF \$392,758.40.
- F. AUTHORIZE THE CITY MANAGER TO EXECUTE CHANGE ORDER NO. 1 TO DECREASE THE ORIGINAL AWARDED AMOUNT OF BID #64-13 TO RATLIFF HARDSCAPE FOR THE 2010 NEIGHBORHOOD VITALITY ENTRY FEATURES IN THE AMOUNT OF (\$90,263.55).
 - G. AUTHORIZE THE CITY MANAGER TO EXECUTE CHANGE ORDER NO. 1 TO INCREASE PURCHASE ORDER NO. 130994 TO ED BELL CONSTRUCTION CO., INC., FOR THE CENTRAL TRAIL IN THE AMOUNT OF \$157,457.90.
 - H. CONSIDER CANCELLATION OF THE MONDAY, DECEMBER 23, 2013 CITY COUNCIL MEETING, DECEMBER 30, 2013 WORK SESSION, AND JANUARY 20, 2014 WORK SESSION.
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- **ADJOURN**

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE CIVIC CENTER/CITY HALL ON FRIDAY, DECEMBER 6, 2013, BY 5:00 P.M.

AIMEE NEMER, CITY SECRETARY

THIS BUILDING IS WHEELCHAIR ACCESSIBLE. ANY REQUESTS FOR SIGN INTERPRETIVE SERVICES MUST BE MADE 48 HOURS IN ADVANCE OF THE MEETING BY CALLING 972-744-4100 OR 972-744-4001.



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, December 9, 2013

Agenda Item: Review and Discuss Plans for the Owens Trail -
Oncor Texas Trails Living Laboratory Landscape
Project in Richardson

Staff Resource: Mick Massey, Director of Parks and Recreation

Summary: City Staff will provide an overview of the partnership between Oncor and the City of Richardson to create the Owens Trail – Oncor Texas Trails Living Laboratory Landscape Project in Richardson.

Board/Commission Action: N/A

Action Proposed: N/A





City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, December 9, 2013

Agenda Item: Review and Discuss Updates to Eisemann Center Programming

Staff Resource: Shanna Sims-Bradish, Assistant City Manager

Summary: City staff will provide the City Council with an overview of recent updates to Eisemann Center programming including the addition of the Willie Nelson and Asleep at the Wheel Concert, hosting of the 2014 Miss Texas Pageant and the new Eisemann Center Extras program in conjunction with the Family Theater Series.

Board/Commission Action: N/A

Action Proposed: N/A

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION AND SPECIAL CALLED MEETING
NOVEMBER 25, 2013 AT 5:00 P.M.

WORK SESSION – 5:00 P.M.:

- **Call to Order**

Mayor Maczka called the meeting to order at 5:00 p.m. with the following Council members present:

Laura Maczka	Mayor
Bob Townsend	Mayor Pro Tem
Mark Solomon	Councilmember
Kendal Hartley	Councilmember
Paul Voelker	Councilmember
Steve Mitchell	Councilmember

Absent:

Scott Dunn	Councilmember
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The following staff members were also present:

Dan Johnson	City Manager
David Morgan	Deputy City Manager
Aimee Nemer	City Secretary

1. REVIEW AND DISCUSS APPOINTMENTS/REAPPOINTMENTS TO THE PARKS AND RECREATION COMMISSION.

Council discussed appointments to the Parks and Recreation Board and instructed staff to schedule the item for action on December 9, 2013.

ADJOURNMENT

With no further business, the meeting was adjourned at 5:29 p.m.

ATTEST:

MAYOR

CITY SECRETARY

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION AND COUNCIL MEETING
NOVEMBER 25, 2013

WORK SESSION – 6:00 P.M.:

- **Call to Order**

Mayor Maczka called the meeting to order at 6:01 p.m. with the following Council members present:

Laura Maczka	Mayor
Bob Townsend	Mayor Pro Tem
Mark Solomon	Councilmember
Kendal Hartley	Councilmember
Paul Voelker	Councilmember
Steve Mitchell	Councilmember

Absent:

Scott Dunn	Councilmember
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The following staff members were also present:

Dan Johnson	City Manager
David Morgan	Deputy City Manager
Cliff Miller	Assistant City Manager Development Services
Don Magner	Assistant City Manager Community Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Michael Spicer	Director of Development Services
Greg Sowell	Director of Communications
Gary Bean	Budget Officer

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

Staff reviewed Zoning File 13-20, 13-23, Variance 13-10, and Variance 13-11.

B. REVIEW AND DISCUSS THE YEAR-END FINANCIAL REPORT FOR THE FY 2012-2013 OPERATING BUDGET

Budget Officer, Gary Bean, reviewed the year-end financial report.

C. REVIEW AND DISCUSS THE “GATHERING SOLES FOR NETWORK” SHOE DRIVE CAMPAIGN RECAP

Greg Sowell, Director of Communications, reviewed the shoe drive program and results.

D. REPORT ON ITEMS OF COMMUNITY INTEREST

Mayor Maczka reported on the Hobble Gobble stating that for the first time, a female won the race with a time of 18 minutes.

COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS

1. **INVOCATION – PAUL VOELKER**
2. **PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – PAUL VOELKER**
3. **MINUTES OF THE NOVEMBER 11, 2013, NOVEMBER 18, 2013 (ADVISORY BOARDS AND COMMISSIONS MEETING), AND NOVEMBER 18, 2013 MEETINGS**

Council Action

Councilmember Solomon moved to approve the Minutes as presented. Mayor Pro Tem Townsend seconded the motion. A vote was taken and passed, 6-0 with Councilmember Dunn absent.

4. VISITORS

There were no visitors comments submitted.

5. **CONSIDER APPOINTMENTS TO THE ARTS COMMISSION, ENVIRONMENTAL ADVISORY COMMISSION, LIBRARY BOARD, PARKS AND RECREATION COMMISSION, SIGN CONTROL BOARD, & TAX INCREMENT FINANCE ZONE #2 AND #3 BOARD OF DIRECTORS.**

Council Action

Motion by Councilmember Solomon, seconded by Councilmember Hartley, and approved 6-0 with Councilmember Dunn absent, to appoint the following:

TIF Board #2 – Reappoint the following for a term to end November 28, 2015

Richard Ramey
Hank N. Mulvihill
Kimberly Aaron
Charles Bissell
Paul Peck
Tony Reynolds
Erik L. Wyse

TIF Board #3 – Reappoint the following for a term to end November 28, 2015

Richard Ramey
Paul Peck
Kimberly Aaron
Charles Bissell
Hank N. Mulvihill
Tony Reynolds
Erik L. Wyse

Motion by Councilmember Hartley, seconded by Councilmember Solomon, and approved 6-0 with Councilmember Dunn absent, to appoint the following:

Parks & Recreation Commission

Reappoint the following for a term to end December 1, 2015

Kenan Brandes, Vice Chair (Dist. 1)

Pam Krause (Dist. 3)
Kevin Williams (Dist. 1)

Appoint the following for a term effective December 1, 2013 and ending December 1, 2015

Jeanne Hooker (Dist. 4)
Gene Fitch (Dist. 3)

Motion by Mayor Pro Tem Townsend, seconded by Councilmember Solomon, and approved 6-0 with Councilmember Dunn absent, to appoint the following:

Sign Control Board

Reappoint the following for a term to end December 1, 2015

Dorothy McKearin, Chair
Sandra Moudy, Vice Chair
Ikram Muhammad
Alicia Marshall, Alternate

Motion by Councilmember Voelker, seconded by Councilmember Hartley, and approved 6-0 with Councilmember Dunn absent, to appoint the following:

Library Board

Reappoint the following for a term to end January 1, 2016

Doris Benner, Vice Chair (Dist. 4)
Charles Gillis (Dist. 4)
William McCalpin (Dist. 3)
Alyson Murphy (Dist. 2)

Motion by Councilmember Mitchell, seconded by Councilmember Hartley, and approved 6-0 with Councilmember Dunn absent, to appoint the following:

Arts Commission

Reappoint the following for a term to end January 31, 2016

Richard Luttrell, Chair
Betty Peck
Curtis Dorian

Appoint the following for a term effective January 31, 2014 and ending January 31, 2016

Catherine Burdette

Appoint the following as Vice Chair for a term effective January 31, 2014 to January 31, 2015

Beth Kolman

Motion by Councilmember Solomon, seconded by Councilmember Voelker, and approved 6-0 with Councilmember Dunn absent, to appoint the following:

Environmental Advisory Commission

Appoint the following as Vice Chair for a term to end September 22, 2015

Chuck Riehm (Dist. 2)

PUBLIC HEARING ITEMS:

- 6. PUBLIC HEARING, ZONING FILE 13-20 AND CONSIDER ADOPTION OF ORDINANCE NO. 4032, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP BY AMENDING THE SPRING VALLEY STATION DISTRICT, ORDINANCE 3831, AS HERETOFORE AMENDED AND RESTATING THE PLANNED DEVELOPMENT FOR TRANSIT-ORIENTED DEVELOPMENT BY AMENDING THE SPRING VALLEY STATION DISTRICT DEVELOPMENT REGULATIONS BY AMENDING TABLE 4.1 BY AMENDING THE DEVELOPMENT RIGHTS TO ALLOW A MAXIMUM OF 170 SINGLE-FAMILY RESIDENCES WITHIN THE PD; AND BY ALLOWING A MAXIMUM OF THIRTY (30) SINGLE-FAMILY RESIDENCES AND BY AMENDING SECTION 3 LAND USE PLAN SUBSECTION b(1) PROHIBITING MULTI-FAMILY RESIDENTIAL CONSTRUCTION ON LOT 1B, BLOCK A AND LOT 1B, BLOCK B OF THE MCKAMY PARK ADDITION.**

Public Hearing

The applicant representative, David Gleeson, addressed Council and was available to answer questions. Mr. David Gleeson and Mr. Kevin Williams spoke in favor. Mr. Williams commented that the developer should be cautious when considering the parking and grade difference. With no further comments, the Public Hearing was closed with a motion by Councilmember Solomon, seconded by Councilmember Hartley, and approved 6-0 with Councilmember Dunn absent.

Council Action

Councilmember Mitchell moved to approve Zoning File 13-20 and Ordinance No. 4032 as presented. Councilmember Voelker seconded the motion. A vote was taken and passed, 6-0 with Councilmember Dunn absent.

- 7. PUBLIC HEARING, ZONING FILE 13-21: A REQUEST BY WILLIAM S. DAHLSTROM, JACKSON WALKER, L.L.P., REPRESENTING WC CAMPBELL BUSINESS CENTER LP, FOR A CHANGE IN ZONING FROM LR-M(2) LOCAL RETAIL TO PD PLANNED DEVELOPMENT TO ACCOMMODATE A SELF-SERVICE WAREHOUSE TO BE LOCATED ON APPROXIMATELY 5.3 ACRES OF LAND LOCATED AT THE NORTHEAST QUADRANT OF CAMPBELL ROAD AND PLANO ROAD. THE PROPERTY IS CURRENTLY ZONED LR-M(2) LOCAL RETAIL.**

Council Action

Mayor Maczka announced that the applicant as requested to table this item to January 13. Councilmember Solomon moved to postpone this item to January 13, 2014. Mayor Pro Tem Townsend seconded the motion. A vote was taken and passed, 6-0 with Councilmember Dunn absent.

- 8. PUBLIC HEARING, ZONING FILE 13-23 AND CONSIDER ADOPTION OF ORDINANCE NO. 4033, AMENDING THE COMPREHENSIVE ZONING ORDINANCE BY AMENDING ARTICLE I, SECTION 2, "DEFINITIONS", BY ADDING THE DEFINITION OF AN "ELECTRONIC-CIGARETTE" AND AN "ELECTRONIC-CIGARETTE ESTABLISHMENT"; BY AMENDING ARTICLE**

XXII-A, "SPECIAL PERMITS", BY AMENDING SECTION 2(b) TO ALLOW ELECTRONIC-CIGARETTE ESTABLISHMENTS BY SPECIAL PERMIT.

Public Hearing

There were no public comments submitted for the Public Hearing. Councilmember Solomon moved to close the Public Hearing, seconded by Councilmember Hartley, and approved 6-0 with Councilmember Dunn absent.

Council Action

Councilmember Solomon moved to approve Zoning File 13-23 and the adoption of Ordinance No. 4033. Councilmember Mitchell seconded the motion. A vote was taken and passed, 6-0 with Councilmember Dunn absent.

ACTION ITEMS:

- 9. VARIANCE 13-10: A REQUEST BY JEFF GROTH, REPRESENTING RISD FOR APPROVAL OF A VARIANCE FROM CHAPTER 21, THE SUBDIVISION AND DEVELOPMENT CODE, TO WAIVE THE REQUIRED SCREENING WALL ALONG THE NORTHERN PROPERTY LINE. THE SITE IS LOCATED AT 1500 MIMOSA DR. AND IS ZONED R-1500-M RESIDENTIAL.**

Council Action

Councilmember Solomon moved to approve as presented. Councilmember Hartley seconded the motion. A vote was taken and passed, 6-0 with Councilmember Dunn absent.

- 10. VARIANCE 13-11: A REQUEST BY PATRICK GLENN, REPRESENTING RISD FOR APPROVAL OF A VARIANCE FROM CHAPTER 21, THE SUBDIVISION AND DEVELOPMENT CODE, TO WAIVE THE REQUIRED SCREENING WALL ALONG THE SOUTHERN AND EASTERN PROPERTY LINES. THE SITE IS LOCATED AT 550 PARK BEND DR. AND IS ZONED R-1500-M RESIDENTIAL.**

Council Action

Councilmember Hartley moved to approve as presented. Councilmember Voelker seconded the motion. A vote was taken and passed, 6-0 with Councilmember Dunn absent.

11. CONSENT AGENDA:

- A. ADOPTION OF ORDINANCE NO. 4034, PROHIBITING THE USE OF DESIGNED GROUNDWATER FROM BENEATH CERTAIN PROPERTY LOCATED IN AND AROUND THE NORTHEAST QUADRANT OF CENTRAL EXPRESSWAY AND RENNER ROAD IN RICHARDSON, TEXAS, AND SUPPORTING CERTIFICATION OF A MUNICIPAL SETTING DESIGNATION BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY.**

B. CONSIDER AWARD OF THE FOLLOWING BIDS:

- 1. BID #12-14 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO WASTEQUIP, LLC, FOR THE COOPERATIVE PURCHASE OF**

REFUSE CONTAINERS THROUGH THE TEXAS LOCAL GOVERNMENT STATEWIDE PURCHASING COOPERATIVE BUYBOARD CONTRACT #357-10 IN AN AMOUNT NOT TO EXCEED \$117,000.

- 2. BID #15-14 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO KNAPP CHEVROLET FOR THE COOPERATIVE PURCHASE OF A MICU AMBULANCE FOR THE FIRE DEPARTMENT THROUGH THE HOUSTON-GALVESTON AREA COUNCIL OF GOVERNMENTS CONTRACT #AM10-12 IN THE AMOUNT OF \$145,400.**
- 3. BID #17-14 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO AT&T TELECOMMUNICATIONS FOR THE COOPERATIVE PURCHASE OF A NEXT GENERATION 9-1-1 SYSTEM THROUGH THE HOUSTON-GALVESTON AREA COUNCIL OF GOVERNMENTS CONTRACT #EC07-11 IN THE AMOUNT OF \$548,517.21.**
- 4. BID #18-14 – WE RECOMMEND THE AWARD TO TEXAS INDEPENDENT ELEVATOR FOR THE EMERGENCY REPAIR OF ELEVATOR #6 AT THE CHARLES W. EISEMANN CENTER PURSUANT TO LOCAL GOVERNMENT CODE, CHAPTER 252.022(a)(3) TO REPAIR THE UNFORESEEN DAMAGE OF PUBLIC EQUIPMENT FOR A TOTAL AMOUNT OF \$79,923.**
- 5. BID #19-14 – WE RECOMMEND THE AWARD TO TRI-CON SERVICES, INC., FOR THE EMERGENCY WATER MAIN REPAIR AT JUPITER ROAD AND BELTLINE ROAD PURSUANT TO LOCAL GOVERNMENT CODE, CHAPTER 252.022(a)(2)(3) DUE TO A PUBLIC CALAMITY THAT REQUIRES IMMEDIATE ACTION TO PROTECT THE PUBLIC HEALTH AND SAFETY OF OUR CITIZENS AND TO REPAIR THE UNFORESEEN DAMAGE OF PUBLIC PROPERTY IN THE AMOUNT OF \$80,864.19.**

Council Action

Mayor Pro Tem Townsend moved to approve the Consent Agenda as presented. Councilmember Hartley seconded the motion. A vote was taken and passed, 6-0 with Councilmember Dunn absent.

ADJOURNMENT

With no further business, the meeting was adjourned at 8:21p.m.

MAYOR

ATTEST:

CITY SECRETARY

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION MEETING
DECEMBER 2, 2013

WORK SESSION – 6:00 P.M.:

- **Call to Order**

Mayor Maczka called the meeting to order at 6:00 p.m. with the following Council members present:

Laura Maczka	Mayor
Bob Townsend	Mayor Pro Tem
Mark Solomon	Councilmember
Scott Dunn	Councilmember
Kendal Hartley	Councilmember
Paul Voelker	Councilmember
Steve Mitchell	Councilmember

The following staff members were also present:

Dan Johnson	City Manager
David Morgan	Deputy City Manager
Cliff Miller	Assistant City Manager Development Services
Don Magner	Assistant City Manager Community Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Mick Massey	Director of Parks and Recreation
Kent Pfeil	Director of Finance

Guests/Consultants Present:

Ken Ballard, Ballard King and Associates
Ken Berendt, Barker Rinker Seacat Architecture
Byron Garey and representatives from the Spring Valley Athletic Association

A. VISITORS

There were no visitors comments submitted.

B. REVIEW AND DISCUSS PRELIMINARY FINDINGS OF THE JOINT ATHLETIC FACILITY FEASIBILITY STUDY WITH SPRING VALLEY ATHLETIC ASSOCIATION

Ken Ballard, Ballard King and Associates, and Ken Berendt, Barker Rinker Seacat Architecture, along with City staff provided an overview of the preliminary findings of the joint athletic facility feasibility study at the Huffhines Recreation Center with the Spring Valley Athletic Association. Byron Garey with Spring Valley Athletic Association presented information on the Spring Valley Athletic Association.

Mick Massey, Director of Parks, reviewed the next steps:

- Receive input from Council

- Refine feasibility study based on: Site design intensity comfort level and “best fit” for the final product
- Traffic & parking load impact details.
- Send the project back to Parks and Recreation Commission and City Council for review of final plan once all details are known.

C. REVIEW AND DISCUSS A CASH DEFEASANCE OF THE 2004 GENERAL OBLIGATION REFUNDING BONDS TAXABLE SERIES

Kent Pfeil, Director of Finance, explained that during the 2013-2014 budget process, the City Council planned to pay off some debt early through a “Cash Defeasance”. Mr. Pfeil explained the following:

Cash Defeasance:

- A Cash Defeasance of the remaining 2004 Taxable General Obligation Refunding Issue will pay off the bonds six years before their 2020 maturity date.
- This defeasance is possible because the bonds had an early redemption or call feature
- A resolution is required for the cash defeasance to occur

D. REVIEW AND DISCUSS ELECTION SIGN REGULATIONS

Don Magner, Assistant City Manager reviewed the following proposed changes regarding Election Sign Regulations.

- It is an offense for any person to leave any electioneering sign or literature on public property that is used as a polling place other than during the voting period and for thirty minutes before and after the voting period.
- It is an offense for any person to engage in electioneering on driveways, parking areas, on medians within parking areas, or driveways on the premises of a polling location. This restriction shall not apply to electioneering signs that are attached to vehicles that are lawfully parked at the premises of a polling location.
- It is an offense for any person to attach, place or otherwise affix or erect any electioneering sign, literature or material in any area designated as a planting or landscaped area or to any tree, shrub, building, pole, or other improvement on public property used as a polling location.
- It is an offense for any person to place any electioneering sign or literature within ten (10) feet of the public road way adjacent to the public property where a polling location is located.
- It is an offense for any person to place an electioneering sign on the premises that exceeds thirty-six square feet and is more than eight feet in height, including any supporting poles, or to utilize any stake more than 10” long or 1” in diameter.
- It is an offense for any person to post, use or distribute political signs or literature in any area of the premises of the City Hall/Civic Center except those areas in which electioneering is allowed as described in the diagram that will be provided with the ordinance.

E. REPORT ON ITEMS OF COMMUNITY INTEREST

Mayor Pro Tem Townsend reported on the Richardson Interfaith Alliance Thanksgiving Service stating it was their first public event and it was very successful with approximately 5 different faiths represented.

Councilmember Solomon gave a reminder about the Christmas Parade on Saturday and asked if there was a contingency plan for the weather. Mr. Johnson reported that staff would be monitoring the conditions and communicate any cancellations to the community.

Councilmember Dunn gave a reminder about Santa's Village opening on Saturday evening with the Tree Lighting.

Mayor Maczka gave kudos to the Eisemann Center and Civic and Visitor's Bureau for the booking of *Willie Nelson* with *Asleep at the Wheel* and the Miss Texas Pageant.

EXECUTIVE SESSION

In compliance with Section 551.072 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Deliberation Regarding Real Property
 - Property Considerations in the U.S. 75/Floyd Rd. Area

Council Action

Council convened into Executive Session at 7:55 p.m.

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

Council Action

Council reconvened into Regular Session at 8:29 p.m. There was no action as a result of the Executive Session.

ADJOURNMENT

With no further business, the meeting was adjourned at 8:29 p.m.

MAYOR

ATTEST:

CITY SECRETARY



City of Richardson
City Council Regular Meeting
Agenda Item Summary



Meeting Date: Monday, December 9, 2013

Agenda Item: Consider appointments to the Parks and Recreation Commission.

Staff Resource: Dan Johnson, City Manager

Summary: The City Council met on November 25th to discuss appointments to the Parks and Recreation Commission. This item is set to provide Council the opportunity to take action regarding appointments.

Board/Commission Action: NA

Action Proposed: Take action making appointments to Parks and Recreation Commission.



MEMO

DATE: December 5, 2013
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 13-13 – Palisades PD Code

REQUEST

Larry Good, GFF Planning, representing JP Realty Partners, Ltd., is requesting to rezone approximately 58.5 acres from LR-M(2) Local Retail, TO-M Technical Office, and PD Planned Development to PD Planned Development for the development of a pedestrian-oriented, mixed-use development. The subject property is located on the west side of Central Expressway, generally bounded by Collins Boulevard to the west, Palisades Boulevard and Galatyn Parkway West Extension to the south, and Palisades Creek Drive to the north.

BACKGROUND

In 2006, approximately 39.7 acres of the subject property was zoned PD Planned Development for a mixed-use development to include townhomes, condominiums, retail, restaurant, office, and a full-service hotel.

The proposed PD District is a form-based code similar to those recently approved near the Bush DART Station, and includes the entirety of the 39.7-acre PD plus approximately 18.8 acres which includes two (2) existing office buildings located in the southern portion of the subject property which were constructed in the 1980's and are intended to remain.. The summary section of the staff report (page 10) provides a comparison between the existing entitlements and the proposed entitlements.

The applicant's initial proposal was presented to the City Plan Commission on November 5, 2013 and included the following maximum development rights:

- General Office – 1,500,000 square feet (this in in addition to the existing 457,000 square feet)
- Retail and Service – 200,000 square feet
- Hotel – 300 rooms
- Apartments – 750 units
- Condominiums – 250 units
- Single-family units – 65 units

Residents spoke in favor and opposition to the proposal at that meeting. Much of the opposition was related to an increase in the number of allowed multi-family units, the quality of multi-family construction, school capacity (Prairie Creek Elementary and Aldridge Elementary specifically), and limited access to the Galatyn DART Station. The City Plan Commission continued the zoning case to the November 19, 2013 meeting to allow the applicant time to address the comments made by residents and Commissioners.

The applicant presented a revised proposal at the November 19, 2013 CPC meeting that included several changes including a reduction in the number of multi-family units, prohibiting multi-family units in Dallas County (Richardson ISD), providing minimum unit sizes for dwelling units, prohibition on wood-framed multi-family units along US-75, and the dedication of land area for a future pedestrian bridge over US-75. The following is the revised entitlements presented by the applicant at the meeting:

- No changes proposed to General Office, Retail and Service or Hotel
- Removal of development rights for 250 condominiums
- Reduction of multi-family units (apartments or condominiums) from 750 to 600 with units being prohibited in Dallas County
- Increase of single-family units from 65 to 80

Again, several residents spoke in favor and opposition to the revised proposal, and much of the opposition was still related to the increased number of multi-family units and concern regarding the quality of multi-family construction. The Canyon Creek Homeowners Association spoke on behalf of the neighborhood stating their support although they still had concerns regarding traffic, height proximity slopes from Palisades Creek Drive, unit mix, and the proposed requirement for all multi-family units to be placed in Collin County. Many residents who spoke in opposition stated the HOA statement did not represent their individual view.

The Commission discussed the issues that were raised, specifically the number of proposed units and the requirement for all multi-family units to be placed in Collin County. The Commissioners agreed that a certain amount of residential was necessary for the development to be successful and that construction quality was a concern. However, several Commissioners felt it was unreasonable to require increased construction type (concrete or steel type construction in lieu of wood frame construction) for multi-family units without increasing the number of allowable units. The Commission also decided the multi-family unit distribution should be representative of the land area of the subject property within Dallas and Collin Counties (approximately 62% in Collin County and 38% in Dallas County).

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 7-0, recommended approval of the request as revised with the following two (2) additional conditions to address their remaining concerns:

1. Allow a maximum of 40% of the allowable multi-family units to be located in Dallas County.
2. Require a 3:1 proximity slope from the residential property located north of Palisades Creek Drive.

ATTACHMENTS

CC Public Hearing Notice

City Plan Commission Minutes 11-5-2013 & 11-19-2013

Staff Report

Zoning Map

Aerial Map

Oblique Aerial Looking North

Proposed Code & Regulating Plan

Applicant's Statement

Notice of Public Hearing

Notification List

CCHOA Position Statement (11-19-2013)

Correspondence in Support

Correspondence in Opposition



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: Wednesday, November 20, 2013
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: Friday, November 22, 2013

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:30 p.m. on Monday, December 9, 2013, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 13-13

A request by Larry Good, GFF Planning, representing JP Realty Partners, Ltd., for a change in zoning from LR-M(2) Local Retail, PD Planned Development, and TO-M Technical Office to PD Planned Development for the development of a pedestrian-oriented, mixed-use development on approximately 58.5 acres located on the west side of Central Expressway, generally bounded by Collins Boulevard to the west, Palisades Boulevard and Galatyn Parkway West Extension to the south, and Palisades Creek Drive to the north. The property is currently zoned LR-M(2) Local Retail, PD Planned Development, and TO-M Technical Office.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – NOVEMBER 5, 2013**

PUBLIC HEARINGS

Zoning File 13-13: Consider and take necessary action on a request for a change in zoning from LR-M(2) Local Retail, PD Planned Development, and TO-M Technical Office to PD Planned Development for the development of a pedestrian-oriented, mixed-use development on approximately 58.5 acres located on the west side of Central Expressway, generally bounded by Collins Boulevard to the west, Palisades Boulevard and Galatyn Parkway West Extension to the south, and Palisades Creek Drive to the north.

Note: Commissioner Frederick was recused from Item 7 because she lived within the 200-foot boundary notification for the zoning case. Commissioner Ferrell voted in her place.

Mr. Shacklett advised the applicant was requesting to rezone 58.5 acres from LR-M(2) Local Retail, TO Technical Office, and PD Planned to a new PD Planned Development to accommodate a pedestrian oriented, mixed-use development.

Mr. Shacklett gave a brief history of the property noting that in 2006 a large portion of the area was rezoned to PD for a similar type of development that allowed a mix of uses (i.e., residential, retail, office, etc.); however, it did not include the two existing office buildings. He stated the applicant was proposing to rezone the original PD, the office buildings, and approximately 81,000 square feet of undeveloped land into a new PD with development rights for the undeveloped 81,000 square feet of retail and/or office development.

Mr. Shacklett presented the following graphic comparing the existing zoning versus the proposed zoning and the net increase/decrease in development uses:

	<u>Existing Zoning</u>	<u>Proposed Zoning</u>	<u>Net Increase / Decrease</u>
<u>Residential Uses</u>			
Single-family	121 townhomes	65 units (attached or detached)	-56 units
Condominiums	300	250	-50 units
Apartments	0	750	+750 units

Total	421 units	1,065 units	+644 units
<u>Non-Residential Uses</u>			
Retail/Restaurant / Retail/Service	150,000 s.f.	200,000 s.f.	+50,000 s.f.
Full-Service Hotel	128 rooms	300 rooms	+172 rooms
Office (including 457,000 s.f. of existing development)	698,457 s.f.	1,957,000	+1,258,543 s.f.

Mr. Shacklett stated the proposed Regulating Plan (the Plan) would become the zoning map for the PD, and the Code would control the street designs, sidewalks, on-street parking, build-to zones, building heights, and ground floor requirements among other items. In addition, the Plan would be broken into four sub-districts each with their own specific characteristics.

The first sub-district would be the urban neighborhood located along Collins Boulevard behind a 40 to 80-foot landscape buffer and would include: two-story, thirty-foot single family buildings (attached or detached).

The next three sub-districts would be the outer ring (mixed use); the inner ring (mixed use), and the freeway high rise, all of which would allow retail/restaurant/office development with apartments allowed in outer ring and apartments and/or condominiums in the inner ring and freeway high rise districts. Also within the inner ring will be a 4-acre park surrounded by ground floor activated retail ready spaces in the buildings.

Mr. Shacklett reviewed some of the larger sections of the Code noting in addition to the Plan, the Code would contain the following sections:

- *Administration* - review and approval procedures;
- *Building Form and Development Standards* - build-to zones, setbacks, building heights, frontages, parking, ground floor requirements, etc.;
- *Building Design Standards* - building orientation to the streets, parking structure design, automobile related building site elements, roof form, façade composition, screening and transitions between neighborhoods, etc.;
- *Street and Streetscape Design Standards* – design, configuration and development context for all streets; and
- *Civic/Open Space Standards* – set of standards for open spaces providing a range of passive and recreational opportunities.

Commissioner DePuy asked about the proposed separation between two of the sub-districts and was there additional information regarding a concern mentioned in the staff report about “a more well-designed transition” instead of a screening wall.

Mr. Shacklett replied the applicant was proposing to separate the single family development and mixed-use development with a 7-foot masonry wall with a 2-foot landscape screen; however, the staff expressed concern that the wall was an abrupt change and felt it could cause some issues.

Commissioner Linn asked staff if they considered the property in question to be largely undeveloped; the percentage of undeveloped land in the City; how many condominiums were allowed under the current zoning and would there be reduction in allowed number; the percentage of land in Collin County versus Dallas County; and which school district covered which area.

Mr. Shacklett replied there is approximately 7% undeveloped land remaining in the City including the property in question; 300 condominiums were allowed under the current zoning with the applicant proposing to reduce that to 250; the percentage of land in Collin County was 62% and in Dallas County 38%; and Plano Independent School District (PISD) had jurisdiction in Collin County and Richardson Independent School District (RISD) in Dallas County.

Commissioner Linn pointed out that the applicant in the zoning request for Brick Row (Item 9) had been sitting on their property trying to figure out what the market would bear in terms of the condominiums, but they chose to go a different direction by requesting a change to townhomes. He asked if that same thing happened with the property in question, would the City have any recourse regarding the undeveloped property if the proposed zoning request was approved.

Mr. Shacklett replied that if the proposed zoning request was approved and the property remained undeveloped, the property owners could come before the Commission to request a rezoning of the property.

Commissioner Linn asked if the State Farm development was the template that was used to develop the subject property. He also wanted to know if staff considered the State Farm development a Transit Oriented Development (TOD) and was the proposed zoning request a TOD.

Mr. Shacklett replied the Form Based Code developed for State Farm was a template for the proposed Code, and he did consider both developments to be TOD, but the proposed development not as much as the State Farm development because of the barrier of Central Expressway between the property and the Galatyn Park Station.

Commissioner Roland asked the acreage involved in the State Farm development and how many apartments were planned.

Mr. Shacklett said the State Farm development was 57.1 acres and 2,000 apartments were planned.

Commissioner Maxwell asked where in the Code or Regulating Plan the number of units and maximum square footage was listed. He also wanted to clarify if the multi-family could be in any area other than the urban neighborhood, and what percentage was in Dallas County as opposed to Collin County.

Mr. Shacklett replied the square footage information for office space, retail, hotel, condominiums, multi-family, and single family was listed in the Regulating Plan, and he suggested the applicant might be able to answer the question about percentages of multi-family in the different counties.

Commissioner Maxwell asked if the road proposed in the urban neighborhood was for the exclusive use of the urban neighborhood or could the outer ring mixed use developments access that road.

Mr. Shacklett replied the outer ring mixed use developments would not be able to access the road as bollards would close off the road for exclusive use of the urban neighborhood, which should funnel most of the inner ring traffic to the north and south of out to Highway 75.

With no other questions for Mr. Shacklett, Mr. Carter presented information on the Traffic Impact Analysis (TIA) stating the applicant hired an engineering firm to conduct a TIA resulting in the following trip generation report:

Table 1 – Palisades Trip Generation

Land Uses	Amount	Units	ITE Code	Daily Total	AM Peak Hour			PM Peak Hour		
					IN	OUT	TOTAL	IN	OUT	TOTAL
General Office	1,500,000	SF	710	10,281	1,470	200	1,670	299	1,459	1,758
Shopping Center/Retail	200,000	SF	820	10,656	148	90	238	457	496	953
Single Family Detached Housing	65	DU	210	619	12	37	49	41	24	65
Condominium	250	DU	230	1,427	18	89	107	85	42	127
Apartment/Multifamily	750	DU	220	4,669	74	297	371	280	150	430
Hotel	300	Rooms	310	2,312	94	65	159	92	88	180
Gross Trip Generation				29,964	1,816	778	2,594	1,254	2,259	3,513
Internal Trips				3,084	36	36	72	135	135	270
				<i>10.3%</i>			<i>2.8%</i>			<i>7.7%</i>
External Trips After Internal Capture				26,880	1,780	742	2,522	1,119	2,124	3,243
Transit Reduction 2.5%				672	45	19	64	28	53	81
External Automobile Trips				26,208	1,735	723	2,458	1,091	2,071	3,162

¹ Institute of Transportation Engineers, *Trip Generation: An Informational Report*, Ninth Edition, Washington DC, 2011.

Mr. Carter explained that traffic is generated by each of the land uses at different rates as listed in the Institute of Transportation Engineers Trip Generation Manual. The manual breaks the information down in AM Peak Hour versus PM Peak Hour, and inbound versus outbound. He added that since the proposed project would be a mixed-use development,

there would be a balance between inbound and outbound traffic as opposed to an all office development where all the traffic would be inbound in the AM and outbound in the PM.

Mr. Carter stated there are 29,964 expected trips with some of the trips captured internally between the residential and the office, residential and retail, and office tenants walking to lunch at local restaurants, which allows the development to have internal trips that will not expand out on to the roadway network.

Mr. Carter noted that even though the Galatyn Park Light Rail station was very close, and the Galatyn Overpass connected both sides of Highway 75, the overpass did not have a pedestrian walkway; therefore, traversing the overpass would most likely be done through employer shuttles or through the Galatyn shuttle system instituted by DART and the City of Richardson. He added that when preparing a TIA, the capture rate used for public transportation was usually estimated on the low side so any potential issues with intersection congestion, queuing, and driveways could be identified.

Mr. Carter closed his comments by presenting three conclusions derived from the TIA:

- The proposed PD zoning would result in higher traffic volumes than the existing zoning entitlements because of the increased office and retail uses;
- Adequate provision of access and circulation drives will distribute the traffic to the Arterial and Freeway system minimizing the impact to any specific link on the roadway network; and
- Some traffic mitigation on the Highway 75 frontage road and Galatyn Overpass would be required.

Commissioner Linn asked why there was no pedestrian walkway on the Galatyn Overpass.

Mr. Carter replied that the overpass was constructed prior to the light rail system, and there had been discussions about adding a separate pedestrian structure over Highway 75, but that would have to be a future consideration.

Commissioner Linn asked if staff felt the proposed development would be accessible by pedestrians coming from or going to the transit station.

Mr. Carter replied the proposed development would not be accessible to the light rail station by pedestrians unless they participated in Galatyn shuttle system.

Vice Chair Bright asked what were the hours of operation for the Galatyn shuttle.

Mr. Carter replied the shuttle was operated for four hours in the morning (6:00 a.m. to 10:00 a.m.), and four hours in the afternoon (3:30 p.m. to 7:30 p.m.).

Commissioner Maxwell if there was transit data available for the existing two office buildings.

Mr. Carter said that shuttle contractor provides daily ridership numbers, but he did not have those numbers available. He added that staff looks at the numbers quarterly and based on those numbers adjustments are made to the routes.

Chairman Hand asked what would be necessary to build a pedestrian walkway on the existing overpass. He also wanted to know if there was any information available on the possible expansion of Highway 75.

Mr. Carter replied that six years ago a study was done for the City by a consultant to determine if it would be more cost effective to expand the existing overpass or build a separate pedestrian structure and it was determined that a separate structure would be better, but costs would still be in the \$6 to \$7 million range.

Regarding expanding Highway 75, Mr. Carter reported there is currently a study underway by the Texas Department of Transportation (TxDOT) for expanding Highway 75 from Highway 635 north to the State Highway 121 in the City of McKinney. He noted that any widening of Highway 75 would require additional right-of-way on one or both sides of the highway (from 1-foot to 100 feet) and although the proposed project had not taken that into consideration, he felt there was no need to do so because an expansion was at least twenty years in the future.

Commissioner Maxwell asked for zoning information on the properties at the northeast corner of Palisades Creek Drive and the southbound frontage of Highway 75.

Mr. Shacklett replied the two parcels were zoned Local Retail and Technical Office which would allow buildings with up to eight stories and FAR .5 to .75.

With no further questions for staff, Chairman Hand opened the public hearing.

Mr. Mark Jordan, JP Partners, 6609 Shady Creek Circle, Plano, Texas, stated his company, in partnership with GE Capital and KBS Capital Market Group, purchased the Palisades office buildings and vacant land two years ago and thought the highest best use for the land would be a mixed use development.

Mr. Larry Good, GFF Architects, 2808 Fairmount Street, Dallas, Texas, thanked the staff for a thorough presentation and stated he felt the proposed rezoning request was an important and strategic moment for the City. He stated his client's vision for the property was to create a corporate address that offers amenities of the highest quality including green space, restaurants, retail services, and nearby residences in a vibrant mixed-use environment.

Mr. Good said the current entitlements did not provide enough office space and the awkward placement of condominium buildings detracted from the development. Conversely, the proposed development will be a quality project and was modeled after other local pedestrian

oriented developments in the metroplex – Legacy Town Center, Addison Circle, and Las Colinas Urban Center.

Mr. Good pointed out that in an outreach to the surrounding community, charettes were held over a year ago to allow neighborhood input which resulted in the following suggestions:

- Create a civic oriented open space; limit the access to Collins Boulevard;
- Create an appropriate buffer on the west side of the property (single family structures with low heights);
- Establish a height-slope cone - start at 2 stories along Collins Boulevard and use a 3:1 proximity slope to allow buildings to get taller as they move to the east;
- Create a high hurdle regarding the ability to develop multifamily – allowed only in mixed-use buildings of a minimum 4 stories in height;
- Work with the City to promote a connection to DART; and
- Improve the trail system and connectivity to the Spring Creek Trail

Mr. Good answered the earlier question regarding a wall separating two of the sub-districts by suggesting a low wall with wrought iron on top to delineate those areas without having a confining feeling which would be proper in an environment that was pedestrian oriented.

Regarding a question from the briefing session about why 6 stories and 75 feet, Mr. Good replied the maximum height was chosen for the outer ring, mixed-use area based on having the Plan relate to the City's existing Building Code. He added that the proximity slope would not allow 6 stories, 75 feet unless the building was further from the boundary line of the adjacent residential area.

Commissioner Linn asked if during the charettes was connectivity to DART listed a priority and was a representative from DART ever asked to address the community during the charette.

Mr. Good replied that both pedestrian and bicycle connectivity to DART was listed as a priority, but a representative from DART was not invited to speak. He added that he had called the Director of Economic Development from DART to discuss a pedestrian bridge over Highway 75.

Commissioner Linn quoted from a section from the Code regarding access to Light Rail and the objective of the development becoming a major regional employment center, but he asked if the author of the section knew the Galatyn Overpass did not have a pedestrian walkway. He also noted the standards for access to public transportation in Texas was a quarter mile because of the areas inclement weather, but felt the shuttle system would be helpful in that respect.

Mr. Good replied they knew there was no pedestrian access, and maybe that section should have referred to a future walkway. He added they had always drawn the connection to the public transportation on the Plan in hopes that it would be constructed in the future.

Commissioner Linn asked if any of the projects mentioned as models were in close proximity to single family residences. He also wanted to know about the width of the sidewalks planned for the development.

Mr. Good replied that Legacy Town Center, Addison Circle and Las Colinas Urban Center all approximately one mile from single family residences.

Regarding the sidewalks, Mr. Good said the sidewalks would be 10 feet gross which would be six feet unobstructed taking into consideration the portion of the sidewalk used for street trees, light poles and possibly outside dining.

Commissioner Linn asked if food trucks would be allowed in the urban park, and for more information regarding the projections for school aged children in the development

Mr. Good replied that the urban park should have all the characteristics of Klyde Warren Park in Dallas with food trucks, outdoor music and special events.

Regarding school-aged children, Mr. Good said they had engaged the company of Alvarez and Marsal to research what percentage of the two bedroom apartments would have children. The research used not only RISD and PISD, but also Frisco Independent School District and the results noted that approximately 50 percent of the two bedroom units had children; 80 percent of three bedroom units had children; and of the two and three bedroom units, 68 percent would be school aged with approximately 1.4 children per unit. Therefore, using that information and applying it to the 750 multi-family units and 250 condo units, the number of school-aged children would 164.

Commissioner Linn read into the record a statement from RISD stating the district's estimate would be between 160 and 213 children.

Mr. Good continued his presentation noting that much of the land in Dallas County is already developed in the two existing office buildings, or it is along the freeway, which would not be a likely location for multi-family development. That being the case, the majority of the units with children will be in Collin County or PISD.

Chairman Hand asked if the statistics being mentioned were based on the opening day of the development or further down the road. He also wanted to know if the illustrative site plan was part of the ordinance.

Mr. Good replied that the consultant used developments that ranged in age from six months to 15 years that were in a similar environment and did not use older, less expensive garden style apartments because that would not be equal to what was being proposed.

Regarding whether the illustrative plan would be part of the ordinance, Mr. Shacklett replied that it would not be part of the ordinance. Mr. Good added that an illustrative plan was done as a demonstration to show that the proposed multi-family, single family and office buildings were feasible on the property.

Commissioner Linn asked if the applicant would consider removing the requested 750 apartment units from their proposal and only build the currently approved 300 condominium units.

Mr. Good replied that he would not consider removing the apartments from his proposal.

Commissioner Roland asked for confirmation that 38% of the students would be going to RISD and 62% would be going to PISD. He added that almost all of the correspondence received by the Commission was concerned about the impact on schools in RISD.

Mr. Good replied that much of the land in Dallas County that would impact RISD, was already encumbered by the existing two office towers and located along freeway, which would be an unlikely location for multi-family.

Chairman Hand noted that some of the correspondence received was also concerned with the impact on PISD as well.

Commissioner DePuy pointed out the information presented to the Commission did not mention three bedroom units and asked if there would be any available in the multi-family buildings.

Mr. Good replied that the material presented was the minimal residential unit sizes and the information was not part of the ordinance, but was prepared as a point of discussion. He added that they expected approximately 5% of the units in the multi-family to be three bedrooms and 25% in the condominiums.

Vice Chair Bright said he understood the illustrative plan was not part of the ordinance, but asked where on the plan the county line would fall as it related to the proposed multi-family and single family housing units.

Mr. Good pointed out the county line would bisect the development in the urban neighborhood and mixed use areas which would affect approximately 150 multi-family units as well as some of the single family units. He added that the condominium tower would be located in Collin County.

Chairman Hand noted that although the illustrative plan did not show residential units in freeway/high rise area, he thought the ordinance would allow that.

Mr. Good replied that was correct, if approved, the ordinance would allow residential units in the freeway/high rise area.

Commissioner Ferrell asked if there was a timeline or phasing for the proposed project.

Mr. Good that Phase I would be all the single family along Collins Boulevard, the urban park, repositioning of the southern half of the ring road, the two tracts west of the ring road, and any ancillary development on the Palisades II side; a possible second office building.

For Phase II, the development would be split between the inner and out ring mixed use saving the freeway frontage for last. In terms of length of time, it should take 5 to 10 years.

Commissioner DePuy wanted to know the applicant's thoughts on the sale of the proposed condominiums based on the existing market.

Mr. Good replied the way the ordinance was written, the 250 units have to be in a 12 story tower because it is very difficult to market three or four story mid-rise condos and they have never been very popular.

Commissioner Maxwell asked if staff has forwarded information to the applicant the lessons learned from the planning and ongoing development of Bush/Central. He also wanted to clarify the floor to floor heights.

Mr. Shacklett replied yes and it was reflected in the Code.

Regarding the floor to floor heights, Mr. Good said the ground floor retail-ready uses would be at 15 feet as a logical floor-to-floor height because they tend to be smaller spaces (office or small retailer), but emphasized those heights were a minimum and could be changed. He added the majority of the residential projects they were developing had 10-foot ceilings which translated to 11 feet, 8 inches floor-to-floor, therefore, it provided flexibility when developing the project.

Chairman Hand asked if the time line was part of the ordinance and staff responded that it was not.

Mr. Ross Lyle, 2311 Custer Plaza, Richardson, Texas, said he was a long-time resident of the City and although he was sensitive to issues regarding the schools in the area, felt the development would enhance the home values in the neighborhood.

Mr. Chris Phillips, 217 Long Canyon Court, Richardson, Texas, read into the record a statement from Marilyn Frederick, an area homeowner, asking for a reduction in the number of condominiums and apartments, a distribution of single family residential into Collin and

Dallas counties, and an increase in the minimum square footage for condominiums and apartments.

Mr. Phillips then stated that although the proposed plan was not perfect, he felt it was a strong plan and would create a vibrant mixed-use environment. He did think the developer should help fund a pedestrian bridge over the highway and suggested fewer apartments or a 55 and older community.

Mr. Hank Mulvihill, 8 Lundy's Lane, Richardson, Texas, stated he was in support of the proposal and thanked the developer for not parceling and selling off the property.

Mr. Chip Pratt, 2700 W. Prairie Creek, Richardson, Texas, said in principle he was in support of what the developer was trying to do and their efforts in reaching out to the community, but had concerns with the height slope and struggled with the need for so much multi-family. He pointed out that limits on the size of retail were not included in the Code because he did not want to see any big box retail.

Commissioner Linn asked if Mr. Pratt was for or against the development as a whole but wanted to see better development standards for the multi-family.

Mr. Pratt replied that he felt enhanced development standards for the multi-family should be part of the Code and suggested continued diligence was needed to understand what would be the right quantity of multi-family units.

Mr. Scott Jessen, 4428 Creek Bend Circle, Richardson, Texas, explained he was a long time resident of the City with his children attending PISD, and that two of his clients had offices in the City, both of which were in close proximity to the proposed development and both were in favor. He pointed out that live, work and play developments were very attractive to younger generations, empty nesters, as well as employees from the adjacent office buildings.

Mr. Jessen noted that one of his clients has previous business dealings with Mr. Jordan and they were confident that any development he was proposing would be of the highest quality. In addition, he acknowledged that traffic would be a concern, but stated the completion of the extension of the Galatyn Overpass would provide good access in all directions. He did offer a warning that cutting back on the residential component, in his opinion, could put the development at risk.

Chairman Hand recessed the public hearing for a five minute break.

Chairman Hand called the public hearing back into session and Mr. Pratt returned to the podium to speak on behalf of the Canyon Creek Homeowners Association (CCHOA).

Mr. Pratt stated the board of CCHOA agreed in concept with the vision of the project and was hoping for a development of the highest quality in design, materials and amenities. He added that the concerns communicated to developer over the past fifteen months were three

fold: 1) how to guarantee a high quality project; 2) how to ensure a balanced development time line so it will be built out as a mixed-use development as opposed to just a stand-alone apartment complex with a wait and see approach for the retail and the office; and 3) how to limit the impact the impact of multi-family.

Commissioner Linn asked how many homes were represented by the CCHOA and Mr. Pratt replied that approximately 2,800 homes in both Canyon Creek and Prairie Creek.

With no further comments in favor, Chairman Hand called for comments in opposition.

The following individuals spoke in opposition to the proposed development expressing concerns regarding: the impact on already “at capacity” schools, increased traffic and impact on existing bicycle lanes, adverse effect on home values, degradation of the neighborhood, increase in crime, water supply, over-abundance of multi-family already built or coming on line, and problems with selling patio homes surrounded by apartments.

Mr. Todd Franks, 207 High Canyon Court, Richardson, Texas, 75080
Mr. Kevin Chumney, 447 Crestover Circle, Richardson, Texas 75080
Mr. Brian Bolton, 200 High Canyon Court, Richardson, Texas 75080
Mr. Tim Manders, 416 Highbrook Drive, Richardson, Texas 75080
Mr. David Schafers, 28 Creekwood Circle, Richardson, Texas 75080
Mr. Scott Sedberry, 2215 Eastwood Drive, Richardson, Texas 75080
Mr. Charles Fell, 423 Ridgecrest Drive, Richardson, Texas 75080
Ms. Liz Damiello, 316 Crestover Drive, Richardson, Texas 75080
Ms. Patricia Simmons, 2 Roundrock Circle, Richardson, Texas 75080
Mr. Bob Navarrete, 210 Crooked Creek Drive, Richardson, Texas 75080
Ms. Michele Hamaker, 2309 Lawnmeadow Drive, Richardson, Texas 75080
Mr. Bob Reid, 2605 Stoney Circle, Richardson, Texas 75080
Mr. Mike Kilgard, 205 Crooked Creek, Richardson, Texas 75080
Mr. Bob Kaiser, 208 Long Canyon Court, Richardson, Texas 75080

In addition to those who spoke, the Commission received 4 appearance cards in support of the proposed development and 48 opposed.

With no further comments in opposition, Chairman Hand called for any questions from the Commission.

Commissioner Linn asked the applicant if there was any number of multi-family units he would be willing to reduce that would be acceptable to the community and the developer.

Mr. Good replied that he might be willing to reduce the number, but he was not ready to propose a number during the meeting. He added that he thought future discussions could focus on the number and location but did not want to negotiate during the meeting from the podium.

Chairman Hand asked to view an earlier slide from the presentation regarding the CCHOA.

Mr. Good replied the slide in question about construction/design standards and minimum residential unit size was generated by suggestions from the CCHOA and staff. He added that the suggestion of prohibiting “no wood frame Type III or Type V construction permitted in the freeway high rise sub-district” would ensure a higher quality of construction.

Commissioner DePuy stated she understood the draw of RISD and the values of the neighborhoods, but reminded everyone the Commission was charged with considering what was best for the City in order to help Richardson grow and thrive. She said she wanted the homeowners and developers to be happy with the final project and suggested further negotiations.

Ms. DePuy also spoke to the influx of corporate residents coming into the City and the need for places for those residents to live and said apartments would be a viable option.

Chairman Hand asked the applicant to compare his earlier statement of “corporate office address of highest quality” and his later comment that some things had not been codified in the development. He also asked the applicant to address some of the concerns expressed by the neighborhood about how to ensure the development would be of the highest quality.

Mr. Good replied that when he said something was not codified pertained to matters of interior finishes, but there was a lot of quality written into the ordinance by such items as public realm streetscapes (sidewalks, trees, etc.), and concealment and/or elevations of parking garages.

Chairman Hand stated Commission realized the proposed guidelines were similar to those that had been passed for Bush/Central, but he had concerns about some aspects of the proposal, specifically the wall between the urban neighborhood and outer ring and how it seemed contradictory to a development that was supposed to be pedestrian friendly and walkable.

Mr. Good replied that it was an expectation for the building typology for the urban neighborhood to have some degree of separation from the next tier of uses. He asked the Commission to remember that the next tier would not necessarily be multi-family because it was listed as office or multi-family, in which case, from an office development perspective, you would want more separation than from a slightly higher density residential development.

Chairman Hand asked for further explanation on the bollards proposed at the boundary of the outer ring mixed use and urban neighborhood areas.

Mr. Good replied that during the charette the community made it clear they did not want direct access from Collins Boulevard into the core of the development. He added that the original proposal to permanently block the access was changed with a suggestion from the

community to install a temporary barrier that could be easily removed in the future if the community decided they wanted direct access.

Commissioner Maxwell said that blocking the access made some sense but wanted to know how drivers would be made aware they could not access the retail or office components.

Mr. Good said signage would be installed stating there was no through access; however, he reminded the Commission that Palisades Creek Drive on the north and Palisades Boulevard on the south would still allow access to the inner ring.

Chairman Hand asked if 500 apartments were part of the discussion in the charettes.

Mr. Good replied he did not think a definitive number was ever proposed.

Commissioner Springs asked if a 55+ community was every considered.

Mr. Good said he did not think age restricted housing was viable as part of the solution and felt active empty nesters would be more attracted to the townhomes and condominiums.

Commissioner Linn asked for further explanation of the phasing and time line of the development.

Mr. Good replied the townhomes, zero lot line single family homes, the park, the two northern tracts of the inner ring mixed-use (could be office or multi-family), and the completed development of the Palisades II (office building and garage) would be in Phase I. In Phase II, the northern half of the central core and the southern outer ring mixed would be completed with the freeway high-rise saved for Phase III.

Regarding a time line, Mr. Good said the urban neighborhood would start as soon as the request was approved with Phase II Part A starting in 18 months to two years and Phase II B following a year after Part A is started. Phase III would be in development within 5 to 8 years after the start of the project. He added that the phases were conditional on market forces because if a client wanted to have the freeway high-rise office buildings first, then they would begin the development with that project.

Commissioner Maxwell asked if additional meetings with CCHOA could be fruitful.

Mr. Good said he thought negotiations were at a standstill since a comment was made from one of the speakers in opposition that Mr. Pratt's comments on behalf of the CCHOA did not speak for all the homeowners. He thought the solution would be provided by the Commission and City Council.

Commissioner DePuy asked what the applicant perceived as the amount of residential needed to balance the retail.

Mr. Good replied that a nationwide statistic shows that 14 square feet is required per person, therefore, if 2,000 residents are living on the property that would only support 28,000 square feet of retail. The truth is, it is a neighborhood thing and takes into consideration all the residents north of Campbell, south of Highway 190, and west to Coit Road to support the proposed 200,000 square feet of retail.

Commissioner Roland asked if the applicant knew how many apartments were in the Watters Creek development in Allen. He noted that when he frequents the area parking is at a premium, which seems to indicate people other than residents are supporting the retail shops.

Mr. Jordan replied there are 550 apartments.

Chairman Hand explained that even though they had sympathy for neighborhoods and their concerns about schools, the Commission has been charged with looking at zoning or rezoning requests in a technical, long-range, land use perspective. He added that there are more Fortune 500 companies headquartered in the State of Texas than any other state in America so what the City does with that growth is important.

Mr. Hand said he could not think of a better address than the Palisades to put high-end, high rise residential units (condos and/or rental) and felt the adjacent neighborhood would add to the attractiveness of the project. He added that he would encourage the applicant to move into Type 1 construction throughout and pursue a pedestrian link across the highway to make the development the high profile, iconic development it should be.

Commissioner DePuy stated higher end condos sell very well and are very viable and suggested maybe increasing the number to make the project more viable.

Commissioner Maxwell thanked everyone in the audience for their attendance and said he agreed with Mr. Hand's comments about the quality of construction and the Commission's sympathy for the neighborhood and their concerns, but also agreed that the project would be a very good fit for the City. He suggested that issues other than land use might be something for the City Council to address.

Vice Chair Bright said he liked the comments from one of the speakers regarding balance between support for the schools, support for property values, as well as giving the City a high quality product. He felt the suggestion for Type I construction was a way of achieving quality construction, and supported the project as a whole, but felt there was more work needed to address some of the issues before he could support the overall proposal.

Commissioner Ferrell stated using Watters Creek as an example of high end, Type I construction, and a mixed-use type of development, he did not think the proposed project needed higher density residential to support the retail. He suggested 400 to 450 residential units would be more appropriate.

Commissioner DePuy commented that she supported one of the speakers concerns about selling single family dwellings adjacent to multi-family units and thought that should be

taken into consideration. She asked if the applicant compromised on the number of multi-family units, would that change the transition between that area and the single family area.

Regarding concerns expressed about overcrowding and enrollment at the local schools, Ms. DePuy thought it might be something that needs to be addressed separate from the current project and suggested the neighborhood address those concerns with RISD.

Chairman Hand asked how the bullet point from the CCHOA comments about no wood frame construction from the freeway high rise to the inner/outer rings would affect the applicant's business plan.

Mr. Good said that maybe a change in the percentage of wood frame versus Type 1 might be acceptable, and the direction being provided by the Commission was excellent, but further discussion with his client was needed.

Chairman Hand warned that limiting the number of residential units could have an adverse effect on the retail and used the Brick Row development as an example, but suggested that putting the density on the proposed site and raising the quality might limit the impact on the area schools.

Mr. Chavez reminded the Commission during the zoning for the Bush/Central development the form based code required a minimum of 50% of concrete and steel construction and that could be an item to discuss with the applicant on the proposal project.

Commissioner Linn stated he was not a fan of the multi-family as proposed or the lack of connectivity to the DART station and thought continuing the item might be a good idea.

Commissioner Roland said his first opinion was to vote against the proposal because of the number of multi-family units, and thought it was incumbent on the Commission to provide the applicant with the number of multi-family units that would be acceptable. He also reminded the audience that although their concerns are important to them at this time, the Commission needs to look long term at what is highest and best use for the land in the City.

Chairman Hand stated that if the Commission decided to continue the meeting, the item would most likely come back at the November 19, 2013 meeting.

Mr. Chavez pointed out that looking at the amount of information and discussion from the meeting he did not think two weeks would be enough time and suggested either December 3rd or December 17th.

Mr. Good objected to waiting until the December meetings and asked that if the item was continued that it be continued to the November 19th meeting.

Chairman Hand closed the public hearing and called for a motion.

Motion: Vice Chair Bright made a motion to continue Zoning File 13-13 to November 19, 2013; second by Commissioner DePuy.

Commissioner Maxwell pointed out that the public hearing had not been closed and asked if it should be closed.

Chairman Hand asked staff if the public hearing was closed could additional testimony be taken at another meeting.

Mr. Chavez replied that taking additional testimony would be up to the discretion of the Chairman.

Motion approved 7-0.

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – NOVEMBER 19, 2013**

PUBLIC HEARING

Zoning File 13-13 (continued from November 5, 2013): Consider and take necessary action on a request for a change in zoning from LR-M(2) Local Retail, PD Planned Development, and TO-M Technical Office to PD Planned Development for the development of a pedestrian-oriented, mixed-use development on approximately 58.5 acres located on the west side of Central Expressway, generally bounded by Collins Boulevard to the west, Palisades Boulevard and Galatyn Parkway West Extension to the south, and Palisades Creek Drive to the north.

Note: Commissioner Frederick was recused from Item 7 because she lived within the 200-foot boundary notification for the zoning case, but before leaving the Chamber wished all a blessed Thanksgiving and Happy Chanukah. Commissioner Ferrell voted in her place.

Mr. Shacklett reminded the Commission the case was a continuation from the November 5, 2013, meeting and was a request to rezone 58.5 acres from LR-M(2) Local Retail, PD Planned Development, and TO-M Technical Office to PD Planned Development for the development of a pedestrian-oriented, mixed-use development. He added the current zoning, approved in 2006, was for a similar mixed-use type of PD (39.7 acres) with the remaining 18.8 acres containing the two existing Palisades office buildings as well as 81,000 square feet of undeveloped land zoned for office and/or retail.

Mr. Shacklett reviewed a graphic (table) showing the net increases and decreases and the revisions made by the applicant after the previous meeting on November 5th. He pointed out the items shown in red were from the last meeting with the numbers in black represented the revised request, and noted that the “Multi-family units” could be a mix of apartments and/or condominiums.

Development Rights Comparison

	Existing Zoning	Proposed Zoning	Net Increase/ Decrease
<u>Residential Uses</u>			
Single-family	121 townhomes	65 /80 units (attached or detached)	-41 units
Condominiums	300	250 /0 units	-300 units
Apartment / Multi-family units	0	750 /600 units	+600
Total	421 units	1,065 /680 units	+259 units

<u>Non-Residential Uses</u>			
Retail/Restaurant / Retail/Service	150,000 s.f.	200,000 s.f.	+50,000 s.f.
Full-Service Hotel	128 rooms	300 rooms	+172 rooms
Office (including existing 457,000 s.f. of development	698,457 s.f.	1,957,000	+1,258,543 s.f.

In addition to the changes made to the requested development rights, Mr. Shacklett reviewed changes to the Code based on comments made at the November 5th meeting:

1. Reduce maximum number of multi-family units from 750 to 600 (*the 600 units could be apartments and/or condominiums*)
2. Remove development rights for 250 condominiums
3. Prohibit multi-family units within Dallas County (*feeds into RISD*)
4. Increase maximum number of single-family units from 65 to 80
5. Allow single-family units in Dallas County portion of Outer Ring Mixed-Use sub-district (*as a result of item 4*)
6. Provide minimum unit sizes for all dwelling units in the Code (*codified in the PD*)
7. Restrict wood-frame construction for multi-family in the Freeway High Rise district
8. Dedicate specific land area near US 75 frontage and US 75 entry for pedestrian bridge (*40' by 80'*)
9. Change design standards for wall between Urban Neighborhood and Outer Ring Mixed-Use sub-districts (*3' masonry wall with 4' wrought iron on top*)
10. Remove 3-tab shingles as allowable roof material in Urban Neighborhood sub-district (*would allow for architectural shingles*)

Mr. Shacklett concluded his presentation noting that 133 letters and correspondence in opposition for both the November 5th and November 19th meetings had been received.

Chairman Hand asked if the Urban Neighborhood district would have alley-loaded homes.

Mr. Shacklett replied that the illustrative plan was showing an option for the fronts of the homes to face upon a greenbelt instead of a street; however, entry would be from the alley. This was mentioned to make sure there was language in the Code that would allow something similar because of the presentation on November 5th.

Commissioner Linn asked where wood frame constructed, multi-family units would be allowed and what type of construction would wood frame fall under.

Mr. Shacklett stated wood frame construction would be considered Types 3 and 5 and the multi-family would only be prohibited in the Freeway High Rise sub-district.

Commissioner Linn asked if any plans had been developed to incorporate a pedestrian walkway into the Galatyn Overpass since the November 5th meeting.

Mr. Shacklett replied that he was not aware of any plans.

Vice Chair Bright asked if staff had any data regarding pedestrian bridges over highways in conjunction with Transit Oriented Developments.

Mr. Titus replied that pedestrian bridges were not a very common occurrence and the most local example would have been the bridge over Highway 635 in the Rosser area, but that was built for school children and is now gone.

Chairman Hand noted that the Public Hearing had been closed at the November 5th meeting, but since there was new information to present, he invited the applicant to address the Commission.

Mr. Mark Jordan, JP Partners, 6609 Shady Creek Circle, Plano, Texas, stated he had spent the last two weeks working on the zoning request and meeting with area residents. He added that since the purchase of the property two years ago, approximately \$2,000,000 had been spent renovating the existing Palisades office buildings, which had resulted in leasing a little over 150,000 square feet.

Mr. Jordan acknowledged that many of the concerns expressed at the earlier meeting were over the quality of construction and he wanted to assure the Commission that what would be built would be first class. He added they would present information on Type 1 construction and the pricing and said everyone in the City would be proud of the final results.

Mr. Larry Good, GFF Architects, 2808 Fairmount Street, Dallas, Texas, stated the changes they were proposing were in response to the comments made at the November 5th meeting and, although they may not be 100% of what was suggested at the last meeting, the changes were their attempt to find a common ground. He complimented the staff on their presentation of the proposed changes and said he was available for any questions.

Chairman Hand asked the applicant to review the bullet points on the Development Rights Comparison table.

Mr. Good gave the following summary of the proposed changes:

- Multi-family units would be reduced from 1,000 to 600 and that use would not be a permitted use in the Dallas County area of the project so as not to impact Richardson Independent School District (RISD);

- Land would be dedicated for a pedestrian bridge over the highway with the understanding that JP Partners could not force Texas Department of Transportation (TxDOT) to construct the structure;
- Increase the number of single-family units from 65 to 80 on the land that was originally designated for multi-family units;
- Change the wall design between the Urban Neighborhood area and the Inner Ring.
- Removal of the 3-tab roofing in the Urban Neighborhood area;
- No wood frame permitted in Freeway High Rise sub-district because that area was anticipated to be office, hotel or similar use;
- Residential minimum unit sizes

Commissioner Linn asked why Types 1 and 2 construction was not included. He also wanted to know how the remodel of the existing Palisades towers had impacted the occupancy rates.

Mr. Good pointed out that nothing prohibited Type 1 and 2 construction, and those types of construction were not being ruled out, but he was suggesting that the added construction costs of those types of construction would not be supported by the rents that could be charged now or in the near future.

Regarding the impact of remodeling the existing office buildings, Mr. Jordan said the remodeling of the buildings was a contributing factor, but the market was driven by supply and demand and currently in the City the market had tightened so the need for office space had increased. He added they had leased a little over 200,000 square feet between the existing office buildings and the other three properties owned by his company on the east side of the highway (originally 40 percent occupied, now 80 percent occupied).

Commissioner Linn asked if the applicant thought, given the current market, the proposed 20 story office building could be leased out. He also asked about the other companies involved in the proposed project.

Mr. Jordan replied that he had conversations with a company that was very interested in a build-to-suit, high-end building. He added that the planned entertainment and housing components of the proposed project were an important factor for the prospective client.

Mr. Jordan said in addition to the 28 office buildings he personally owns, his partners include KBS - a publicly traded real estate investment trust (REIT), Strategic Opportunity Fund II, and GE Capital.

Chairman Hand noted that at a Urban Land Institute event, Texas was touted as the single greatest investment, housing and employment market in the nation and he wanted to know how that would translate into a timeline for upscale rents in the proposed property.

Mr. Jordan replied that if the proposed office units were to come on line now, the cost would most likely be \$1.60 per square foot, but in a year the cost could increase to approximately

\$1.65 per square foot. He added that a development with rents similar to the rates Uptown in Dallas was probably not the highest and best use for this property, and although they were not ruling anything out, he felt the rental rates for the proposed project would be less.

Chairman Hand asked if the applicant thought the bulk of the planned retail would be restaurants.

Mr. Jordan said there would be specialty shopping, but the bulk would be entertainment dining.

Chairman Hand called for a short recess and reconvened the meeting five minutes later. Before allowing any further comments, Chairman Hand asked those who wanted to speak to restrict their comments to the changes proposed by the applicant.

Mr. Jeremy Thomason, 3301 Canyon Creek Drive, Richardson, Texas, speaking on behalf of the Canyon Creek Homeowners Association, stated they had hosted a focus group meeting and, although a complete consensus on such a complex issue was not possible, they offered the following as the position of the CCHOA board as a whole, and not any individual view:

Our desire is for a project of high quality design and materials commensurate with the residential redevelopment Canyon Creek is currently experiencing that will stand the test of time to maintain high quality tenants as a commercial success.

JP Partners has incorporated many features that contribute to this:

- *Pedestrian access from Collins and Palisades Creek*
- *A green belt and trail along Collins,*
- *A single family residential buffer between the existing neighborhood and the new development*
- *Street alignments that focus the traffic towards 75, the access road, and Galatyn Overpass*
- *A building height proximity slope limiting the height of new construction along Collins and Palisades Creek, and focusing height along Collins*
- *Quality improvements like the removal of 3 tab shingles*
- *A central park with water/green space surrounded by pedestrian friendly retail.*

The Multi-Family component of the proposal is a key area of concern. We applaud the reduction in the request from 1000 to 600 units. Our desire is for the minimum number of units necessary for the long term success of this site. Our neighborhood has serious reservations for any multi-family request that exceeds the current entitlement in place today. It is our view that it is in the best interest of Canyon Creek to distribute the multi-family across Dallas and Collin Counties.

As proposed this is a mixed use development, with densities suggesting a TOD development. We strongly support requirements which will guarantee a mix of uses and that do not allow

the full entitlement of housing, retail or office to be built without a balance. We also support and applaud efforts to provide the pedestrian bridge, which is fundamental for this site to be considered TOD, without it, the densities requested is hard to justify. A reduction in office entitlements should be considered until such a time or contingent on the bridge being built.

The traffic study illustrates some key areas of concern that hit E and F Service levels at projected build out. These are primarily on Renner and Campbell at and near 75, and on the 75 access road of Galatyn. There are 2 ways to address this, limit the entitlements to only load the infrastructure to acceptable levels, or develop a plan to modify the infrastructure to support the additional load. The traffic is dominated by the office, so if entitlement limits are part of the solution, office capacity is the place to look.

Our driving motivation is to guarantee a quality development that is an asset to the city and neighborhood, while minimizing any negative impact on our schools, and avoiding gridlock on our streets. We would ask that CPC consider these seriously as they make suggestions and deliberate on their recommendation to council.

There are a handful of details we would like to address specifically:

- 1. Expansion of acceptable uses in the outer ring should not be limited to Dallas County.*
- 2. Just as there is a height restricting proximity slopes along Collins to respect the adjacent neighborhood, the same slope should be applied to Palisades Creek.*
- 3. Minimum sizes for multi-family units are codified; there are no mixes of sizes codified. With efficiencies set at 525 sq.ft. we would certainly not want this size to be the majority of units*
- 4. For the single family product, there is a recommendation in the code that these would back up to Collins. What does this mean and what would it look like? Directly related, for the office, retail and multi-family products, there is a good visual vocabulary in the code for building material, façade composition, windows and doors, massing and scale etc. this is not present for single family and should be included to provide a view of what this product will be.*
- 5. It is our understanding that the inner streets will remain private. What provisions are included to provide for maintenance and upkeep such as escrow?*
- 6. There are 3 permitted uses still in the code that do not seem appropriate for this space; Cinema, Funeral home, and church.*

Mr. Chris Harrington, 14 Forest Park Drive, Richardson, Texas, speaking on behalf of the CCHOA board, said after the November 5th meeting he contacted Principle Stuard of Prairie Creek Elementary and was told the third grade at the school was full, but the other grades had room for 4 more students each. In addition, he spoke with Tim Clark, Director of Communications and Public Affairs for RISD who said if at some point Prairie Creek Elementary became full, RISD had a system in place to evaluate whether expansion of the school made sense, and, in fact, that had been a consideration for the current school year, but

the enrollment fell short of what had been projected so the subject had been tabled pending consistent increases to the student body.

Mr. Chris Phillips, 217 Long Canyon Ct., Richardson, Texas, stated he was a real estate professional with experience in commercial and multi-family and was happy to see the concessions made by the applicant; however, he was not in favor of having all the multi-family in Collin County. He asked the Commission to take into consideration that enrollment was cyclical and planning should be based on the future, and to consider the fact that the project would bring many jobs into the City.

Commissioner DePuy asked if the speaker wanted to have the multi-family spread across both counties.

Mr. Phillips said he thought it was not fair to load all the multi-family into one school.

Mr. Hand Mulvihill, 8 Lundy's Lane, Richardson, Texas, said he concurred with the previous speakers and pointed out there is a pedestrian bridge in the City of Denver on highway I-25 South that is used by pedestrians throughout the year to get to the Denver Light Rail system.

Mr. Jeff Gustafson, 5665 Arapaho Road, Richardson, Texas, stated he too was a real estate professional and concurred with the previous speakers. He pointed out the developer had said he was meeting with a client who wanted a class "AA" building which could set a higher mark for rental rates in the City. Mr. Gustafson encouraged the Commission to approve the development and do it in a timely fashion because delays could kill the deal.

Mr. Scott Jessen, 4428 Creek Bend Circle, Richardson, Texas, stated he had real estate clients in the Palisades who wanted a first class quality product and felt the updates already made to the Palisades office buildings by Mr. Jordan were testimony of what he was planning to do with the new project. He also asked the Commission to take into consideration the fact that Mr. Jordan had already invested over \$3,000,000 into the properties in the area which indicated that he was not going to build a sub-standard project.

Commissioner Linn asked if the speaker thought the costs per square foot and the occupancy rates quoted by the applicant were accurate.

Mr. Jessen replied that he was not a multi-family real estate professional, but the \$1.40 to \$1.60 for the multi-family was what he heard was the going rate. He added that when Mr. Jordan took over the a project on the east side of the highway, he not only lowered the rent he raised the quality and modernize the building to fit the needs of the corporate user and, because of that vision and investment the project has thrived.

Mr. Chris Frantz, 2308 E. Prairie Creek Drive, Richardson, Texas, said he had concerns after the last meeting regarding over-crowding at the schools, property values, etc., but he spoke with Mr. Jordan about his vision and came away from that discussion convinced the proposed project was a good use of the property.

No other comments were received in favor and Chairman Hand called for those with comments in opposition.

Mr. Bill Gabel, 412 Brook Glen Place, Richardson, Texas, said he thought there were a lot of redeeming qualities about the project, but felt all the multi-family being moved to Collin County was not a good idea.

Mr. Randy Montgomery, 203 High Canyon Ct, Richardson, Texas, stated he wanted to remind everyone the meeting was about the Commission being the care takers of the remaining open property in the City, the fact the current zoning did not allow apartments, and that the purpose of meeting was to reach a resolution that would make everyone happy. He pointed out that the developer had not confirmed they would build Type 1 or Type 2 apartments and were combining them into one category with condominiums, which would allow the developer to decide what would be built and it was likely that would be apartments.

Mr. Montgomery asked the Commission to restrict the developer to Type 1 or Type 2 multi-family.

Mr. David Schaefer, 28 Creekwood Circle, Richardson, Texas, said he was opposed to wood framed apartments, did not want to live next to apartments, and felt apartment would not add value to the neighborhood. He asked the Commission that whatever was developed in the Palisades that it would be of the highest/best use that would engage the community.

Ms. Katherine Fell, 423 Ridgecrest Drive, Richardson, Texas, stated she was at the focus group hosted by CCHOA and on behalf of the families in the Prairie Creek area they were not in support of the multi-family portion of the proposal. She added that she had been involved in a homeowners association at her former home in Lake Highlands and the apartments that were built were well constructed of brick and wood frame, but after 10-15 years those same apartments were condemned because they had become run down and crime ridden.

Mr. Tom Benson 205 High Canyon Ct., Richardson, Texas, confirmed that the other developments used as models for the current project were nice, but pointed out that none of those developments were adjacent to residential communities. In addition, he thought the number of apartments was excessive and felt a pedestrian bridge would not be used.

Mr. Bob Reid, 2605 Stoneleigh Circle, Richardson, Texas, asked where, under the Form Based Code (FBC), would the apartments be built.

Chairman Hand replied that the illustrative plan presented a possible location, or idea, of where they could be built.

Mr. Reid indicated that there was a great deal of uncertainty under the FBC as to where the apartments would be built, or even if they would be built because the Code would also allow office buildings in the same area.

Mr. Shacklett replied the FBC sets sub-districts and it was very specific about how the streets within the districts would be designed, how the buildings were to address the streets, and within that design guideline was a list of allowable uses in the district. He added that the illustrative would not be part of the ordinance and the FBC would allow the market to drive exactly where the uses would be placed.

Mr. Shacklett noted that the property in the outer ring would allow both multi-family and office, but the ground floor would have to be activated for retail uses.

Mr. Reid asked what could go in the 18.5 acres not part of the current proposal and how that would affect the traffic, neighborhood and schools.

Mr. Shacklett replied the northern portion of the land was zoned technical office and the southern portion was zoned local retail so no multi-family would be allowed at all. In addition, the traffic analysis took into account the traffic impact that property would have under the current zoning conditions at full build out.

Mr. Reid concluded his comments by stating there were too many “unknowns” and he was not in favor of the item.

Mr. Brian Bolton, 200 High Canyon Court, Richardson, Texas, concurred with most of the concerns expressed by the speakers in opposition, but asked the Commission to understand that the position statement from CCHOA was not representative of the majority of the association members because a poll had not been taken. He added that residents had made significant investments in their homes based on the existing zoning and nothing had been done to mitigate the concerns of wood framed apartments next to a single family subdivision.

Mr. Mike Kilgard, 205 Crooked Creek, Richardson, Texas, stated that based on the economy, the project did not seem to be time critical and felt the proposal should not be rushed.

Ms. Wilma Navarrette, 210 Crooked Creek, Richardson, Texas, said she did not feel the CCHOA represented the opinion of many area homeowners, moving all of the multi-family into Collin County was not appropriate, and the number of multi-family units was too high.

Commissioner DePuy asked the speaker to clarify if she was in favor of only office in the development.

Ms. Navarrette replied that she thought the townhomes were nice, but she was not in favor of the multi-family.

Ms. Ashley Dye, 305 Fall Creek Drive, Richardson, Texas, said the statement from CCHOA did not represent the opinions of all of the homeowners in the association and that she was not opposed to the project as a whole, but was opposed to the number of multi-family units.

Mr. John Charlesworth, 2202 Ridgecrest Drive, Richardson, Texas, stated that when he came to the Canyon Creek community it was because of the local schools and the residents in the

area. He added that high-end retail shopping and restaurants similar to the Highland Park area would not drive people away, but felt the construction of wood framed, multi-family units would be detrimental to the community.

In addition to those speaking in opposition, 15 speaker cards were received from those who opposed the zoning case.

No other comments were received from the audience.

Chairman Hand addressed the audience noting that some comments had been made that the existing zoning was preferable, but pointed out that times change and the rezoning process was in place to allow the City to adapt to a change in market and/or development conditions. He added that when the process was completed, he hoped everyone in the neighborhood would come together no matter what their position was on the request.

Commissioner Linn asked staff what the construction types were used at the Eastside and Embry developments. He also wanted to know if there were any utility issues along the perimeter of the proposed project.

Mr. Shacklett said he did not have a definitive answer, but thought Eastside and Embry were Type 3 or 5 construction and did not think there was any Type 1 multi-family construction projects in the City. He added that he was not aware of any utility issues with the proposed project.

With no further questions for staff, Chairman Hand asked if the applicant wanted to rebut any comments made in opposition.

Mr. Good said he had two items he wished to address based on comments from the audience: 1) if the Commission wanted to spread the multi-family units between Dallas and Collin Counties the applicant had no objections; and 2) a proximity slope whose point of origin was the residential lot lines is perfectly appropriate and the applicant had no objections.

Commissioner DePuy asked if the decision to move all the multi-family units to Collin County had been based on comments from the November 5th meeting, and did the applicant have any concerns about reducing the number of multi-family and how that would impact/support the retail.

Mr. Good replied the decision to move all the multi-family to Collin County was based on the comments from the November 5th meeting and, regarding the reduction to the number of multi-family units, which came after considerable deliberation with Mr. Jordan, the proposed 600 units would help create the 24/7 atmosphere needed and they felt strongly the number should not go any lower. He added that the proposed number of units, the nearby residential, and the day time office population would all add to the success of the project.

Chairman Hand asked Mr. Good to clarify his comments regarding proximity slope along Palisades Creek Drive. He also asked if there was any rebuttal regarding item 4 in the CCHOA comments about the majority of units and the size.

Mr. Good replied that because Palisades Creek Drive had offices along its length, they were not talking about generating the proximity slope from the street, but rather from the residences located further north.

Regarding comments from CCHOA on the majority of units and size, Mr. Good said the market usually dictates size and number of units and currently they are seeing approximately 10% efficiency units, 60-65% one bedrooms, and 25-30% two bedrooms.

Chairman Hand noted CCHOA had questions about the construction material for the single family units closest to the existing residential neighborhood and asked for comments.

Mr. Good stated that in the current illustrative plan there are two different types of products – detached single family homes with detached garages in the rear accessed by driveways, and attached townhouses organized perpendicular to the street with common green space and alley access garages. He added that if the Commission were to request more substantive designs for the single family area before going to the City Council they would have the flexibility to do so.

Mr. Shacklett also pointed out that item 4 of the CCHOA's comments regarding a lack design standards for the single family units was covered in Sections 8.2 and 8.3 of the Code.

Chairman Hand asked for comments regarding CCHOA's concerns about maintenance and upkeep of private streets within the development and what the applicant's thoughts were on the appropriateness of funeral homes, cinemas, and churches in the project (CCHOA item 6).

Mr. Shacklett replied the City's Subdivision and Development code has requirements for property owner associations to have regulations for maintenance and upkeep of private infrastructure.

Regarding the appropriateness of the uses covered in item 6, Mr. Good thought it would be wise to keep a small scale cinema in the project.

Mr. Shacklett added that if assembly uses were allowed in the Code, the prohibition of churches could not be added.

Vice Chair Bright thanked the applicant and residents for their time and comments over the last two meetings and added that he would like to see more of a balance of the multi-family units between the two counties, but felt the proposed project was a good product and it was time to move it forward to the City Council.

Commissioner DePuy said she liked the layout of the townhomes facing the common green space, was happy with the sizes and types of the multi-family units and felt the units should be spread across both counties. She added that she was in favor of the proposed project.

Commissioner Maxwell concurred with Ms. DePuy and thought a residential component was needed in order to make the retail successful and felt that any impact to schools was an item that should be addressed at the City Council level. As far as the quality of construction, he did not think Type 1 was realistic based on cost and noted that it would be part of a mixed-use, which would help maintain the quality.

Regarding a question of noise, Mr. Maxwell asked staff if the City's existing ordinances would address that concern and Mr. Shacklett said the ordinances would address any noise issues.

Commissioner Ferrell said he was in favor of the land use, but still had concerns about the number of multi-family units. He also agreed that the multi-family should be spread out across both counties.

Chairman Hand stated he was excited about the project and if there was ever a place in the City for premium values it was the Palisades. He asked the Commission to look at the project in the long run regarding the quality of construction and in his opinion the majority of the retail in the project would be dining, but was concerned that limiting the number of multi-family units might have a negative impact on the development and asked everyone to look at Brick Row as an example of retail that was struggling.

Mr. Hand said he was inclined to vote against the project only because there might not be enough units of higher quality construction to support the retail and he did not want to see another mixed use project struggle.

Commissioner Linn said he agreed with Mr. Hand and thought the number of multi-family should be increased, but felt it was the charge of the Commission to insist upon a higher quality of construction to maintain the long term quality of the project. He thought it was important to have Type 2 or better construction standards codified in the Code.

Commissioner DePuy said she did have a concern with the reduction in the number of multi-family and how it would affect the retail, but she supported the proposed 600 units because there would be population from the offices to aid in the support of the retail. She added that Type 1 or 2 would be preferable, but she understood the cost might be prohibitive and felt the developer, based on past developments, could be trusted to build a quality project.

Commissioner Springs said he felt the major points were quality versus scale, and that people want quality but do not want large scale, however, the reality is you cannot have both. He added if he was voting he would err towards quality because he felt that quality would endure.

Chairman Hand asked how quality could be ensured.

Mr. Springs replied that the proposed Code did a good job of legislating quality.

Commissioner Ferrell said he was still leaning toward Type 2 construction for the best long term solution.

Chairman Hand asked the Commission for their idea of scheduling the phasing of the project.

Vice Chair Bright and Commissioner DePuy said they did not think it was the Commission's responsibility to control the phasing of the project and the market should be the major influence. They also agreed that the multi-family should be spread out between the counties

Commissioner Roland noted that at the November 5th meeting there had been mention of having a certain percentage of multi-family in each county.

Mr. Shacklett replied that land area, 62% in Collin County and 38% in Dallas County, had been discussed, but had not been tied to the multi-family units.

Mr. Good suggested one way to deal with the wish to have multi-family in both counties without specifying numbers would be to state that no more than 50% of multi-family could be located in Dallas County.

Vice Chair Bright suggested a 60/40 split based on the land area in each county.

Commissioner DePuy asked if the concern about visual vocabulary had been addressed and Mr. Shacklett replied that on page 32 of the Code there were nine images that could provide an acceptable visual vocabulary.

Commissioner Linn said he would like to see Type 2 or better construction and when asked if he was open to a percentage of Type 2, he said he was, but not sure where in the project it would be placed.

Commissioner Springs thought it was unfair to demand a higher quality of construction coupled with a limit of only 600 apartments. He suggested that it could possibly be tied to apartments that were part of a mixed-use building and wanted to know if the applicant was open to only Type 3 construction and no Type 5.

Mr. Good replied that apartments could only be in a building with a minimum for four stories in height with a mixed-use component. Typically the mixed-use component would force some portion of the building to have a concrete podium; therefore, almost all of the apartment buildings would have a concrete garage and/or podium devoted to retail and restaurant.

Regarding Type 3 and 5 construction, Mr. Good said the only reason to do Type 3 construction would be to allow five stories in wood frame and there would be different rules for the sprinkler system and the wood in the load bearing walls.

Motion: Vice Chair Bright made a motion to recommend approval of Zoning File 13-13 with no more than 40% of the multi-family units to be located in Dallas County and the proximity slopes would be measured from the lot lines of the residential lots to the north; second by Commissioner Roland.

Mr. Shacklett restated the motion to be “as presented with the additional conditions that a maximum of 40% of the multi-family units would be located in Dallas County, and a 3:1 proximity slope shall be provided from the residential property north of Palisades Creek Drive.” Mr. Bright and Mr. Roland concurred.

Motion approved 7-0.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, Assistant Director – Development Services *SC*

DATE: December 5, 2013

RE: **Zoning File 13-13:** Palisades PD Code

REQUEST:

Rezone approximately 58.5 acres from LR-M(2) Local Retail, TO-M Technical Office, and PD Planned Development to PD Planned Development for the development of a pedestrian-oriented, mixed-use development.

CITY PLAN COMMISSION MEETINGS:

The request was initially presented to the City Plan Commission on November 5, 2013. At that meeting, several concerns were brought up by the both the City Plan Commission and residents speaking in opposition to the request. The case was continued to the November 19, 2013 City Plan Commission meeting to allow the applicant time to address the comments made by residents and Commissioners. The applicant revised the Palisades Planned Development Code and associated regulating plan. The major changes presented at the November 19, 2013 CPC meeting include the following:

1. Reduction of maximum allowable multi-family units from 750 to 600 units.
2. Removal of development rights for 250 condominiums.
3. Prohibition of multi-family units in Dallas County (this condition would prohibit multi-family units within the Richardson Independent School District).
4. Increase in the maximum number of single-family dwelling units from 65 to 80.
5. Allow single-family dwellings in the Outer Ring Mixed Use Sub-District within Dallas County.
6. Addition of minimum unit size requirements attached/detached single-family dwelling units as well as minimum unit sizes for efficiency, 1-bedroom, and 2-bedroom multi-family units.
7. Restriction on wood frame construction for multi-family units in the Freeway High Rise Sub-District.

8. Dedication of specific land area near US-75 frontage road and US-75 Entry for possible future pedestrian bridge over US-75.
9. Change in design standards for wall between Urban Neighborhood and Outer Ring Mixed Use (4-foot painted metal fence atop a 3-foot masonry wall in lieu of a 7-foot masonry wall).
10. Removal of 3-tab shingles as an allowable roof material in the Urban Neighborhood.

The following information has been updated to reflect the final proposal as presented and recommended by the City Plan Commission on November 19, 2013.

APPLICANT / PROPERTY OWNER:

Larry Good, GFF Planning / Mark Jordan, JP Realty Partners, Ltd.

TRACT SIZE AND LOCATION:

Approximately 58.5 acres, located on the west side of Central Expressway, generally bounded by Collins Boulevard to the west, Palisades Boulevard and Galatyn Parkway West Extension to the south, and Palisades Creek Drive to the north.

EXISTING DEVELOPMENT:

The majority of the site is undeveloped. In the southern portion of the subject properties, a 10-story office building totaling approximately 188,000 square feet and a 16-story office building totaling 269,000 square feet and associated parking garage were constructed in the 1980's.

ADJACENT ROADWAYS:

Central Expressway: Freeway/Turnpike; 256,000 vehicles per day on all lanes, northbound and southbound, north of Campbell Road (2013).

Collins Boulevard: Four-lane (with 2 dedicated bike lanes), divided arterial; 4,800 vehicles on all lanes, northbound and southbound, south of Renner Road (February 2013).

Palisades Boulevard: Two-lane, local street; no traffic counts available.

Palisades Creek Drive: Two-lane, undivided arterial; no traffic counts available.

SURROUNDING LAND USE AND ZONING:

North: Office; TO-M Technical Office
South: Office; TO-M Technical Office
East: Retail/Commercial, Office, and Parks/Open Space; C-M Commercial and I-M(1) Industrial
West: Single Family; R-1250-M, R-1500-M, and R-1800-M Residential

FUTURE LAND USE PLAN:

Regional Employment and Neighborhood Mixed-Use

Higher density development is appropriate with the primary use being high-rise office. Secondary uses include retail centers and entertainment venues.

Mixed or multiple land uses occurring within a single development and/or single building. These areas are typically built around small, pedestrian-friendly blocks and common open space. Uses include various types of residential (single-family and multi-family), retail, personal service, and neighborhood-scale offices.

Future Land Uses of Surrounding Area:

North: Regional Employment

South: Regional Employment

East: Regional Employment and Transit Village

West: Neighborhood Residential

EXISTING ZONING:

LR-M(2) Local Retail, TO-M Technical Office, and PD Planned Development

TRAFFIC IMPACTS:

A Traffic Impact Analysis (TIA) was conducted and submitted by Kimley-Horn and Associates, Inc., a traffic engineering and planning consulting firm, to determine if the proposed Planned Development amendment would have significant impact on the roadway network.

Traffic counts were conducted at signalized intersections and on surrounding arterial roadways and frontage roads to evaluate the combined impact of the developments on the roadway system.

For purposes of the TIA, typical growth is an annual growth rate of 1%. The following scenarios were analyzed per the City TIA guidelines:

- 2013 Existing Traffic Conditions
- 2020 Background Traffic (existing 2013 plus typical growth)
- 2020 Background Traffic plus Full Site build-out Traffic
- 2035 Background Traffic (existing 2013 plus typical growth)
- 2035 Background Traffic plus Full Site build-out Traffic

To assess traffic impacts associated with the proposed development modification, basic land use assumptions were established by the applicant. The table below depicts land use intensity assumptions utilized in the TIA and new automobile trip generations associated with the proposed development. Due to the nature of the development being mixed-use, internal trips were calculated, which refer to trips where the origin and destination are both within the boundaries of the subject property and do not impact surrounding roadway networks.

Trip Generation Table

Table 1 – Palisades Trip Generation

Land Uses	Amount	Units	ITE Code	Daily Total	AM Peak Hour			PM Peak Hour		
					IN	OUT	TOTAL	IN	OUT	TOTAL
General Office	1,500,000	SF	710	10,281	1,470	200	1,670	299	1,459	1,758
Shopping Center/Retail	200,000	SF	820	10,656	148	90	238	457	496	953
Single Family Detached Housing	65	DU	210	619	12	37	49	41	24	65
Condominium	250	DU	230	1,427	18	89	107	85	42	127
Apartment/Multifamily	750	DU	220	4,669	74	297	371	280	150	430
Hotel	300	Rooms	310	2,312	94	65	159	92	88	180
Gross Trip Generation				29,964	1,816	778	2,594	1,254	2,259	3,513
Internal Trips				3,084	36	36	72	135	135	270
				<i>10.3%</i>			<i>2.8%</i>			<i>7.7%</i>
External Trips After Internal Capture				26,880	1,780	742	2,522	1,119	2,124	3,243
Transit Reduction 2.5%				672	45	19	64	28	53	81
External Automobile Trips				26,208	1,735	723	2,458	1,091	2,071	3,162

¹ Institute of Transportation Engineers, *Trip Generation: An Informational Report*, Ninth Edition, Washington DC, 2011.

Based on the findings of the TIA, mitigation measures to be implemented by the developer to accommodate future traffic conditions include the following:

- Galatyn Parkway Interchange:
 1. Provide variable lane assignment signs and restripe the interchange to allow the following movements:
 - Westbound at SBFR intersection:
 - AM Peak – Left/Thru, Thru
 - PM Peak – Left, Left/Thru
 - Eastbound at NBFR intersection:
 - AM Peak – Left/Thru, Thru
 - PM Peak – Left, Left/Thru

- US 75 Southbound Frontage Road:
 1. Southbound Right Turn bays at Palisades Creek Drive
 2. Southbound Right Turn bays at all driveway and roadway connections into development (may require right-of-way dedication at time of development)

After a thorough review of the TIA and its recommendations, staff concluded the following:

- The proposed PD Zoning would result in significantly higher traffic projections than the existing zoning entitlements, due to the increased intensity of office and retail uses.
- Provision of access and circulation drives as recommended in the TIA will adequately distribute the traffic to the Arterial and Freeway system minimizing the impact to any specific link on the roadway network.
- Even though any development on this site would generate new traffic, very little traffic growth is anticipated on Collins Blvd through the neighborhood north of the site during peak traffic hours. The orientation and alignment of the Renner Parkway connection at the north end of Collins already constrains the peak hour capacity of the roadway. New vehicular trips to and from the north during the peak periods will use the US75 Frontage Roads.

STAFF COMMENTS:

Background:

The two (2) existing office buildings located in the southern portion of the subject properties were constructed in the 1980's and are intended to remain. This area is zoned LR-M(2) Local Retail. The majority of the subject properties (39.7 acres) were rezoned in 2006 for a PD Planned Development for a mixed-use development to include townhomes, condominiums, retail, restaurants, office, and a full-service hotel. The existing PD is similar to what is being proposed in this request.

The proposed PD includes the entirety of the property included in the existing PD, plus approximately 18.8 acres, including the land south of the Ring Road extending eastward to US-75 and extending northward along US-75 approximately 1,000 feet. The additional area is currently zoned LR-M(2) Local Retail and TO-M Technical Office. Another significant change is the proposed zoning is a form-based code similar to those recently approved near the Bush DART station. The current zoning is a standard PD Planned Development with an approved concept plan and standards.

The proposed code allows for a predictable vision through its regulatory nature. The visual aspect of the development is regulated through building heights, façade treatment and the relationship of the building to the street. The Code provides the community and developer with the opportunity to respond to market demands in an expedient and predictable manner, both in terms of a streamlined staff level approval and the flexibility to allow a mix of uses in the buildings as markets shift in the future.

Applicant's Request

The applicant's request is to rezone approximately 58.5 acres of land to a Planned Development District with modified development standards under a form-based code. The main elements of a Form Based Code are the Regulating Plan and the Development Standards.

The land use assumptions, based on the TIA for the proposed development include:

- General Office (1,500,000 square feet) – *this is in addition to the existing office buildings totaling approximately 457,000 square feet*
- Retail and Service (200,000 square feet)
- Hotel (300 rooms)
- Multi-Family Units (600 units that could be either apartments and/or condominiums)
- Single-family units (80 units)

The TIA land use assumptions remain unchanged although there has been a net decrease of 385 dwelling units within the proposed PD since the initial proposal.

The proposed Palisades Planned Development Code creates four (4) distinct Sub-Districts which provide for different building forms within the subject site. Each Sub-District is identified on the Regulating Plan. The following provides a brief description of the major sections of the Palisades Planned Development Code.

Regulating Plan (Appendix A) represents the zoning map for the subject site. The following Sub-Districts and a general description of the allowable uses are identified below. For a detailed

list of proposed allowed uses in each Sub-District please refer to the Schedule of Uses (Section 6, Table 6.1) in the Code.

- Inner Ring Mixed Use, Outer Ring Mixed Use and Freeway High Rise
 - Retail Sales or Service, Office, Research, Food Service, No Drive-Through
 - Arts, Entertainment, and Recreation, including Parks, Greens and Plazas
 - Education, Public Administration, Health Care, Institutions
 - Home Occupation, Multi-family units and Residential Lofts, Live-Work Units
 - Single-family Attached and Detached Dwelling Units
 - Full Service Hotel, Structured Parking, Sales from Kiosk, Community Garden, Equipment (utility, wind, solar, rain harvesting)
- Urban Neighborhood
 - Single-family Attached and Detached Dwelling Units
 - Parks, Greens, and Plazas
 - Home Occupation
 - Community Garden, Equipment (utility, wind, solar, rain harvesting)

Administration (Section 3) establishes provisions for review and approval of development applications within the District. The Code allows the City Manager or designee the authority to approve development plans that conform to the PD and Chapter 21 of the City of Richardson Code of Ordinances. The Code further provides authority for the City Manager or designee to approve requests for minor modifications for changes that do not:

- Materially change the circulation or building location
- Increase permitted building area
- Change the relationship between the building and street
- Allow a use not authorized in the Code
- Allow a greater height than authorized in the Code
- Change street cross-sections except as allowed within this section

Any other changes that do not meet the above criteria would be processed as an amendment to the Code and is subject to a public hearing before the City Plan Commission and City Council.

Building Form & Development Standards (Section 7) are established in text and graphic form for each Sub-District, which shall be reviewed for compliance and includes following elements:

- Building Placement
 - Build-To Zone / Setback
 - Building Frontage
- Building Height
 - Inner Ring Mixed Use (maximum 20 stories / 270 feet)
 - Outer Ring Mixed Use (maximum 6 stories / 75 feet)
 - Freeway High Rise (maximum 20 stories / 270 feet)
 - Urban Neighborhood (maximum 2 stories / 30 feet)
- Ground Floor Requirements
 - Retail Ready standards for ground floors in certain Sub-Districts

- Parking & Service Access
 - Parking Location, Off-Street Parking Standards
 - Driveways and Services
- Encroachments

Building Design Standards (Section 8) are used to establish a coherent urban character, which will be reviewed for compliance and includes the following elements:

- Building Orientation
- Design of Parking Structures and Single-family Garages
- Design of Automobile Related Building Site Elements
- Roof Form
- Façade Composition
- Windows and Doors
- Urban Neighborhood to Outer Ring Mixed-Use Screening/Transition (perimeter wall is a 3-foot masonry wall topped with a 4-foot painted metal fence)

The tables below depict the proposed building materials for the development.

Inner Ring Mixed Use, Outer Ring Mixed Use, and Freeway High Rise

Building Material	Permitted by City Code	Palisades Code
Building Façade		
Masonry	Min. 85% of entire façade area (min. 80% per elevation)	Min. 85% (also allows stucco utilizing a 3-step process)
Accent materials	Max. 15% of entire façade area (max. 20% per elevation) EIFS not permitted below a height of eight (8) feet	Max. 15% along streets (including wood, metal panel, split-face concrete block, tile, or EIFS) EIFS not permitted below a height of eight (8) feet
Roof material	Class ‘C’ Fire Classification (asphalt shingles, copper, standing seam metal roof, slate, synthetic slate or similar materials)	When visible from streets and alley (same as City Code but does not allow asphalt shingles)
Parking Structure Requirements	No specific requirements other than minimum masonry percentages	Requires same minimum 85% masonry as buildings within the Sub-Districts. Additional required design elements for street facing structures include: <ul style="list-style-type: none"> • No ground floor parking for a depth of 30 feet along Type “A” street • 20-30 foot façade rhythms (horizontal and vertical) • Screening of vehicles and ramps from view along Type “A” street • In addition to façade rhythm requirements,

		screening of vehicles along west perimeter of Outer Ring Mixed Use Sub-District using louvered, solid, or opaque vertical screening elements <ul style="list-style-type: none"> • Requirement for corner architectural elements when parking structure located at street corner
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Urban Neighborhood Building Materials (Residential)

Building Material	Permitted by City Code	Palisades Code
Building Facade		
Masonry	Min. 75% of entire exterior wall area	Min. 85% along street frontage (also allows cementitious-fiber clapboard and stucco utilizing a 3-step process). Chimneys shall be 100% masonry.
Accent material (wood, stucco, tile, and EIFS)	Max. 25% of entire exterior wall area	Max. 15% along streets (metal panels, EIFS, rock, glass block, and tile)
Roof material	Class 'C' Fire Classification (asphalt shingles, copper, standing seam metal roof, slate, synthetic slate or similar materials)	When visible from streets and alley (also allows terra cotta/3-tab shingles are prohibited)

- ❖ The rear and side facades in the Urban Neighborhood are to be of finished quality and the same color that blend with the street facades of the building.

Street and Streetscape Design Standards (Section 9) illustrates the design, configuration, and development context for all streets. For each street section, text and visual depiction are provided, including lane widths, number of lanes, on-street parking, sidewalks, and street trees. The following proposed street sections will be reviewed for compliance with the Code:

- Ring Road
- North Entry
- South Entry
- West Entry
- US 75 Entry
- Mews Drive "1"
- Mews Drive "2"
- Inner Ring Promenade

Civic/Open Space Standards (Section 11) creates standards for open spaces (large park areas and smaller neighborhood-scaled plazas that are connected via a network of trails and paths) that provide a range of passive and recreational opportunities. A 4-acre park (Palisades Park) located in the center of the development creates a public space that may contain landscaped areas for active and passive recreation along with civic elements such as café tables, open shelters, water features, or amphitheater space. A 40-80 foot wide landscape buffer with an 8-foot meandering pedestrian path, canopy and ornamental trees will be provided along Collins Boulevard as a buffer between the proposed development and Collins Boulevard. A 25-foot wide landscape buffer continues along Palisades Creek Drive with a 12-foot wide multi-use trail.

Comparison

The table below provides a comparison between the existing development rights within the area under the existing PD ordinance versus the proposed Code.

	EXISTING (39.7 acres)	PROPOSED (approx. 58.5 acres)
Residential Uses	<p>Maximum 121 townhome lots</p> <p>300 Condominiums</p> <p>No apartments allowed</p>	<p>Maximum 80 single-family units (attached or detached)</p> <p>0 condominiums</p> <p>Maximum 600 multi-family units</p>
Minimum Unit Sizes	<p>Townhomes – min. 1,900 s.f. for 50% of units, min. 2,400 s.f. for remainder</p> <p>Condominiums – 800 s.f. to 900 s.f. – max. 10% of units 900 s.f. to 1,000 s.f. – max. 10% of units 1,000 s.f. to 1,100 s.f. – max. 15% of units Remaining units – min. of 1,100 s.f.</p>	<p>Townhomes – min. 1,650 s.f.</p> <p>Single-family detached – min. 2,000 s.f.</p> <p>Multi-Family Units – Efficiency – min. 525 s.f. 1-bedroom – min. 675 s.f. 2-bedroom – min. 1,000 s.f.</p>
Non-Residential Uses	<p>Retail/Restaurant – maximum 150,000 s.f.</p> <p>Office – maximum 160,000 s.f. (this is in addition to existing 10-story and 16-story office buildings which were not part of the PD)*</p> <p><i>*(The additional acreage being added to the PD includes approximately 3.74 acres of undeveloped land which is zoned LR-M(2) Local Retail and up to 81,457 square feet of additional office/retail space could be developed). The remaining acreage within the additional 18.8 acres being added to the PD is developed as buildings/parking, existing ring road, and existing right-of-way.</i></p> <p>Total Office Development Rights within 58.5 acres per current zoning (existing plus entitled): 698,457 s.f.</p> <p>Full-service Hotel – maximum 128 rooms</p>	<p>Retail/Service – 200,000 s.f.</p> <p>Office – 1,500,000 s.f. (this is in addition to existing 10-story and 16-story office buildings which are part of the proposed PD)</p> <p>Total Office Development Rights within 58.5 acres per proposed zoning (existing plus entitled): 1,957,000 s.f.</p> <p>Full-service hotel – maximum 300 rooms</p>
Districts/Location	<p>Village Center Tracts (located within the existing Ring Road)</p>	<p>Inner Ring Mixed Use Sub-District (same location as Village Center Tracts, excluding approximately four (4) acres of central open space)</p> <p>Outer Ring Mixed Use (located on the west side of the Ring Road between Palisades Blvd and Palisades Creek Dr)</p> <p>Freeway High-Rise (located between the Ring Road and US-75, north of the</p>

	Townhome Tracts (located on the west side of the Ring Road between Palisades Blvd and Palisades Creek Dr)	Galatyn Park Overpass) Urban Neighborhood (located on the east side of Collins Boulevard between Palisades Blvd and Palisades Creek Dr)
Building Heights (by Tract/Sub-District)	Village Center – 5-story/70 feet on west side and 8-story/110 feet on east side Townhome – 2-story/40 feet	Inner Ring Mixed Use – 20-story/270 feet Outer Ring Mixed Use – 6-story/75 feet Freeway High-Rise – 20-story/270 feet Urban Neighborhood – 2-story/30 feet
Area Regulations (by Tract/Sub-District)	Village Center – Maximum 80% lot coverage / Maximum F.A.R: 1.25:1 Townhome – Maximum 90% lot coverage	Inner Ring Mixed Use, Outer Ring Mixed Use, and Freeway High-Rise – no maximum lot coverage/F.A.R. Urban Neighborhood – no maximum lot coverage except as determined by setbacks listed in Section 7.4
Parking Regulations	Townhomes – 2 enclosed off-street parking spaces plus 0.5 visitor parking spaces per unit Condominiums – 2 parking spaces per unit Hotel – 1.25 parking spaces per room Non-residential uses – 1 space per 300 s.f.	Single-family lots – 2 enclosed off-street parking spaces plus 0.5 visitor parking spaces per unit Condominiums/Apartments – 1 parking space per bedroom Non-residential uses (including hotel) – 1 parking space per 300 s.f.
Street Designations	Streets within the PD are required to be private streets and be constructed to City standards. No specific street sections provided.	Streets within the PD are required to be private streets. There are eight (8) distinct street types within the PD to allow for automotive and pedestrian-oriented streets to fit the needs of specific areas within the PD.

Summary

Based on the entitlements for the existing PD plus the additional acreage being added to the proposed PD, the following list represents the net increase/decrease in total development rights for the proposed 58.5-acre PD:

- General Office: 1.26 million square foot **increase**
- Shopping Center/Retail: 50,000 square foot **increase**
- Hotel: 172 room **increase**
- Single-family residences (attached and detached): 41 unit **decrease**
- Multi-family units (apartments and/or condominiums): 600 unit **increase**
- Multi-family units (condominiums only): 300 unit **decrease**

Development Standard Concerns

The current PD concept plan provides for up to 121 townhomes on the west side of the PD, between Collins Boulevard and the west side of the ring road. The proposed PD splits this area into two (2) Sub-Districts (Urban Neighborhood and Outer Ring Mixed Use), thus creating two narrow Sub-Districts that extend from Palisades Boulevard on the south to Palisades Creek Drive on the north. The development standards regulating these two (2) Sub-Districts are very different from one another, thereby leading to a concern regarding the transition between them.

As currently proposed, only 2-story townhomes or patio homes could be located in the Urban Neighborhood Sub-District. At the November 19, 2013 CPC meeting, the applicant proposed to allow 2-story townhomes and patio homes in the Outer Ring Mixed Use Sub-District within Dallas County as well, since multi-family units were proposed to be prohibited within the Dallas County portion of the Outer Ring Mixed Use Sub-District. The applicant is proposing to allow the Urban Neighborhood Sub-District regulations to apply within that portion of the Outer Ring Mixed Use Sub-District if it is developed for single-family homes. Homes would likely back up to Collins Boulevard and would face east toward the Outer Ring Mixed Use Sub-District while other homes may back up to the Outer Ring Mixed Use Sub-District.

The first concern is the abrupt juxtaposition of the 2-story single-family homes in proximity to 6-story mixed-use buildings and parking structures along the western boundary of the Outer Ring Mixed Use Sub-District. The single-family homes facing the Outer Ring Mixed Use Sub-District would likely be located less than one-hundred (100) feet from the 6-story buildings, while those single-family homes backing up to the Outer Ring Mixed Use Sub-District could be as close as 10-15 feet.

Secondly, the applicant is proposing a physical separation between the two (2) Sub-Districts which, as initially proposed, consisted of a 7-foot masonry wall, with a 2-foot landscape screen along the base of the wall. The wall design was discussed at the November 5, 2013 CPC meeting, and the applicant stated they would change the wall design to be a 3-foot masonry wall topped with a 4-foot painted metal fence in lieu of the 7-foot masonry wall. The addition of trees placed along the screening wall in addition to the 2-foot landscape screen would provide a visual softening of the mixed-use buildings, whether they are multi-family units or parking structures facing the Urban Neighborhood.

However, there is still concern related to the location of a screening wall between the two (2) Sub-Districts. A more well-designed transition between the two (2) Sub-Districts would not necessitate the need for a wall, but could possibly create a cohesive neighborhood between the single-family Urban Neighborhood Sub-District and mixed-use Outer Ring Mixed Use Sub-District. The location of single-family homes in the Dallas County portion of the Outer Ring Mixed Use Sub-District may ease the concern regarding the transition in that area; however, the issue still exists if the area is not developed as single-family and remains the same in Collin County. Since it is likely that the buildings within the Outer Ring Mixed Use Sub-District will back upon the Urban Neighborhood Sub-District, it will be difficult to achieve a well-designed transition as currently proposed.

In summary, as proposed of the Urban Neighborhood Sub-District would likely create a narrow, linear subdivision that creates a largely, single-loaded street fronted with residential garages on one side and commercial garages on the other side.

Conclusion

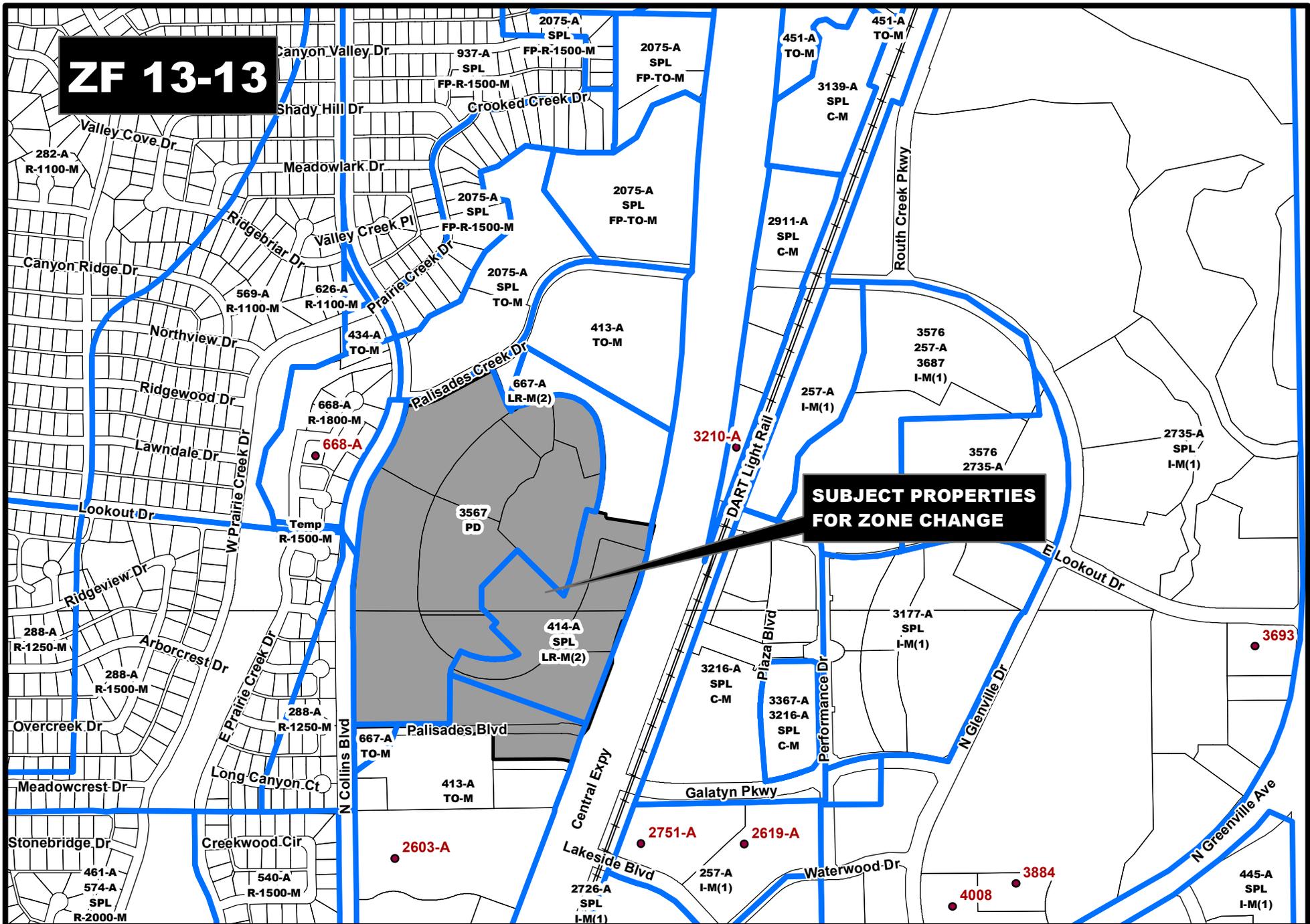
Based on staff's review of the applicant's request, with the exception of development standards to address the character of the Urban Neighborhood and its adjacency challenge with Outer Ring Mixed Use Sub-Districts, the proposal of a PD with Form Based elements appears to be appropriate for the site. The PD achieves a largely predictable community vision through its regulatory nature. It achieves a predictable physical result by its concentration on the visual aspect of the development through building heights, façade treatment and the relationship of the building to the street (pedestrian friendly) through compact, walkable urbanism. If applied appropriately, it could provide the community with the opportunity to respond to market demands in an expedient and predictable manner.

Correspondence: As of this date, 1 letter in support and 139 letters in opposition to the case have been received.

Motion: On November 19, 2013, the City Plan Commission recommended approval of the request as revised and listed below with the two (2) additional conditions to address their remaining concerns which included allowing a maximum of 40% of the multi-family units to be located in Dallas County and to require a 3:1 proximity slope from residentially zoned property located north of Palisades Creek Drive.

1. The subject site shall be zoned PD Planned Development and shall be in accordance with the Palisades Planned Development Code attached hereto as Exhibit "B".
2. The maximum number of development rights for each use shall be as shown on the Regulating Plan (Appendix A of the Palisades Planned Development Code).
3. A revised Traffic Impact Analysis (TIA) shall be submitted and approved by the Director of Development Services and City Engineer prior to approval of any future amendment to the use and development regulations governing use and development of the property which increases land use intensity or modifies the proposed mix of land uses identified in the TIA dated September 30, 2013, a copy of which is on file in the Office of the City Secretary and incorporated herein by reference.

ZF 13-13



ZF 13-13 Zoning Map

Updated By: shacklett, Update Date: October 21, 2013
File: DSI\Mapping\Cases\Z\2013\ZF1313\ZF1313 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



ZF 13-13



**SUBJECT PROPERTIES
FOR ZONE CHANGE**

ZF 13-13 Aerial Map

Updated By: shacklett, Update Date: October 21, 2013
File: DSI\Mapping\Cases\Z\2013\ZF1313\ZF1313 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



**Oblique Aerial
Looking North**

Palisades Creek Dr

Collins Blvd

Palisades Blvd

**Galatyn Pkwy
Extension**

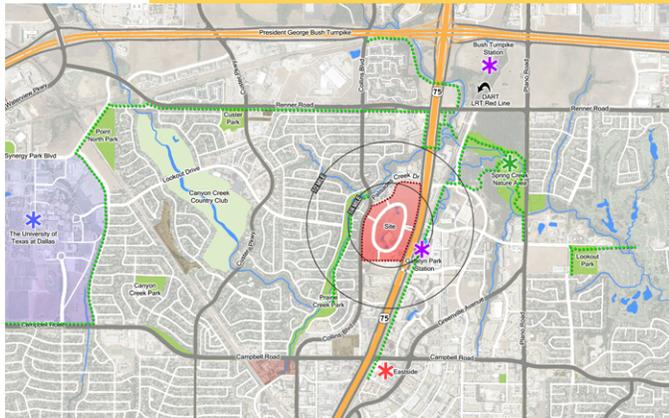
Central Expy

Galatyn Pkwy



PALISADES PLANNED DEVELOPMENT CODE

11/27/13
DRAFT



GFF Planning

PALISADES
Planned Development Code

November 27, 2013

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Planned Development Code

Section 1. Purpose and Intent:

The purpose of the Palisades Planned Development Code (Palisades Code) is to create a walkable urban neighborhood where a high density and diverse mix of uses promote less dependence on the automobile. Access to light rail, shopping, employment, housing and both community and regional retail promotes a greater quality of life than traditional suburban-styled developments. The Palisades Code is adopted to protect and promote the public health, safety, comfort, convenience, prosperity and general welfare of the immediate community, as well as to assist in the orderly and controlled growth and development of the land area described within this document, called the Palisades District.

It is the intent of the Palisades Code to establish an efficient, effective and equitable regulatory and procedural code relating to the use of land and development within the land area described within the Palisades District.

- 1.1 Economic Development – The Palisades District and corresponding standards are created to support economic development, sustainable tax base, and job creation by establishing adjacency predictability of private development that supports and leverages investment in and around the Palisades.
- 1.2 Implement the Design Goals of the Regulating Plan – The objective of the Palisades District is to foster a major regional employment center with regional retail and residential uses within the confines of a neighborhood and within convenient walking distance to the existing Galatyn Park transit station.
- 1.3 Establish Specific Development Standards – The Palisades Code implements the vision for Regional Employment and neighborhood mixed use rail corridor as established in the City’s Comprehensive Plan and Palisades District Regulating Plan, hereafter known as the Regulating Plan (Appendix A). The Regulating Plan shall provide guidance to property owners, developers, and the City on the form, character, and intensity of future development in the Palisades District. Creation of different Sub-Districts within the Palisades District enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote sustainability, public welfare, walkable mixed use development, open space, housing variety, and transportation options.

Section 2. Components of the Code:

- 2.1 The Palisades Code shall apply to the Palisades District unless otherwise specified in this Code. Development of property within the Palisades District shall comply with the respective development standards set forth in the Palisades Code. The components of this Palisades District consist of:
 - 2.1.1 Palisades District Regulating Plan: The Palisades District Regulating Plan, hereafter known as the “Regulating Plan”, is its official zoning map. It identifies the applicable standards within the Palisades District including:
 - i. Sub-Districts – The Palisades District is divided into different “Sub-Districts”. A Sub-District creates a distinct urban form which is different from urban forms in other Sub-Districts. Each Sub-District shall establish use and development standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots within the Palisades District into one of four (4) Sub-Districts.

Planned Development Code

- ii. Street Types – The Street Types illustrate the design, configurations and development context for all streets within the Palisades District. The Street Classification addresses vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards (streetscape standards). Street types on the Regulating Plan include Type ‘A’ and Type ‘B’ Streets. The Street Network specifies the future streets needed to implement the Palisades Regulating Plan, and shall be required and shall generally meet the locational and connectivity goals of the Regulating Plan. Their design shall be guided by the Street Type Specifications.
- iii. Civic/Open Space Designations – The Civic/Open Space areas shown on the Regulating Plan designate the locations of proposed Civic/Open Spaces (including parks, plazas, greens, and squares). All Civic/Open Spaces depicted in the Regulatory Plan are mandatory.

2.1.2 Development Standards: The Palisades Code (the text portion of this Code) enumerates the development standards with text and graphics for Sub-Districts, building form, civic/open space, landscape, architectural, signage, lighting, and all related standards for all streets, public and private development.

Section 3. Administration

This section sets forth the provisions for reviewing and approving development applications within the Palisades District. The intent is to ensure that all development is consistent with the provisions of this Code. All existing buildings within the Palisades District as shown on the Regulating Plan are exempt, but any renovation or addition to an existing building must comply with the Palisades Code. All sections of this Code shall be applied during the review process.

- 3.1 The development standards under the City of Richardson Comprehensive Zoning Ordinance, as amended, shall not apply to the Palisades District except as specifically referenced herein. Development standards not addressed in the Palisades Code shall be governed by the City of Richardson Comprehensive Zoning Ordinance to the extent they are not in conflict with the Palisades Code.
- 3.2 Utilities within this development must comply with Chapter 21 Section 50 of the City of Richardson Code of Ordinances.
- 3.3 Except as specifically listed below, all other signage and sign standards must comply with Chapter 18 of the City of Richardson Code of Ordinances, as amended.
- 3.4 Using this Code:
 - The following basic steps should be followed to determine the uses and development standards applicable to all properties within the Palisades District:
 - 3.4.1 Locate the subject property on the Regulating Plan.
 - 3.4.2 Identify:
 - i. the Sub-District in which the property is located;
 - ii. the Street Type designation along all its street frontages; and,
 - iii. any Ground Floor Activated Uses that may be applicable to the subject property.
 - 3.4.3 Review the Schedule of Uses by Sub-District as listed in Table 6.1 to determine allowed uses.
 - 3.4.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section 7 to determine the applicable development standards.
 - 3.4.5 Refer to Section 8 for Building Design Standards.
 - 3.4.6 Refer to Section 9 for Street Type and Streetscape Standards.

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The information from the above listed steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it.

- 3.5 Development within the Palisades District that complies with the provisions of this Code shall follow the City's development process as outlined in Chapter 21, Article II of the City of Richardson's Code of Ordinances and shall be approved by the City Manager or designee (see Appendix C for flow chart of the review process). In addition to complying with applicable City regulations that are not in conflict with this Code, the applicant shall provide the information required to adequately show compliance with this Code.
- 3.6 Standard for approval of development plans: If a development plan conforms to the standards set forth in this Code and applicable City regulations are not in conflict, the development plan shall be approved.
- 3.7 The City Manager or designee shall be responsible for the following:
- 3.7.1 Reviewing development plan applications for compliance with the requirements of Palisades District.
 - 3.7.2 Approving development plan applications that are in compliance with the requirements of the Palisades Code.
 - 3.7.3 Making determinations on the applications and interpretations of standards in this Code.
 - 3.7.4 Approving revisions to previously approved development plans that comply with this Code and all applicable city ordinances.
 - 3.7.5 Approving any minor modifications to the approved Regulating Plan per Section 3.8.
 - 3.7.6 Recommendations on any Special Development Plans (SDP) applications to the City Plan Commission (CPC) and City Council (CC).
- 3.8 Special Development Plans: A request for a modification to any of the standards of this Code other than minor modifications permitted under Sections 3.8 shall be reviewed and processed as Special Development Plans.
- 3.8.1 Special Development Plans (SDP) are intended to allow applicants development flexibility to address specific market opportunities and/or contexts. An application for a Special Development Plan shall be processed as an amendment to the zoning ordinance under Article XXIX of the City of Richardson Zoning Ordinance and may only be considered by the CC after the CPC has made a recommendation. The City Manager or designee shall review, make recommendations on any SDPs, and shall forward all SDP applications to the CPC. In evaluating an SDP, CC may consider the extent to which the application meets any of the following:
- i. provides an alternative "Master Plan" approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
 - ii. fits the adjoining context by providing appropriate transitions.
- 3.9 Minor Modifications to the Palisades Code:
- The City Manager or designee shall have the authority to approve a request for minor modifications to Palisades Code that:
- 3.9.1 Does not materially change the circulation and building location on the site;
 - 3.9.2 Does not increase the building area permitted under this Code;
 - 3.9.3 Does not change the relationship between the buildings and the street;
 - 3.9.4 Does not allow a use not otherwise authorized in this Code;

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3.9.5 Does not allow greater height of any building or reduction of any parking requirement established in this Code; or

3.9.6 Changes to established street cross sections per Table 3.1 below and Section 9 of this Code.

The City Manager or designee shall also have the authority to approve minor modifications outlined in Table 3.1. Any appeals to the decisions of the City Manager on minor modifications shall be heard by the City Council. Any City Council denials of minor modifications or any changes beyond those that meet the criteria above, the thresholds established in Table 3.1, shall be processed as an amendment to this Code under Article XXIX of the City of Richardson Comprehensive Zoning Ordinance.

Table 3.1 Minor Modification Thresholds

<i>Standard</i>	<i>Minor Modification Threshold</i>	<i>Comments</i>
Area/boundary of Sub-District (including any Mandatory Civic/Open Spaces)	No more than a 15% change (increase or decrease) in the area of the Freeway High-Rise and Urban Neighborhood (aggregate or per block). No more than 25% change (increase or decrease) in the area of the Inner Ring Mixed Use and Outer Ring Mixed Use (aggregate or per block).	<ul style="list-style-type: none"> • Shall not eliminate any Sub-District • 15% or 25% measurement shall be based on the total area of that specific Sub-District within the entire Palisades District
Location of any street depicted on the Regulating Plan	Location shall not move more than 100' in any direction.	<ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan
Building Form and Development Standards		
<ul style="list-style-type: none"> • Build to zones/setbacks 	No more than a 20% change in the maximum or minimum build to zone.	
<ul style="list-style-type: none"> • Building Frontage 	No more than a 15% reduction in the required building frontage along each block of a Type 'A' Street	<ul style="list-style-type: none"> • Any reduction in the required building frontage shall be to accommodate Porte-cochères for drop-off and pick-up.
<ul style="list-style-type: none"> • Street Cross Sections 	Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation, and street tree planting	<ul style="list-style-type: none"> • Any changes in the street cross sections shall be based on specific development context as approved by the City such as vegetation, natural features, drainage, and fire access and is subject to approval by the City.

Section 4. Definitions

In addition to Definitions in Article I of the City of Richardson Comprehensive Zoning Ordinance, the following terms shall have the corresponding interpretations.

Arcade means a portion of the main façade of the building that is at or near the Build to Line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

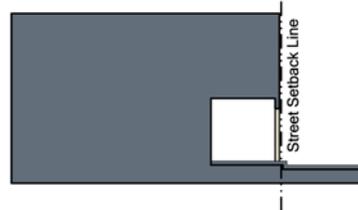


Image of an arcade

Attics means the unfinished space between the ceiling joists of the top story and the roof rafters.

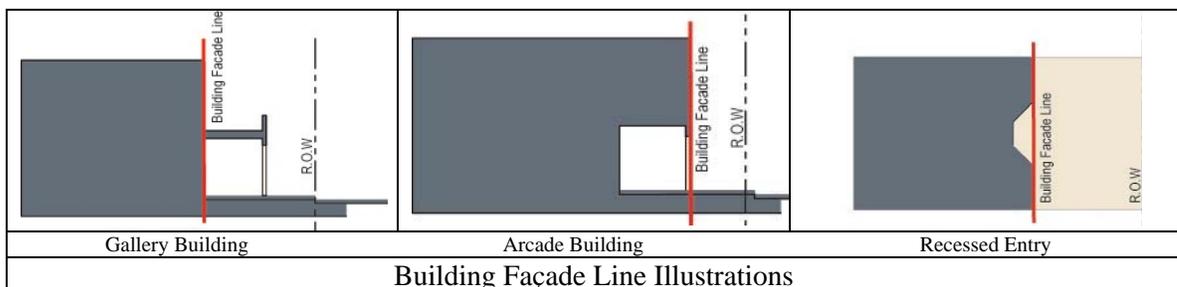
Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed by streets.

Block Face means the linear dimension of a block along one of its street frontages.

Build-to-Line means the line at which the principal building’s front façade shall be built.

Build-to-Zone (BTZ) means the area within which the principal building’s front façade is to be built and where it is measured from.

Building Façade Line means the vertical plane along a lot where the building’s front façade is actually located.



Building Form Standards means the standards established for each Sub-District that specify the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage means the percentage of the building’s front façade that is required to be located at the front Build-to-Line or Zone as a proportion of the block frontage along that street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

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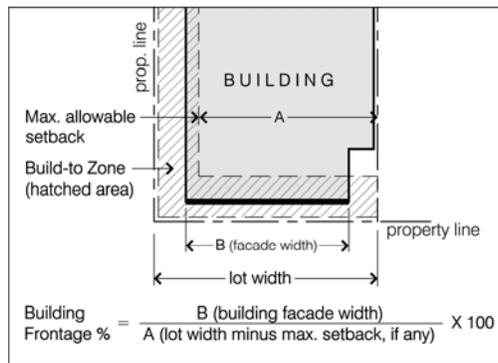


Image showing how a lot's building frontage is calculated

City Manager means the City Manager of the City of Richardson or his/her designee.

Civic/Open Space means publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of the Palisades Code.

Comprehensive Plan means the City of Richardson Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City as adopted on the effective date of this Code.

Encroachment means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the street easement, or above a height limit.

Gallery means an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.

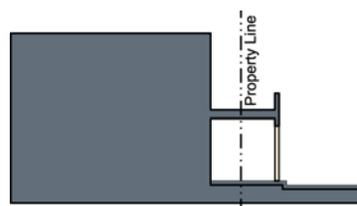


Image of a Gallery

Kiosk means a small, roofed structure, often open on one or more sides, used as a newsstand or booth. This structure may be temporary or permanent.

Live-Work Unit means a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by the Palisades Code in that the work use is not

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required to be incidental to the dwelling unit, non-resident employees may be present on the premises, and customers may be served on site.

Living Screen means a Street Screen composed of landscaping in the form of vegetation.

Mezzanine means an intermediate level(s) between the floor and ceiling of any story within an aggregate floor area of not more than one-third of the area of the room or space in which the level(s) are located.

Master Sign Plan means a unique sign plan to implement a specific vision for a portion or all of the development that meets Section 10.2 of this Code.

Minor Modification means any changes to the Palisades Code that meets the criteria established in Section 3.8 and Table 3.1.

Motor Court means an uncovered space that is wholly or partly surrounded by buildings or walls intended as a courtyard for vehicles as they approach a building. Surface parking is permitted within this space and shall not include more than 75 spaces. Surface treatments of the vehicular zones are richer in character than traditional concrete surface parked lots, using a variety of textures and colors such as brick, concrete pavers and colored concrete. Individual motor courts shall be separated by intervening buildings.

Park means a civic/open space that is a preserve available for unstructured recreation.

Plaza means a primarily hardscaped civic/open space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.

Playground means a civic/open space designed and equipped for children's recreation. A playground may be fenced and may include an open shelter. Playgrounds may be located within residential areas and may be placed within a block. They may be included in other civic/open spaces.

Pedestrian Easement means the area between the curb face of the street and the Build to Line. This area contains the sidewalk, street trees, lighting and pedestrian furniture.

Regulating Plan means the Zoning Map attached hereto as Appendix A that shows the Sub-Districts, Civic Spaces, location of Streets, maximum height permitted and other Special Requirements applicable to the Palisades District subject to the standards in the Palisades Code. For the purposes of this Code, the Regulating Plan shall also be the Concept Plan for the Palisades District.

Retail Ready means space constructed at a minimum interior height of 15 feet floor to floor which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Retail-Ready space, the space must comply with all building and construction codes for that use. In addition, the space must comply with all requirements for HVAC/Plumbing for both residential and commercial uses. The intent of Retail-Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

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Retail Sales Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Service Uses means a category for limited personal service establishments which offer a range of personal services that include, but are not limited to, clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Sign, Building Blade means a pedestrian-oriented sign that is affixed perpendicular to the corner of a building or to the front façade of a building above the ground floor to provide identification for the whole building.



Image of a Building Blade Sign

Sign, Marquee means a sign structure placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Blade signs.



Image of a Marquee sign with a Building Blade Sign

Sign, Monument means any sign which is connected to the ground and which has no clear space for the full width of the sign between the bottom of the sign and the surface of the ground. A monument sign may include a sign face and sign structure, and may also include a sign base and sign cap.

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Image of a Monument Sign

Sign, Sandwich Board means a portable sign consisting of two panels of equal size, which are hinged at the top or one panel with a support and placed on the ground or pavement so as to be self-supporting.



Images of Sandwich Board Signs

Sign, Tenant Blade means a smaller pedestrian-oriented sign that is affixed perpendicular to the building façade under a canopy or awning or immediately over a tenant space and provides identification for individual tenants within a building.



Image of a Tenant Blade Signs

Special Development Plan means a development application that meets Section 3.7 of this Code.

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Street Screen means a freestanding wall or living screen built along the BTZ or in line with the building façade line along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Network means the network of streets for new and existing streets within the Palisades District as established in the Regulating Plan.

Street Type means a specific designation for streets that establish a certain character and cross-sections to improve walkability within the Palisades District.

Sub-District means an area within the Palisades District that creates a distinct urban form different from other areas within the Palisades District. Sub-Districts are identified in the Regulating Plan.

Tree Well means an unpaved area around the trunk of a tree within the sidewalk area that is either landscaped with ground cover or covered with a tree grate.



Example of a tree well with a tree grate



Example of a tree well with landscaping

Type 'A' Street means the streets identified as such on the Regulating Plan. Type 'A' Streets are the primary pedestrian streets.

Type 'B' Street means the streets identified as such on the Regulating Plan. Type 'B' Streets are intended to primarily accommodate access to parking, service, and other auto-related functions.

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Section 5. The Regulating Plan

- 5.1 The Regulating Plan (Appendix A) is hereby adopted as the official zoning map for the Palisades District.
- 5.2 Sub-Districts Established – the following Sub-Districts are established. The boundaries of the specific Sub-Districts shall be established in the Regulating Plan.
- 5.2.1 Inner Ring Mixed Use: The Inner Ring Mixed Use Sub-District provides the most opportunity for the highest intensity development. It is the area that has significant development impact and the highest pedestrian activity due to its proximity to the Inner Ring Promenade. The Inner Ring Mixed Use consists of the highest density, with the greatest variety of uses. Development within the Inner Ring Mixed Use Sub-District shall meet the Building Form and Development Standards in Section 7.1 of this Code.
- 5.2.2 Outer Ring Mixed Use: The Outer Ring Mixed Use Sub-District is the area adjacent to the Inner Ring Mixed Use that is intended for high intensity commercial and residential uses in addition to supporting retail and restaurant uses. Development within the Outer Ring Mixed Use Sub-District shall meet the Building Form and Development Standards in Section 7.2 of this Code.
- 5.2.3 Freeway High Rise: The Freeway High Rise Sub-District is intended to provide an appropriate transition into the Palisades District from the US 75 access road. This area is also intended for high intensity development. Development within the Freeway High Rise Sub-District shall meet the Building Form and Development Standards in Section 7.3 of this Code.
- 5.2.4 Urban Neighborhood: The Urban Neighborhood Sub-District consists of a residential fabric. Development within the Urban Neighborhood Sub-District shall meet the Building Form and Development Standards in Section 7.4 of this Code.
- 5.3 Street Designations Street Type Established – The Regulating Plan shall establish the following Street Designations:
- 5.3.1 Type “A” Streets Established – Type “A” Streets are intended to be the primary pedestrian streets. The Type “A” Streets are Inner Ring Promenade, South Entry, North Entry and West Entry.
- 5.3.2 Type “B” Streets Established – Type “B” Streets are intended to balance pedestrian orientation with automobile orientation (service access, driveways, drive-through lanes, etc.). The Type “B” Streets are U.S. 75 Entry, Ring Road, Mews Drive “1” and Mews Drive “2”.
- 5.4 Civic/Open Space – The Regulating Plan indicates Mandatory Civic/Open Spaces. The specific standards for Civic/Open Space are established in Section 11.
- 5.5 Building Height – The Regulating Plan also indicates the maximum building height permitted within each Sub-District of the Palisades District.

Section 6. Schedule of Permitted Uses

- 6.1 Generally: Due to the emphasis on urban form over land uses in the Palisades District, general use categories have been identified by Sub-District. Uses not listed in the following schedule, but are substantially similar, may be permitted upon the approval of the City Manager or designee, subject to appeal directly to the City Council.

Planned Development Code

6.2 Schedule of Uses:

Table 6.1 – Schedule of Uses

	Sub-District	Outer Ring Mixed Use	Inner Ring Mixed Use	Urban Neighborhood	Freeway High Rise
Land Use					
Commercial Uses (Office, Retail, Sales & Service Uses)					
Retail Sales or Service with <u>no drive through facility</u> (includes alcohol sales, which shall meet Chapter 4, Alcohol Beverages of the City of Richardson Code of Ordinances). Excluded from this category are Auto-Retail Sales and Service Uses (see Section 3 of the Code for Definition of Retail, Service uses, and Auto-related Sales and Service)	P	P	NP	P	
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u>	P	P	NP	P	
Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc.	P	P	NP	P	
Research laboratory headquarters, laboratories and associated facilities	P	P	NP	P	
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u> . Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances.	P	P	NP	P	
Any use with a drive through facility	NP	P/C	NP	P/C	
Arts, Entertainment and Recreation Uses					
Art galleries	P	P	NP	P	
Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)	P	P	NP	P	
Theater, cinema, dance, music or other entertainment establishment	P	P	NP	P	
Museums and other special purpose recreational institutions	P	P	NP	P	
Fitness, recreational sports, gym, martial arts studio or athletic club	P	P	NP	P	
Parks, greens, plazas, squares, and playgrounds	P	P	P	P	
Educational, Public Administration, Health Care and Other Institutional Uses					
Business associations and professional membership organizations	P	P	NP	P	
Child day care and preschools	P	P	NP	P	
Schools, libraries, and community halls	P	P	NP	P	
Universities and Colleges	P/C	P/C	NP	P	
Hospital	P	P	NP	P	
Civic uses	P	P	NP	P	
Social and fraternal organizations	P	P	NP	P	
Social services and philanthropic organizations	P	P	NP	P	
Religious Institutions	P	P	NP	P	
Funeral homes	P	P	NP	P	
Residential Uses					
Home Occupations	P/A	P/A	P/A	P/A	
Multi-family residential					
Ground Floor	P/C	P/C	NP	P/C	
Upper Floors	P/C	P/C	NP	P/C	
Residential Lofts	P/C	P/C	NP	P/C	
Live-Work Unit	P	P	NP	P	
Single-family residential attached dwelling unit (Townhomes)	P/C	NP	P/C	NP	
Single-family residential detached dwelling unit	P/C	NP	P/C	NP	

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Sub-District	Outer Ring Mixed Use	Inner Ring Mixed Use	Urban Neighborhood	Freeway High Rise
Other Uses				
Hotels –full service	P	P	NP	P
Parking, surface (primary use of property)	NP	NP	NP	NP
Parking, structured	P	P	NP	P
Private attached garage	NP	NP	P	NP
Private detached garage	NP	NP	P	NP
Sales from kiosks	P	P	NP	P
Community garden	P	P	P	P
Incidental Outdoor Display	P/A	P/A	NP	P/A
Antennas including cell, accessory, and mounted on top of buildings.	NP	P/A/C	NP	P/A/C
Utility infrastructure	P/A/C	P/A/C	P/A/C	P/A/C
Rain water harvesting equipment	P/A/C	P/A/C	P/A/C	P/A/C
Wind energy equipment	P/A	P/A	P/A	P/A
Solar energy equipment	P/A	P/A	P/A	P/A

P= Permitted by right NP= Not Permitted P/C= Permitted with design criteria per Table 6.2 P/A = Permitted Accessory Use NA= Not applicable

A* = Accessory use to not exceed 25% of the primary use building square footage

** Model homes are limited to a time period until all the homes are sold in the neighborhood.

Planned Development Code

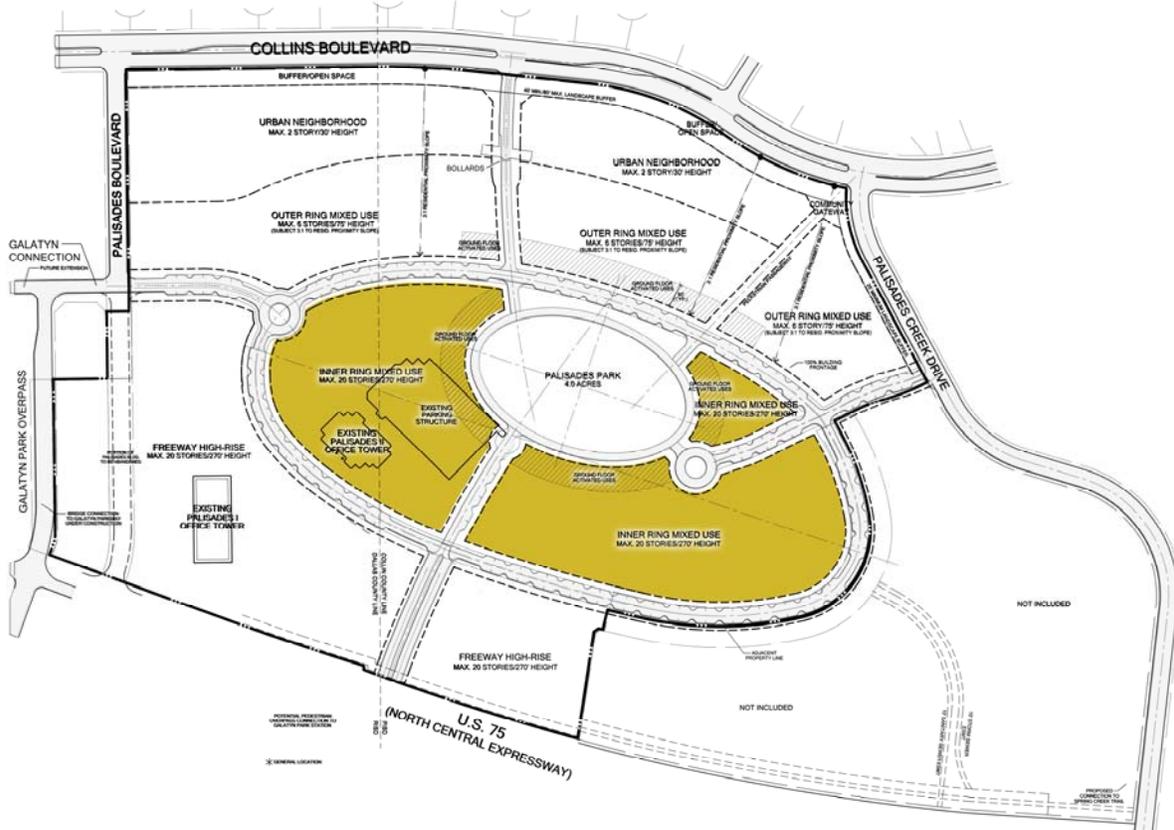
6.3 Use Criteria: All uses listed as P/C in Table 6.1 shall also meet the following standards in Table 6.2

Table 6.2 – Use Criteria		
<i>Use</i>	<i>Zone</i>	<i>Location & Design Criteria</i>
Non-Residential Uses		
Any permitted use with a drive through facility	Inner Ring Mixed Use and Freeway High Rise	<ul style="list-style-type: none"> All drive through access (driveways) shall be from Type ‘B’ Streets. Drive through lanes and/or canopies shall not have frontage along on or be located along any Type ‘A’ Streets. Drive through areas screened by a 4’ high Street Screen.
Universities and Colleges	Outer Ring Mixed Use and Inner Ring Mixed Use	<ul style="list-style-type: none"> Shall be required to provide structured parking as part of the build-out for the university/college campus
Residential Uses		
Multi-family residential Ground Floor	Outer Ring Mixed Use, Inner Ring Mixed Use, Freeway High Rise	<ul style="list-style-type: none"> All Ground Floor Activated Uses as depicted on the Regulating Plan along the Ring Road shall be built to Retail Ready standards.
Multi-family residential (all dwelling units)	Outer Ring Mixed Use, Inner Ring Mixed Use, Freeway High Rise	<ul style="list-style-type: none"> Minimum dwelling unit size: Efficiency = 525 SF 1 Bedroom = 675 SF 2 Bedroom = 1,000 SF Any development with multi-family must be 4-story minimum No more than 40% of the overall permitted multi-family unit count may reside south of the Dallas/Collin County line
Single-family residential attached (townhomes) and detached dwelling units	Outer Ring Mixed Use	<ul style="list-style-type: none"> Prohibited north of Dallas/Collin County line If single family residential develops south of Dallas/Collin County line then Section 8.3 of the code applies.
Residential lofts	Outer Ring Mixed Use, Inner Ring Mixed Use, Freeway High Rise	<ul style="list-style-type: none"> Prohibited south of Dallas/Collin County line
Single family residential attached dwelling unit (townhomes)	Urban Neighborhood, Outer Ring Mixed Use	<ul style="list-style-type: none"> Minimum dwelling unit size: 1,650 SF
Single family residential detached dwelling unit	Urban Neighborhood, Outer Ring Mixed Use	<ul style="list-style-type: none"> Minimum dwelling unit size: 2,000 SF
Multi-family residential (all dwelling units)	Freeway High Rise	<ul style="list-style-type: none"> No wood frame (Type III and Type V) construction permitted.
Other Uses		
Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	Inner Ring Mixed Use, Freeway High Rise	<ul style="list-style-type: none"> Antennas shall be permitted on rooftops. Antennas shall be screened entirely with a screen of same color as the principal building. Antennas shall not be visible from adjacent Type ‘A’ Street.
Utility equipment (includes electrical transformers, gas meters, etc)	All Zones	<ul style="list-style-type: none"> On all frontages utility equipment shall be screened with a Street Screen at least as high as the equipment being screened. On Type “A” street frontages utility equipment shall also be recessed into the building. Utility equipment shall be permitted on rooftops. Utility equipment shall be screened entirely with a screen of same color as the principal building.
Rain water harvesting equipment	All Zones	<ul style="list-style-type: none"> Rain water harvesting equipment shall be permitted on rooftops. Rain water harvesting equipment shall be screened entirely with a screen of same color as the principal building.

Section 7. Building Form and Development Standards

The following section establishes the Building Form and Development Standards for all Sub-Districts within the Palisades District. Diagrams and reference letters are used for illustrations purposes only. Reference letters may not be in continuous sequence.

7.1 Inner Ring Mixed Use Sub-District



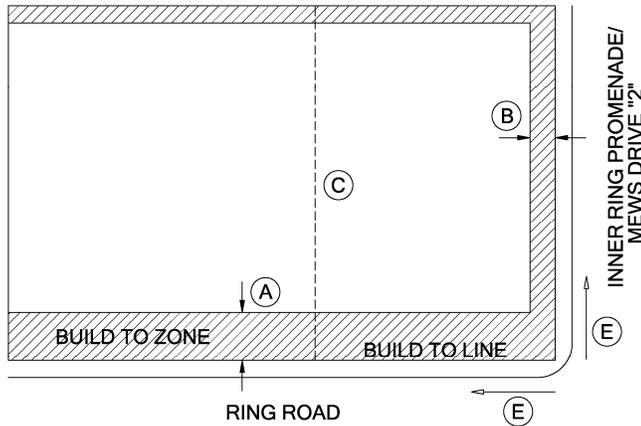
Inner Ring Mixed Use Sub-District Location Map

Note: This map is for reference only. Refer to the Regulating Plan (Appendix A) for all requirements.

Planned Development Code

Inner Ring Mixed Use

7.1.1 Building Placement



REFER TO SECTION 9 FOR BTL LOCATION

#3 – Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining street easements. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#4 – Setbacks and build-to lines for recessed entry and arcade buildings shall be measured from the building façade line which contains the recessed entry or arcade.

#5 – Required parking for commercial and office may be provided within 500 linear feet of the building frontage. Multi-family must be self-accommodated within its block.

#6 – Article III, Chapter 21, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

Build-To Zone (BTZ)

Front (Ring Road)	0 – 50 feet	(A)
Front (Inner Ring Promenade)	0 feet	(B)
Front (Mews Drive “2”)	0-10 feet	(B)

Setback

Side (from property line)	0 feet (see #1)	(C)
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Building Frontage

Building Frontage required along all street BTZ	100% along Palisades Park 25% (min) along Ring Road	(E)
Building Frontage required along Mews Drive “2.”	50%	

7.1.2 Building Height

Principal Building Standards

Building height	Max height 20 stories/270 feet
First floor to floor height	15 feet min. along open space, 10 feet min. others (see #2)
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)
Upper floor(s) height (floor-to-ceiling)	10 feet min. (excluding bathrooms, hallways, closets and areas common to furr downs)

7.1.3 Ground Floor Activated Uses

Ground floors of all buildings fronting on the Inner Ring Promenade shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

Notes

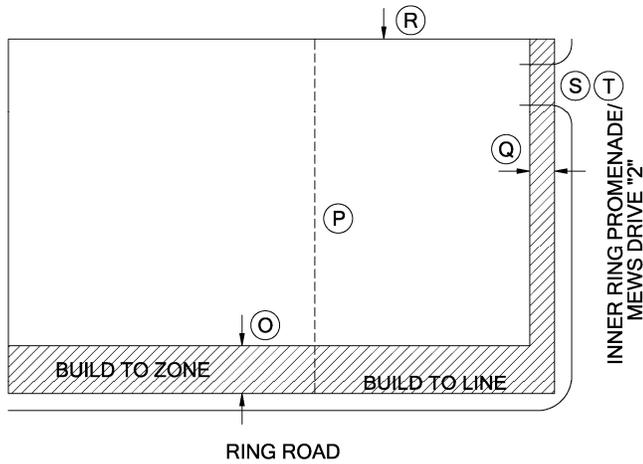
#1 – Side setbacks shall be based on minimum fire separation required between buildings, if applicable.

#2 – First floor heights shall not apply to parking structures.

Planned Development Code

Inner Ring Mixed Use

7.1.4 Parking & Service Access



7.1.5 Encroachments

Canopies, signs, awnings and balconies may encroach over the BTZ, setback, and, sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.1.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Sub-District.

Notes

#1 – Surface parking as an ancillary use with an office or condo tower motor court shall be permitted with a 0 – 20 foot setback.

#2 – Setbacks and build-to lines for recessed entry and arcade buildings shall be measured from the building façade line which contains the recessed entry or arcade.

#3 – Required parking may be provided anywhere within the Palisades District.

#4 – Article III, Chapter 21, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

(i) Parking Location

Surface/At Grade Parking

Ring Road	Shall be located behind the principal building (see #1)	(O)
Inner Ring Promenade	None allowed.	(Q)
Side setback (distance from property line)	0 feet min.	(P)
Rear setback (distance from property line)	0 feet min.	(R)

Above Grade Parking

Setback along Ring Road	0 feet min.	(O)
Setback along Inner Ring Promenade	Not allowed at grade level.	(Q)
Side and rear setbacks (distance from property line)	0 feet min.	(P) (Q)

Upper Floors May be built up to the building line

(ii) Required Off-Street Parking Spaces

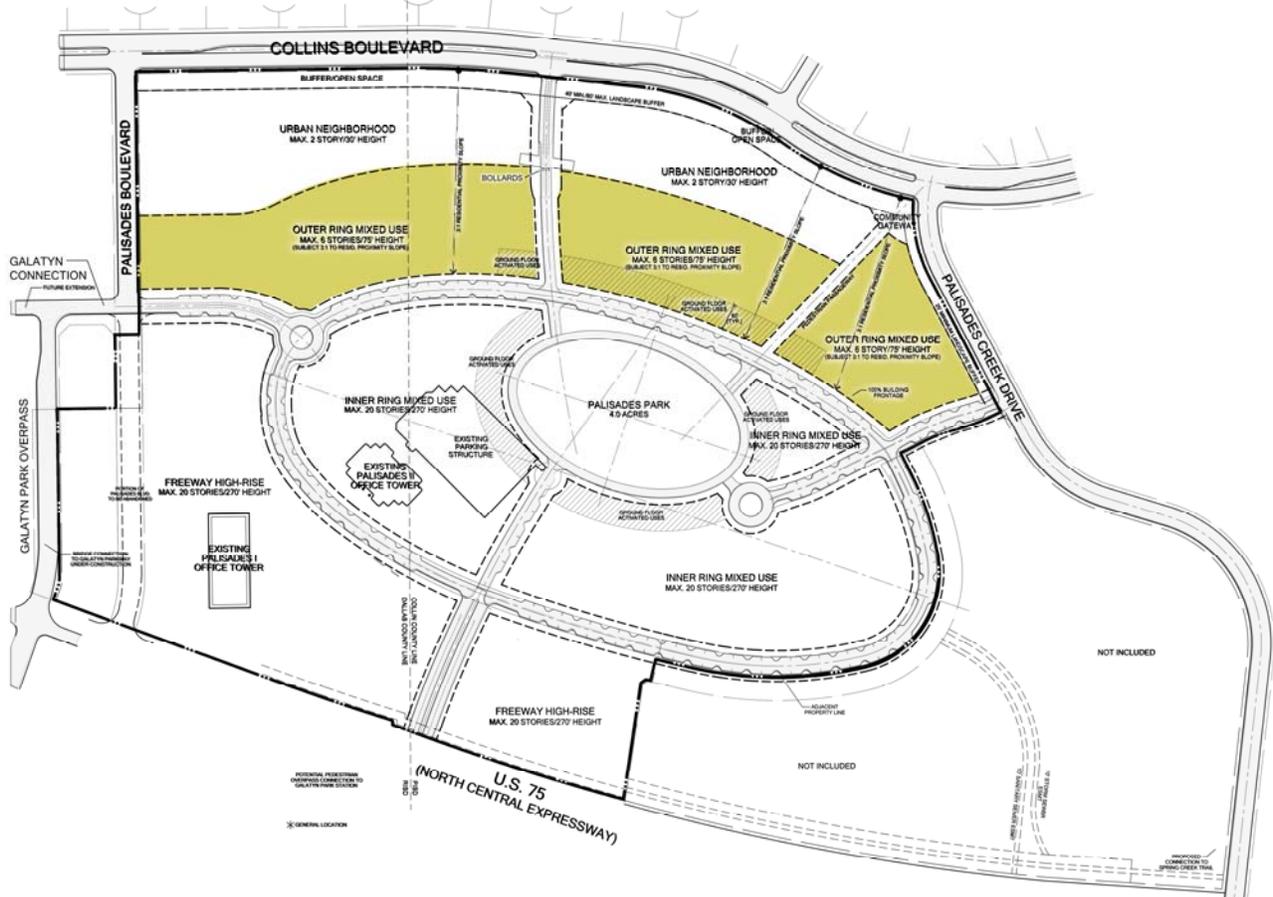
Non-residential uses	1 space/300 sq. feet (gross)
Residential uses	1 space/bedroom

(iii) Driveways and Service Access

Parking driveway width	20 feet max. (except when drives may need to be wider to address service access or fire lane standards)	(S)
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- Driveways and off-street loading and unloading docks shall not be located on a Type “A” Streets. (T)
- Porte cocheres may be permitted over the street easement, but not within any travel lanes to provide drop-off and valet service.
- Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.
- If driveway and/or off-street service loading and unloading access is provided from a Type “A” Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.

7.2 Outer Ring Mixed Use Sub-District



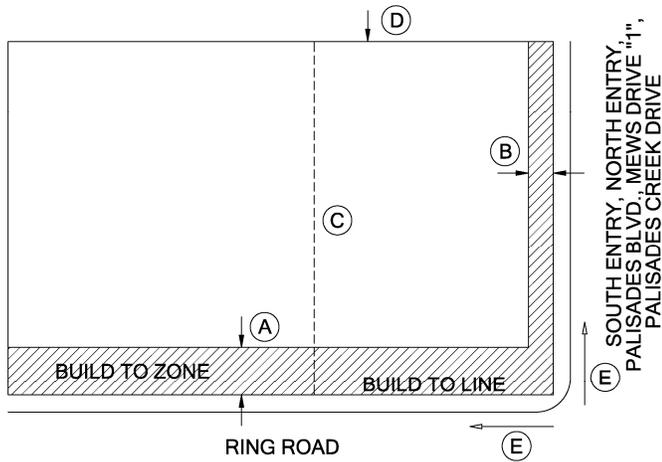
Outer Ring Mixed Use Sub-District Location Map

Note: This map is for reference only. Refer to the Regulating Plan (Appendix A) for all requirements.

Planned Development Code

Outer Ring Mixed Use

7.2.1 Building Placement



REFER TO SECTION 9 FOR BTL LOCATION

Build-To Zone (BTZ)		
Front (Ring Road)	0 - 10 feet	(A)
Front (South, North entries, Mews Drive "1")	0 - 20 feet	(B)
Front (Palisades Blvd.)	10 - 25 feet	(B)
Front (Palisades Creek Drive)	0 - 10 feet	(B)
Setback		
Side (distance from property line)	0 feet (see #1)	(C)
Rear (distance from property line)	0 feet (see #1)	(D)
Building Frontage		
Building Frontage required along Ring Road	75% (min.)	(E)
Building Frontage required along South, North entries	50% (min)	(E)

7.2.2 Building Height

Principal Building Standards	
Building height	Max height 6 stories/75-feet
First floor to floor height	15 feet min. for ground floor Retail Ready spaces, 10 feet min others (see #2)
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)
Upper floor(s) height (floor-to-ceiling)	10 feet min. (excluding bathrooms, hallways, closets, and areas common to furr downs)

7.2.3 Ground Floor Activated Uses

Ground floors of all buildings fronting on the Inner Ring Promenade shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

Notes

- #1 - Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #2 - First floor heights shall not apply to parking structures.
- #3 - All buildings in the Outer Ring Mixed Use shall meet the Building Design Standards in Section 8.

#4 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining street easements and public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

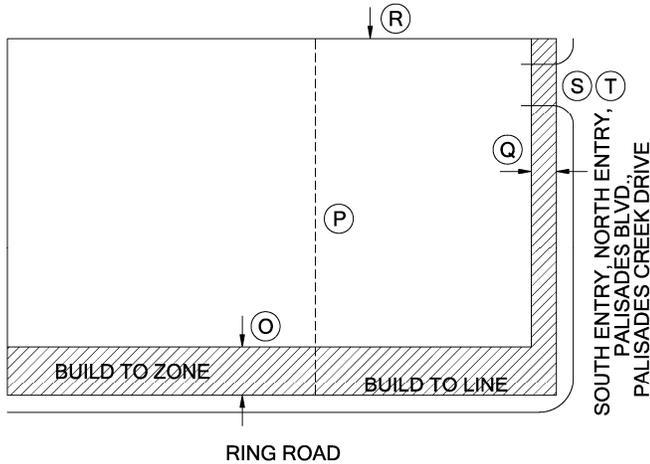
#5 - Setbacks and build-to lines for recessed entry and arcade buildings shall be measured from the building façade line which contains the recessed entry or arcade.

#6 - Required parking for commercial and office may be provided within 500 linear feet of the building frontage. Multi-family must be self-accommodated within its block.

#7 - Article III, Chapter 21, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas

Outer Ring Mixed Use

7.2.4 Parking & Service Access



7.2.5 Encroachments

Canopies, signs, awnings and balconies may encroach over the BTZ, setback, and, sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.2.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Sub-District.

Notes

#1 – Surface parking motor courts are permitted.

(i) Parking Location

Surface/At Grade Parking

Ring Road	Shall be located behind the principal building (see #1)	(O)
South, Palisades, Palisades Creek, North entries	Shall be located behind the principal building (see #1)	(Q)
Side setback (distance from property line)	0 feet min.	(P)
Rear setback (distance from property line)	0 feet min.	(R)

Above Grade Parking

Setback along Ring Road	0 feet	(O)
Setback along South and North entries	0 – 20 feet	(Q)
Side and rear setbacks (distance from property line)	0 feet min.	(P) (R)
Upper Floors	May be built up to the building line	

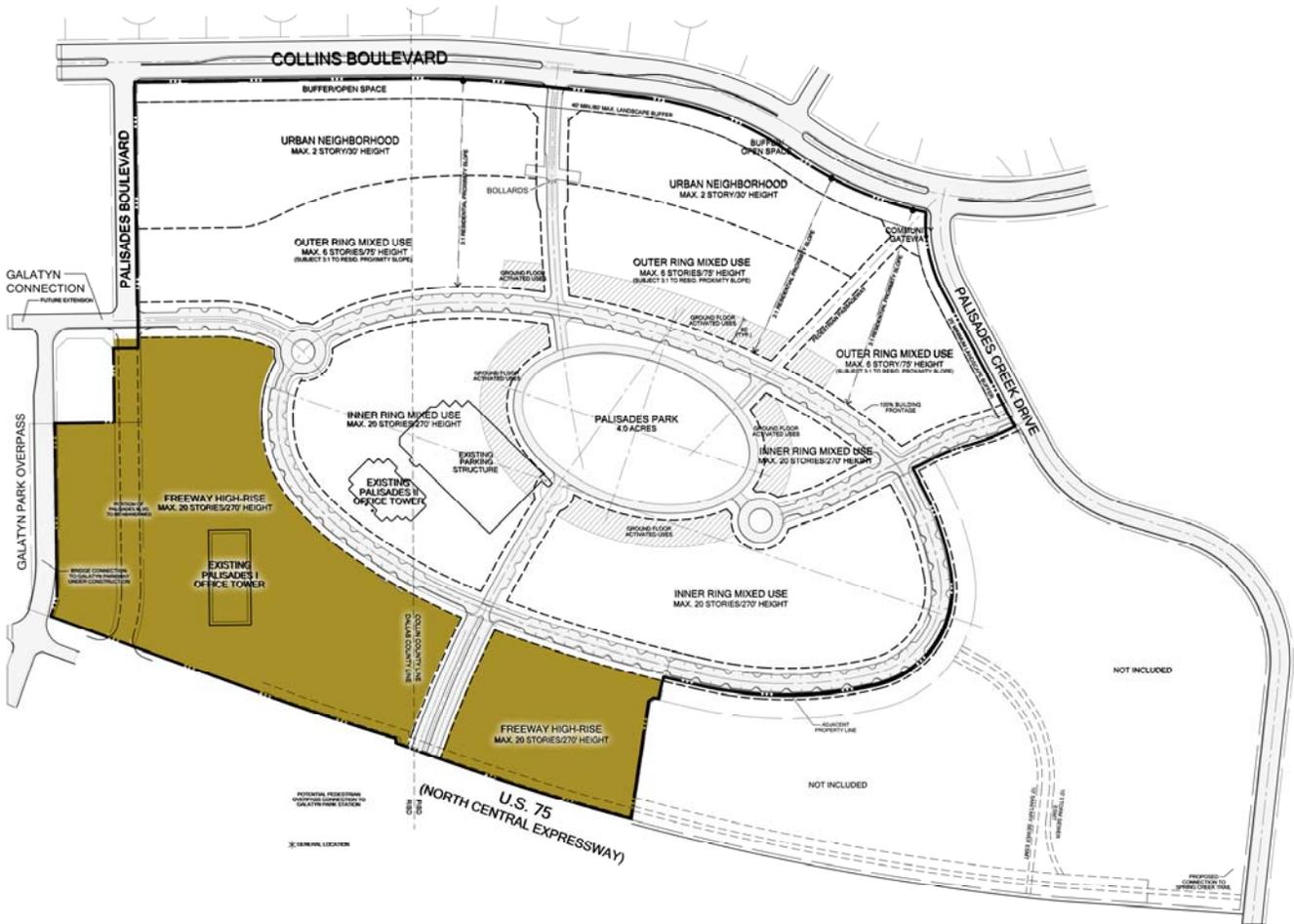
(ii) Required Off-Street Parking Spaces

Non-residential uses	1 space/300 sq. feet (gross)
Residential uses	1 space/bedroom

(iii) Driveways and Service Access

Parking driveway width	20 feet max. (except service drives which may be a max. of 30 feet wide)	(S)
Driveways and off-street loading and unloading docks shall not be located on a Type “A” Streets. Porte cocheres may be permitted over the street easement, but not withing on Type “A” Streets to provide drop-off and valet service. Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading and unloading access is provided from a Type “A” Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.		(T)

7.3 Freeway High Rise Sub-District

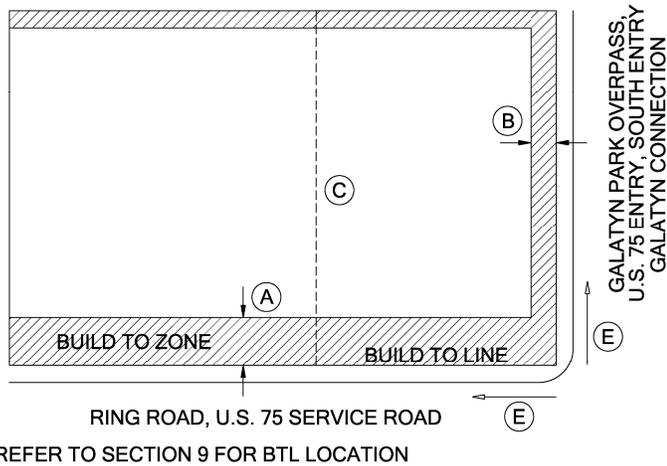


Freeway High Rise Sub-District Location Map

Note: This map is for reference only. Refer to the Regulating Plan (Appendix A) for all requirements.

Freeway High Rise

7.3.1 Building Placement



measured from the building façade line which contains the recessed entry or arcade.

#5 – Required parking for commercial and office may be provided within 500 linear feet of the building frontage. Multi-family must be self-accommodated within its block.

#6 – Article III, Chapter 21, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

Build-To Zone (BTZ)

Front (Ring Road)	0 – 20 feet	(A)
Front (U.S. 75 Entry)	10 – 40 feet	
Front (South Entry)	0 – 20 feet	

Setback

Front (U.S. 75 Service Road) from property line	30 feet (min.)	(A)
Front (Galatyn Park Overpass and Galatyn Connection) from property line	20 feet (min.)	(B)
Side (distance from property line)	0 feet (see #1)	(C)

Building Frontage

Building Frontage required along all street BTZ	50% (min.) along U.S. 75 Entry	(E)
Building Frontage required along all street BTZ	20% along Ring Road and South Entry	(E)
Building Frontage required along U.S. 75 Service Road and Galatyn Park Overpass	0% (min.)	(E)

7.3.2 Building Height

Principal Building Standards

Building height	Max 20 stories/270 feet
First floor to floor height	10 feet min. (excluding bathrooms, hallways, closets, and areas common to furr down)
Upper floor(s) height (floor-to-ceiling)	10 feet min. (excluding bathrooms, hallways, closets, and areas common to furr downs)

Notes

#1 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

#2 – First floor heights shall not apply to parking structures.

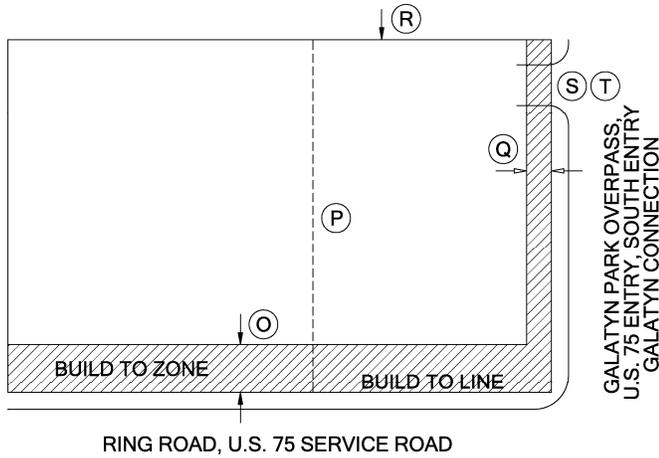
#3 – Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining street easements and public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#4 – Setbacks and build-to lines for recessed entry and arcade buildings shall be

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Freeway High Rise

7.3.3 Parking & Service Access



•Driveways and off-street loading and unloading shall not be located on the U.S. 75 Frontage Road.

•Porte cocheres may be permitted on Type “A” Streets to provide drop-off and valet service.

•Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.If driveway and/or off-street service loading and unloading access is provided from the U.S. 75 Frontage Road, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.

T

7.3.4 Encroachments

Canopies, signs, awnings and balconies may encroach over the BTZ, setback, and sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.3.5 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Sub-District.

Notes

#12 – Surface parking as an ancillary use with an office motor court shall be permitted with a 0 - 20-foot setback.

(i) Parking Location

Surface/At Grade Parking

Ring Road and U.S. 75 setback (see #12)	Shall be located behind the principal building	O
U.S. 75 Entry, Galatyn Park Overpass, South Entry and Galatyn Connection	Shall be located behind the principal building (see #12)	Q
Side setback (distance from property line)	0 feet min.	P

Above Grade Parking

Setback along U.S. 75 Frontage Road,	30 feet min.	O
Side and rear setbacks (distance from property line)	0 feet min.	P R
Setback along Galatyn Park Overpass and Galatyn Connection	20 feet min.	Q
Setback along Ring Road	0 feet	O
Setback along U.S. 75 Entry	10 feet min.	Q
Setback along South Entry	0 feet	Q

Upper Floors May be built up to the building line

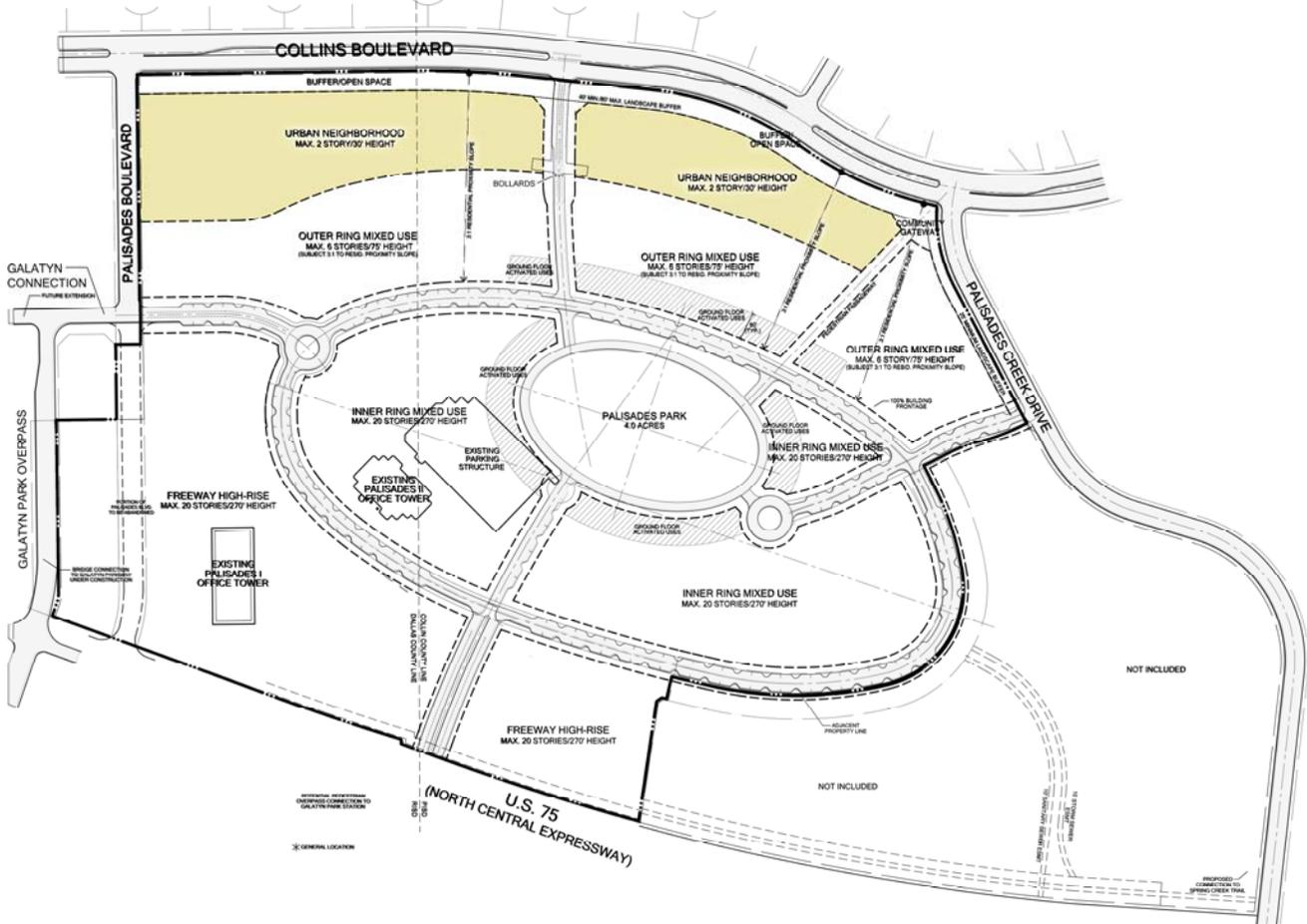
(ii) Required Off-Street Parking Spaces

Non-residential uses	1 space/300 sq. feet (gross)
Residential uses	1 space/bedroom

(iii) Driveways and Service Access

Parking driveway width	TXDOT standards on service road and 24 feet max on all Palisades District Streets, except when drives may need to be wider to address service access or fire lane standards.	S
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7.4 Urban Neighborhood Sub-District

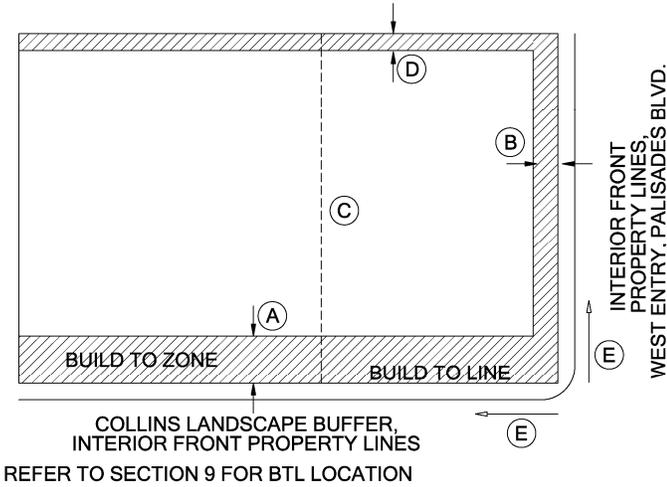


Urban Neighborhood Sub-District Location Map

Note: This map is for reference only. Refer to the Regulating Plan (Appendix A) for all requirements.

Urban Neighborhood

7.4.1 Building Placement



Setback (from property line)

Front (interior front property lines)	15 feet	(A)
Side (Palisades Blvd., West Entry)	20 feet	(B)
Side (distance from property line)	0 feet (see #1)	(C)
Rear (distance from property line)	10 feet	(B)
Collins landscape buffer width	40-80 feet	(A)

Min. setbacks for alley access only lots

Front (alley)	5 feet	(A)
Side (Collins Buffer)	5 feet	(C)
Side (interior)	(see #1)	(C)
Side (Mews "1")	5 feet	(C)
Rear (shared common green)	5 feet	(D)

7.4.2 Building Height

Principal Building Standards

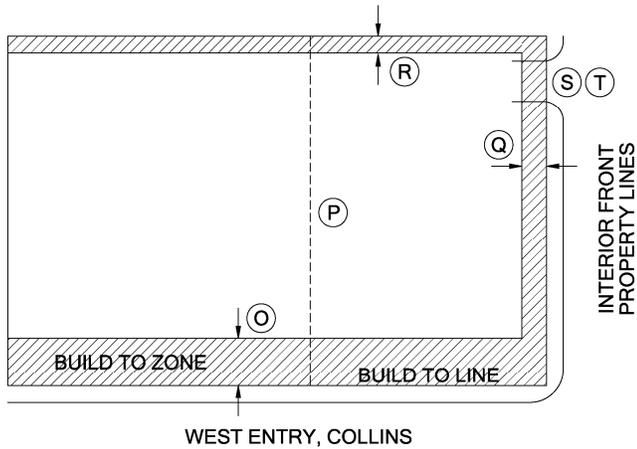
Building height	2 stories/30 feet
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Notes

#1 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

Urban Neighborhood

7.4.3 Parking & Service Access



(iv) Required Off-Street Parking Spaces

Residential uses	2 spaces/lot; visitor parking=.5 space/lot
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(v) Driveways and Service Access

Parking driveway width	20 feet max.	(S)
Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.		(T)

7.4.4 Encroachments

Porches, stoops, awnings, signs, canopies, balconies, bay windows and other architectural features may encroach into required yards, provided they do not encroach over the front property line.

7.4.5 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Sub-District.

Section 8. Building Design Standards

The Building Design Standards and Guidelines for the Palisades District shall establish a coherent urban character and encourage enduring and attractive development. Development plans shall be reviewed by the City Manager or designee for compliance with the standards below.

The key design principles establish essential goals for development in the Palisades District to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Sub-Districts

8.1.1 Building Orientation

- i. Buildings shall be oriented toward streets where the lot has frontage along streets.
- ii. Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- iii. All primary entrances shall be oriented to the sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

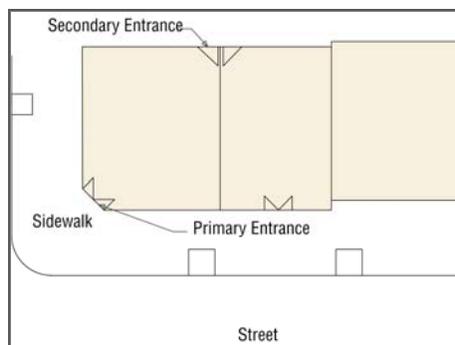


Figure showing required building orientation and location of primary entrances

8.1.2 Design of Parking Structures

- i. All frontages of parking structures located on Type “A” Streets and being located within 60’ of the street curb shall not have parking uses on the ground floor to a minimum depth of 30 feet.
- ii. Parking structure facades on all streets shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.

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- iii. Where above-ground structured parking is located at the perimeter of a building with frontage along any street it shall be screened in such a way that cars on all levels are completely hidden from view along Type “A” streets. Along the west perimeter of Outer Ring Mixed Use Sub-District, any above ground parking must have cars completely screened from view. Screening may be achieved through the use of louvered, solid or opaque vertical screening elements, in which case Section 8.1.2ii applies.
- iv. When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- v. Parking structure ramps shall not be visible from any Type A street.



Images showing appropriate design of Parking Structures

8.1.3 Design of Automobile Related Building Site Elements

- i. Drive-through lanes for commercial uses shall not be located along or visible from any street within all Sub-Districts.
- ii. All off-street loading, unloading, and trash pick up areas shall be located along alleys or Type ‘B’ Streets unless permitted in the specific building form and development standards in Section 7. Any off-street loading, unloading, or trash pick up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building, (ii) a living screen or (iii) a combination of the two.

8.2 Standards Specific to the Outer Ring Mixed Use, Inner Ring Mixed Use and Freeway High Rise Sub-Districts:

8.2.1 Roof Form

- i. Buildings shall have simple, flat fronts with minimal articulations with flat or low pitched roofs (2.5:12 or lower) with parapets. Corner hip roof elements and gable accents at the parapet may be permitted. Projecting mansard roofs shall not be permitted.



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8.2.2 Façade Composition

- i. Storefronts on facades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.
- ii. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- iii. Buildings shall generally maintain the alignment of horizontal elements along the block.
- iv. Corner emphasizing architectural features, pedimented parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



Buildings with architectural features and storefront elements that add interest along the street.

- v. Buildings which are located on axis with a terminating street or at the intersection of streets shall be considered as feature buildings. Such buildings shall be designed with features which take advantage of that location, such as an accentuated entry and a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line.

8.2.3 Windows and Doors

- i. Windows and doors on street (except alleys) fronting facades shall be designed to be proportional and appropriate to the architectural style of the building. First floor windows shall NOT be opaque, tinted or mirrored glass.
- ii. All ground floor front facades of buildings along streets or Civic/Open Space shall have transparent storefront windows covering no less than 50% of the façade area.



Images showing appropriate window designs and proportions.

Planned Development Code

8.2.4 Building Materials

- i. At least 85% of each building's façade (excluding doors and windows) shall be finished in one of the following materials:
 - Masonry (brick, stone, concrete, stucco utilizing a three-step process, cast stone, glass or glass block)
- ii. No more than 15% of each façade along any street shall use accent materials such as wood, architectural metal panel, split-face concrete block, tile or Exterior Insulating Finishing System (EIFS). EIFS may only be used 8 feet above the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and moulding features. Interior courtyards which shall be a minimum of 25% masonry content.



Images showing appropriate building materials within Inner Ring Mixed Use, Outer Ring Mixed Use, and Freeway High Rise.

- iii. Roofing materials visible from any street shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.

8.3 Standards Specific to the Urban Neighborhood Sub-District:

8.3.1 Building Orientation

- i. Garages for Residential Buildings may be located on alleys at the rear of residential buildings or along the front. Garages must be set back from the street property line a minimum of 20 feet. Two car garages must use single width doors and may be staggered as much as 3 feet from each other to the street.
- ii. Along the east perimeter of Urban Neighborhood Sub-District a three foot high masonry screen wall topped with a four-foot high painted metal fence must be constructed, with a two-foot high landscape screen along its base.
- iii. Fencing is not permitted in lieu of or in addition to the screening wall as required in Section 11.9.

8.3.2 Building Massing and Scale

- i. Buildings shall have few, if any, articulations and simple roofs (gable, hip, combination) with most building wing articulations set at the rear of the structure. Window projections, bay windows, stoops, porches, balconies, and similar extensions shall be exempt from this standard.
- ii. Gable roofs, if provided for buildings, shall have a minimum pitch of 5/12. When hipped roofs are used, the minimum pitch shall be 5/12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3/12.
- iii. Projecting mansard roofs shall be prohibited.

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Images showing appropriate massing and scale for Residential Buildings

8.3.3 Façade Composition

- i. Buildings shall maintain a façade rhythm of 20 feet to 30 feet along all streets. This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- ii. Buildings shall generally maintain the alignment of horizontal elements along the block.
- iii. Porches, stoops, eaves and balconies shall be added along the front residential facades to add pedestrian interest along streets.
- iv. Alley facing facades shall be of finished quality and of the same color to blend with the public facades of the building.



Residential buildings with porches, balconies, and stoops to add interest along the street.

8.3.4 Windows and Doors

- i. Windows and doors shall be designed to be proportional and appropriate to the architectural style of the building.
- ii. Windows may have jack arch, keystone arch, flat arch, or ornamental arches.



Images showing appropriate window designs and proportions.

- iii. All building facades of residential buildings fronting on streets or civic / open spaces, except alleys, shall have transparent windows covering at least 25% of each façade.

Planned Development Code**8.3.5 Building Materials**

- i. At least 85% of all street fronting facades (excluding doors and windows) shall be finished in one or more of the following materials. No more than three different materials shall be used on any single residential façade:
 - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty.
 - Masonry (brick; stone; cast in place concrete, cast stone, or stucco utilizing a three-step process).
- ii. The following may only be allowed up to 15% as an accent material:
 - Exterior Insulating Finishing System (EIFS), architectural metal panels or similar material over a cementitious base, rock, glass block and tile. EIFS may not be used on the ground floor and is prohibited on all building elevations with the exception of its use for exterior trim and moulding features.
- iii. Rear and side facades shall be of finished quality and of the same color that blend with the street facades of the building.
- iv. Roofing materials (visible from any street): copper, factory finished painted metal, slate, synthetic slate, terra cotta, and asphalt shingles. Three-tab shingles are not permitted.
- v. An enclosed 2-car garage shall be designed and constructed of the same material as the primary building.
- vi. Hand rails and balcony rails shall be of steel, glass or aluminum. Wood is not permitted.

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Section 9. Street & Streetscape Design Standards

9.1 Generally: Streets in the Palisades District need to support the overall goal of a mixed use, compact, pedestrian-oriented district. They should balance all forms of mobility while maximizing convenience for residents and visitors.

The Regulating Plan designates the required and recommended street network within the Palisades District. This section specifies the typical configuration of streets within the Palisades District. The specifications address vehicular lane width, parkway widths, street easement widths, number of travel lanes, on-street parking, and pedestrian accommodation. US 75 is under the purview of Texas Department of Transportation (TxDOT) while the remaining streets referenced in this section are private.

9.2 New Streets: This section specifies standards for all new streets in the Palisades District.

9.3 Street Classifications Established: Table 9.1 and associated cross sections shall establish the cross sections for each street type. The cross sections may be adjusted to fit existing contexts with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

Table 9.1

Elements Street Classifications	Street Easement Width (Recommended Minimum)		Number of Vehicular Lanes	Lane Widths for Vehicular Lanes	On-Street Parking	Pedestrian Sidewalk Width (min.)*	Parkway/ Tree Well
	Pavement Width	Pedestrian Easement (both sides)					
Ring Road	44 feet	15 feet	2	14 feet	Yes, both sides, parallel	8'-6"	In bulb out
North Entry	49 feet	15 feet	2	11 feet	Yes, both sides, parallel	8'-6"	In bulb out
South Entry	49 feet	15 feet	3	11 feet	Yes, both sides, parallel	8'-6"	In bulb out
West Entry	33 feet	15 feet	3	11 feet	No	8'-6"	Tree well (5 feet x 5 feet)
US 75 Entry	51 feet	14 feet	4	10 feet	No	6 feet	Parkway (8 feet)
Mews Drive "1"	24 feet	15 feet	2	12 feet	No	8'-6"	Tree well (5 feet x 5 feet)
Mews Drive "2"	32 feet	15 feet	2	12 feet	Yes, one side, parallel	8'-6"	Tree well (5 feet x 5 feet), one side in bulb out
Inner Ring Promenade	24 feet	15 feet	0 Fire Lane Only	24 feet	No	8'-6"	Tree well (5 feet x 5 feet) on one side

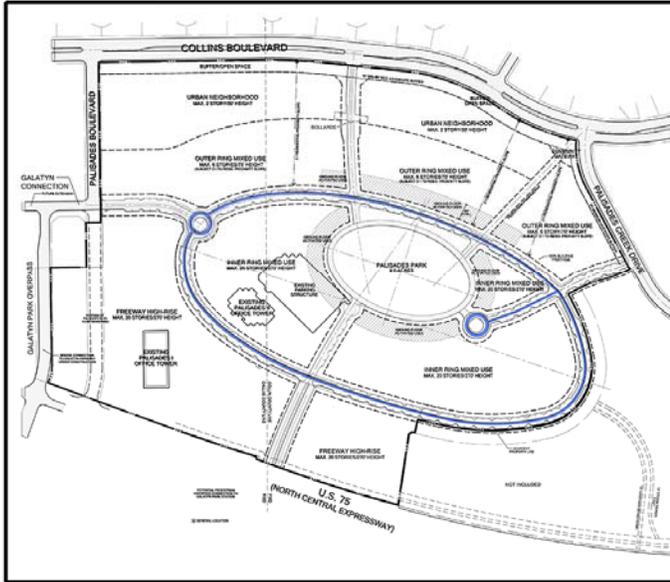
* A minimum 6-foot unencumbered sidewalk areas shall be provided. The 6-foot area shall be exclusive of tree grates or any other encroachments.

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9.4 Ring Road

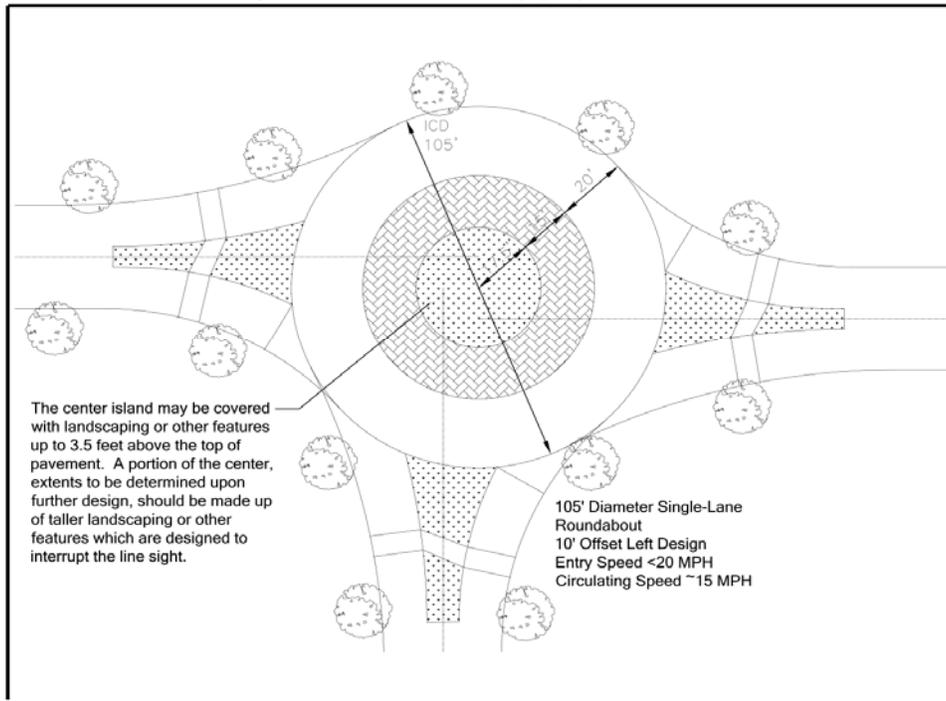
Location Map



Ring Road

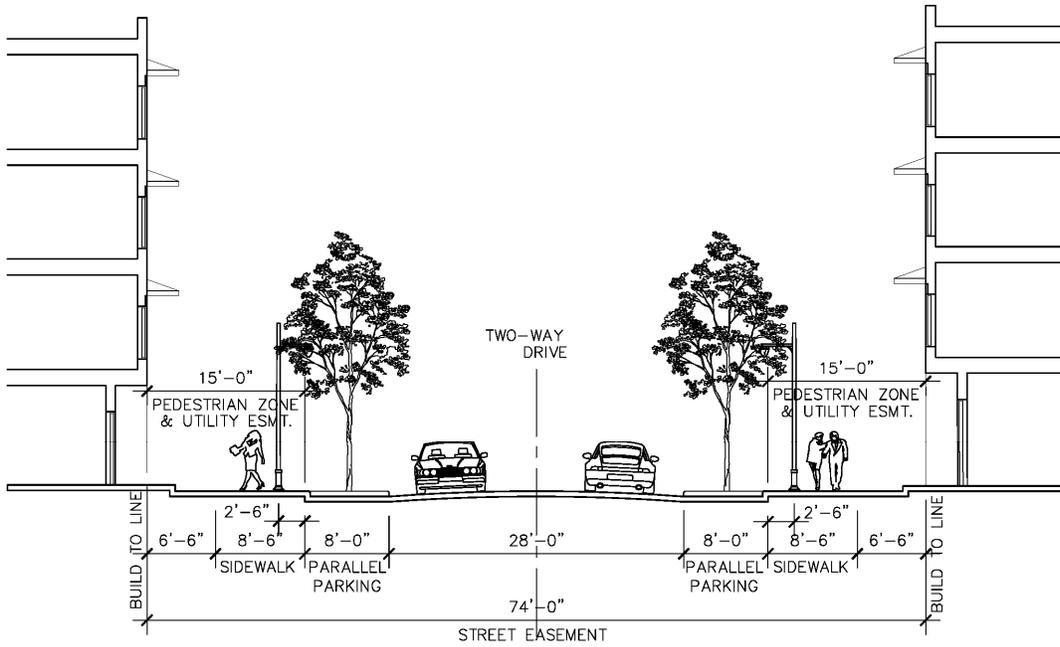
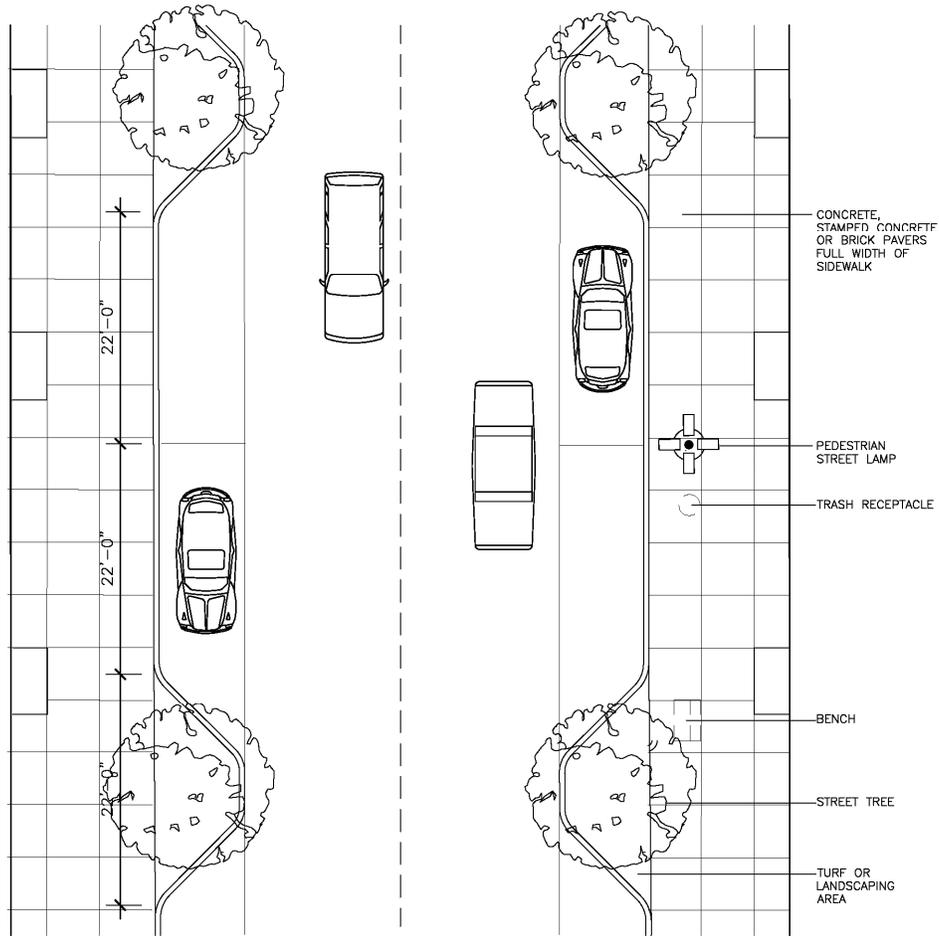
Street Type: B
Design Speed: 30 MPH
Parking: Parallel parking on both sides
Number of Vehicular Lanes: 2
Curb Radius: 20 ft.
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

Street Section: Ring Road Roundabout (Typ.)



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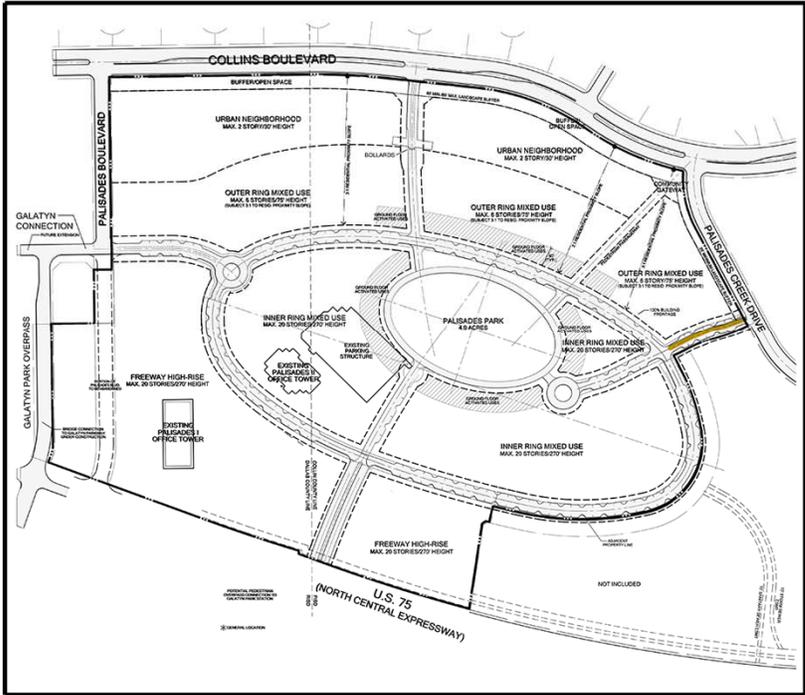


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9.5 North Entry

Location Map



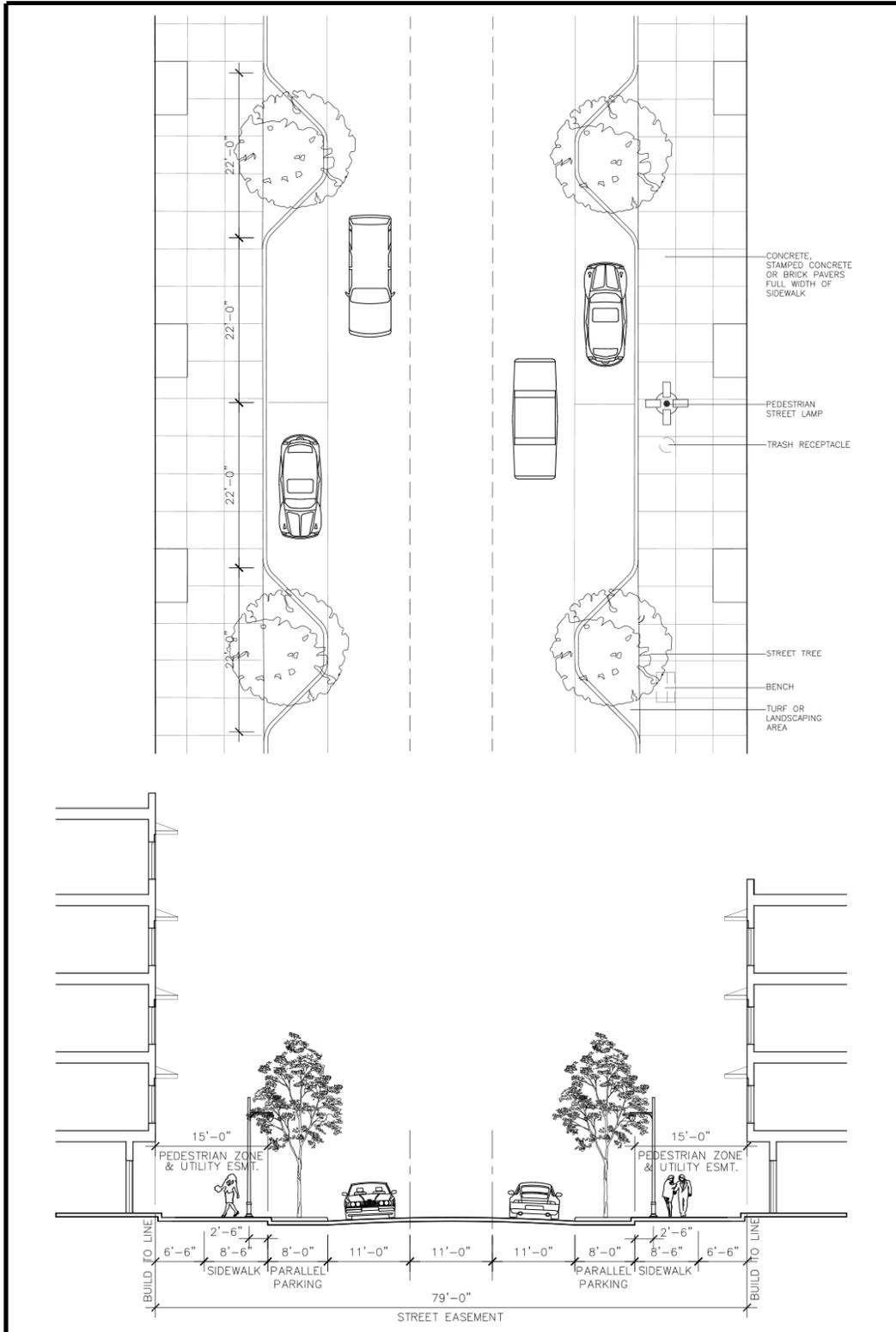
North Entry

Street Type: A
Design Speed: 30 MPH
Parking: Parallel parking on both sides
Number of Vehicular Lanes: 2
Curb Radius: 20 ft., 30 ft. from public streets
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: North Entry

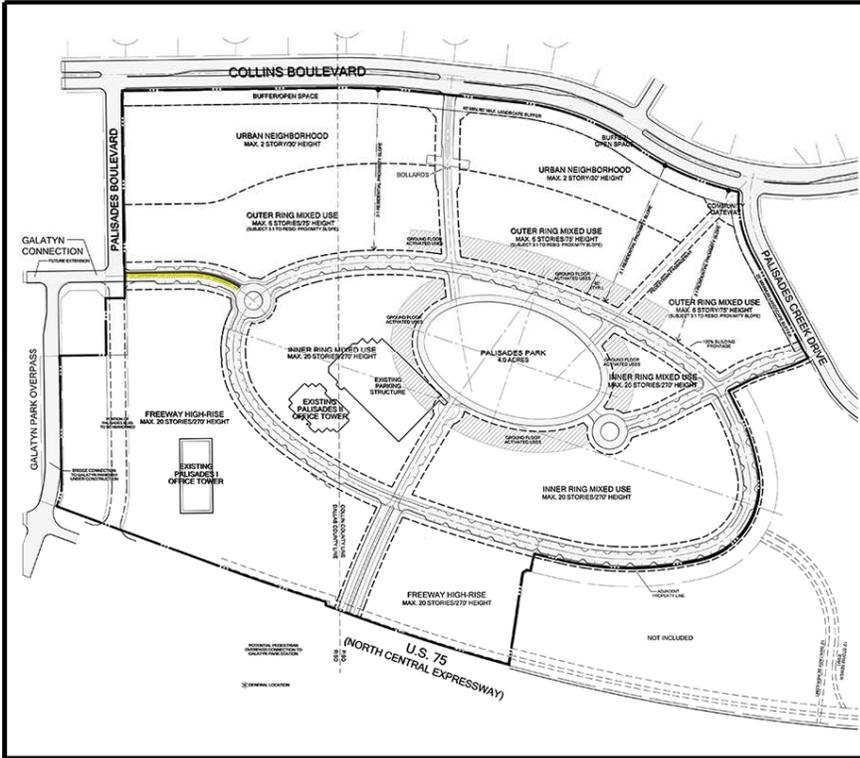


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9.6 South Entry

Location Map



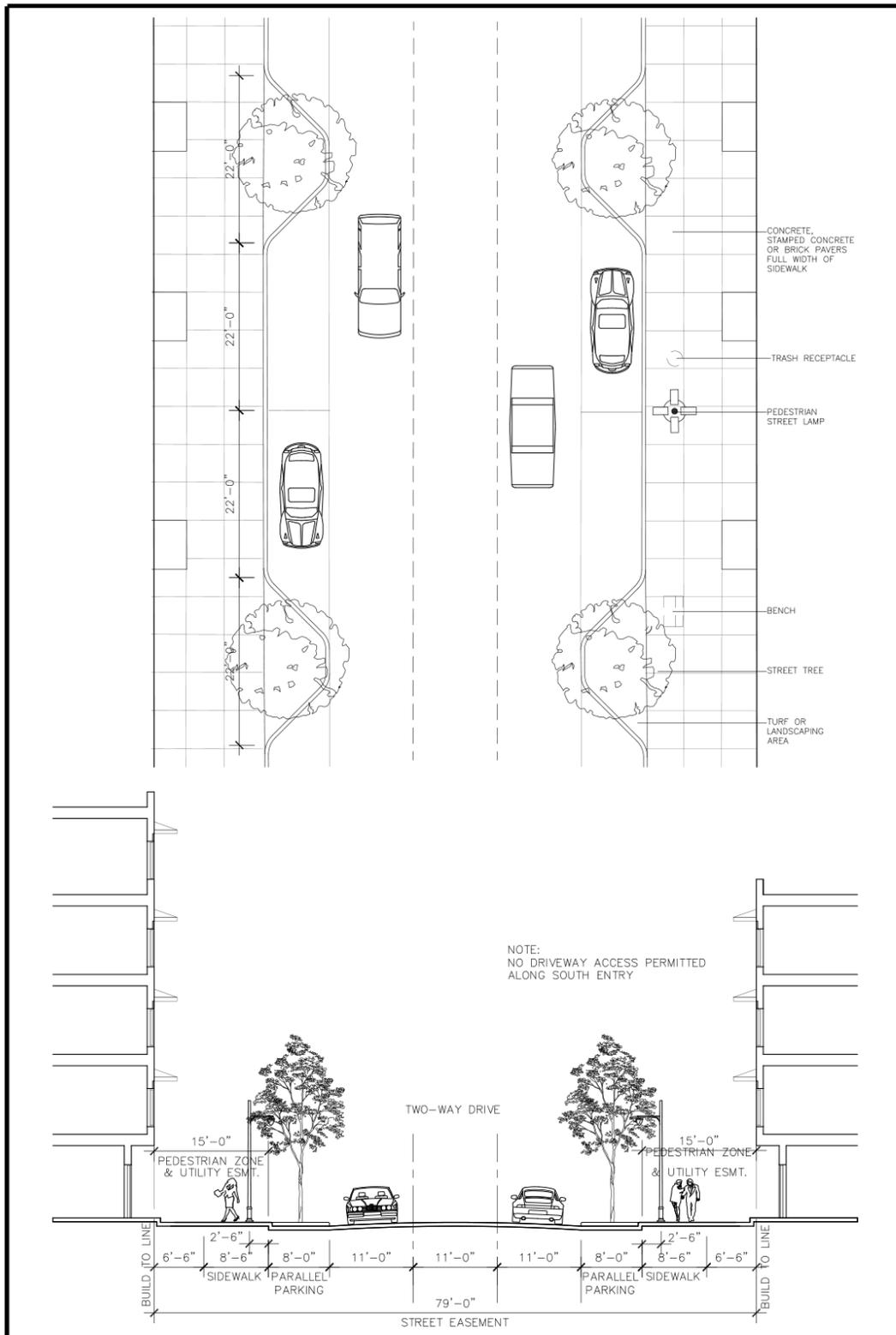
South Entry

Street Type: A
Design Speed: 30 MPH
Parking: Parallel parking on both sides
Number of Vehicular Lanes: 3
Curb Radius: 20 ft., 30 ft. from public streets
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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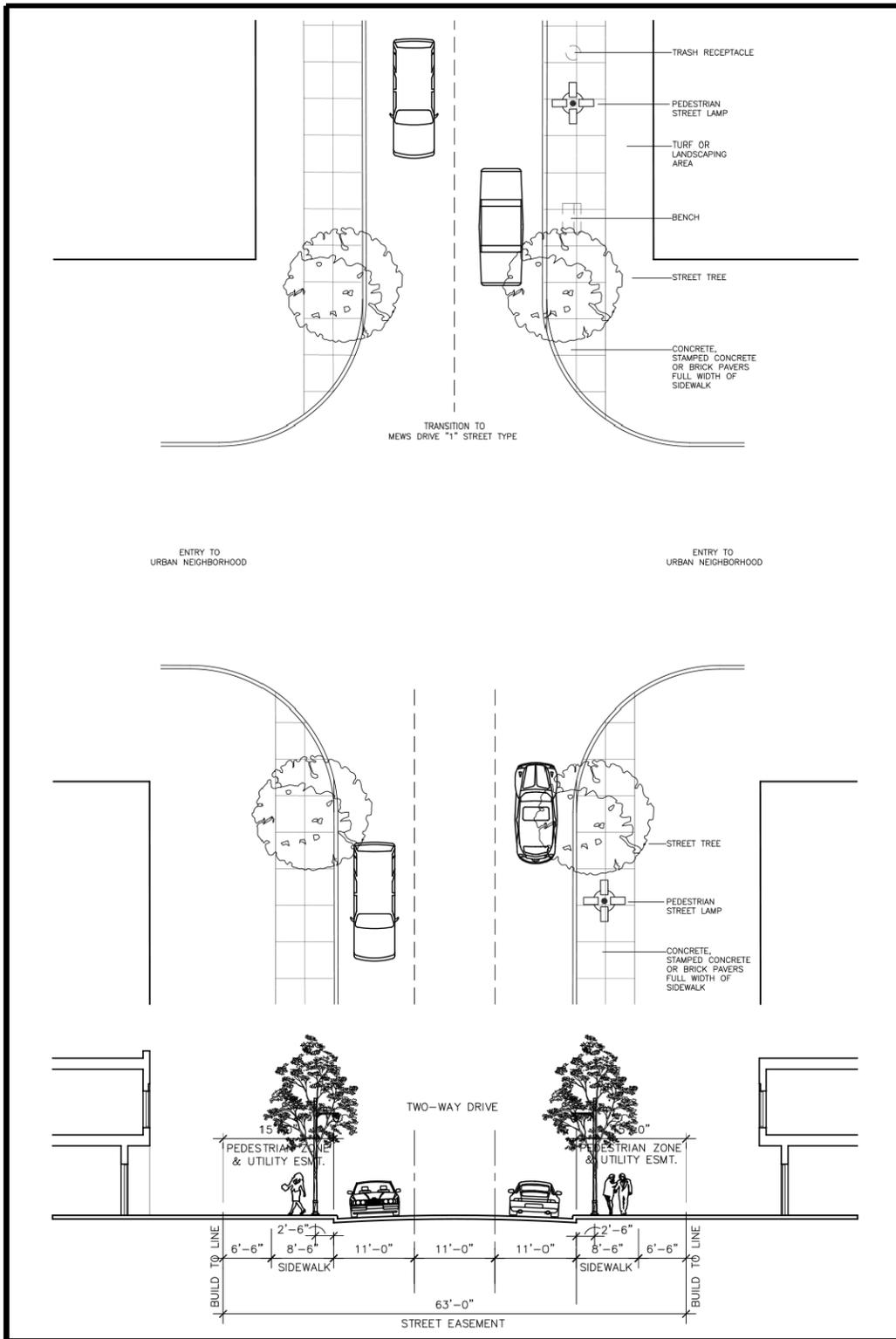
Street Section: South Entry



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Street Section: West Entry

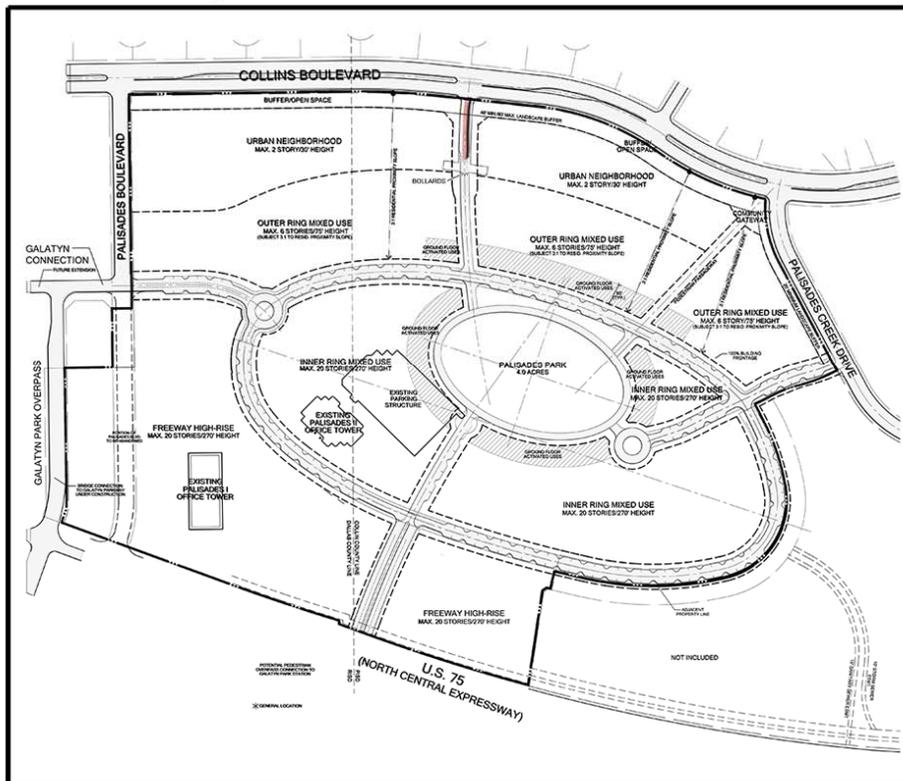


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9.8 U.S. 75 Entry

Location Map



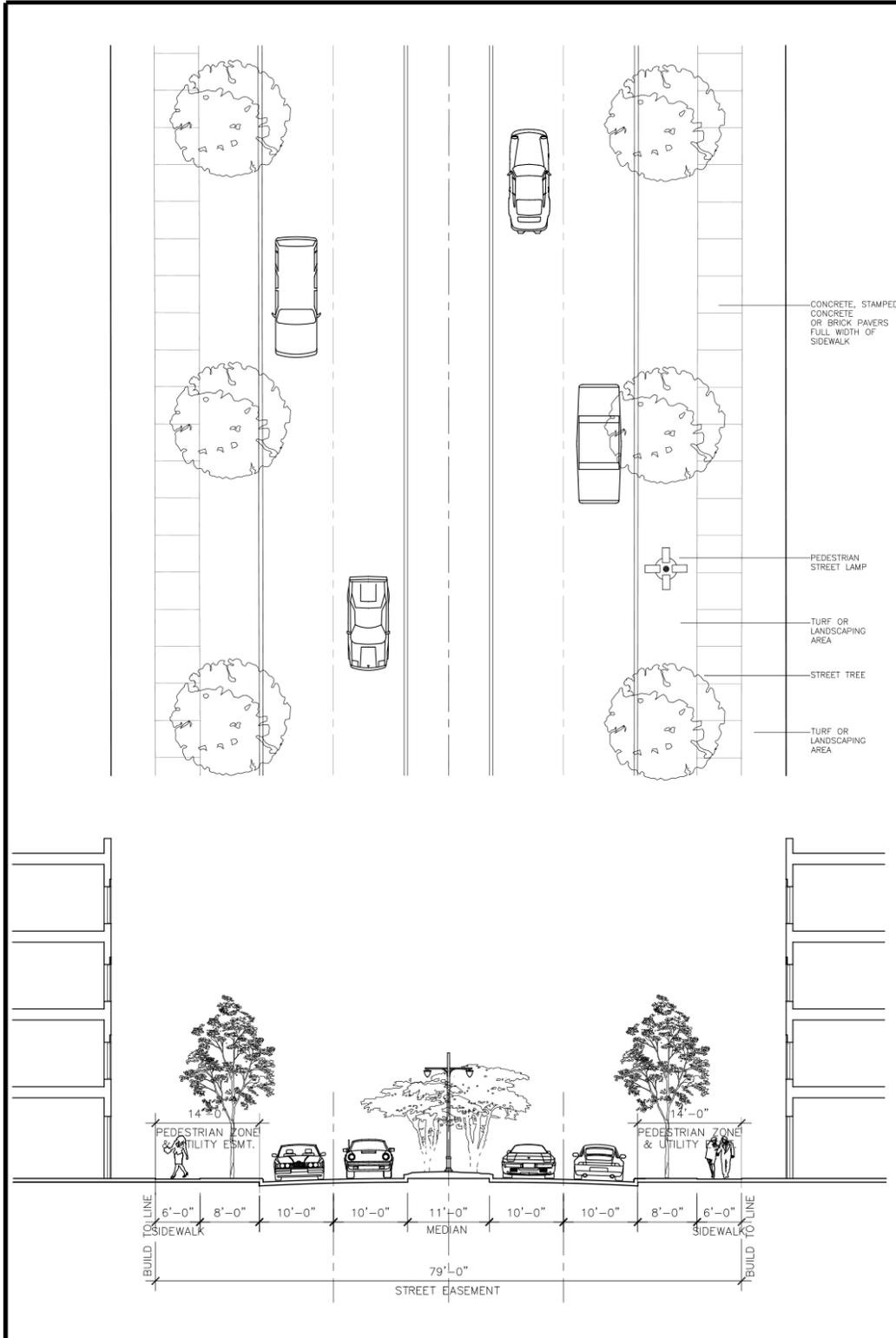
West Entry

Street Type: A
Design Speed: 30 MPH
Parking: No
Number of Vehicular Lanes: 3
Curb Radius: 20 ft., 30 ft. from public streets
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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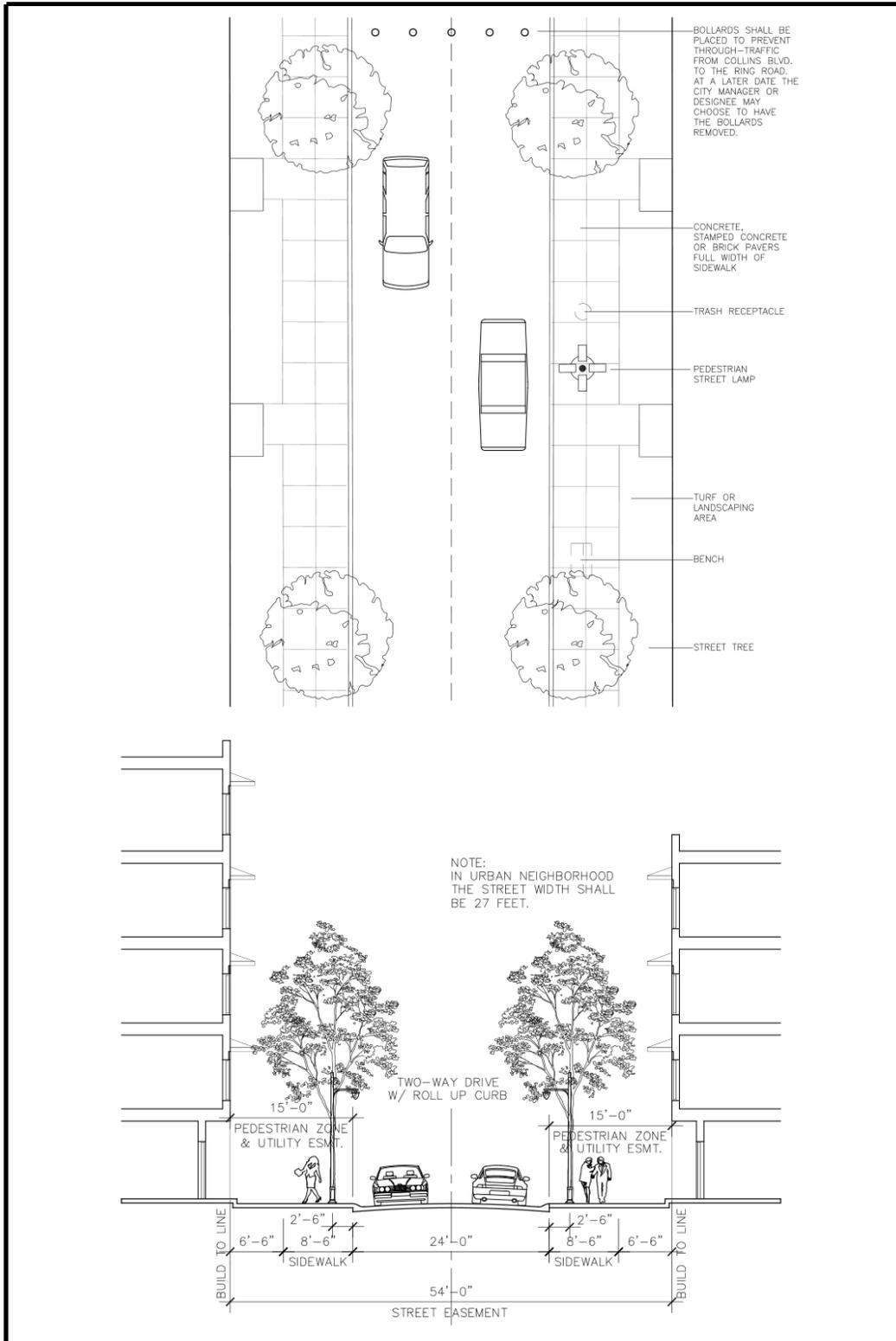
Street Section: U.S. 75 Entry



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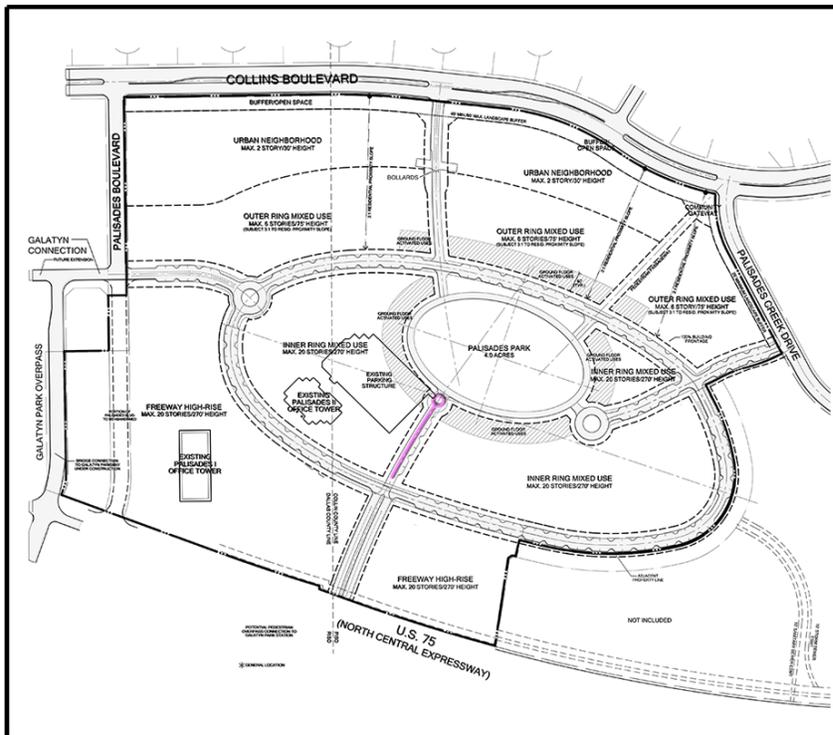
Street Section: Mews Drive "1"



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9.10 Mews Drive “2” Location Map



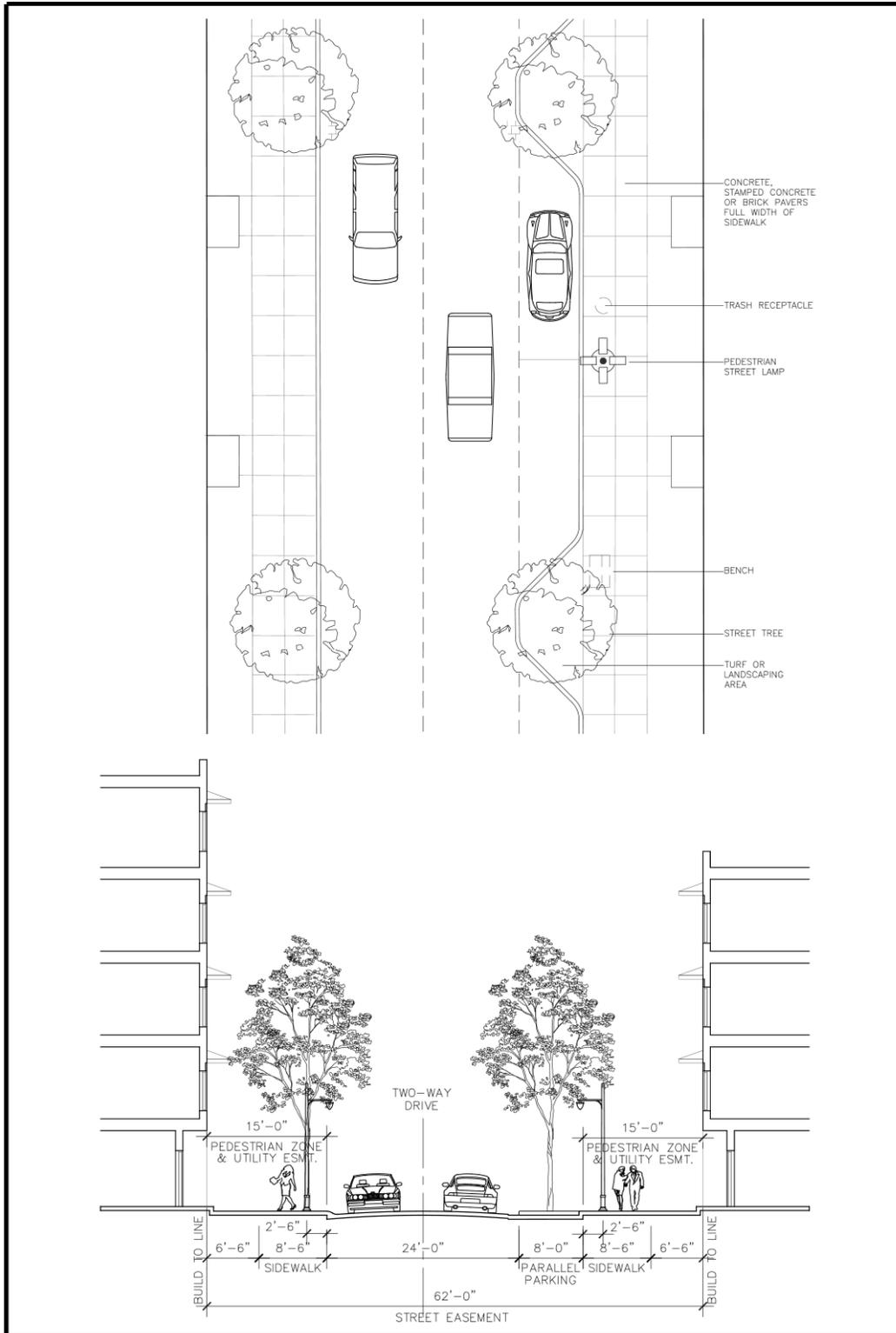
Mews Drive “2”

Street Type: B
Design Speed: 30 MPH
Parking: Parallel parking on one side only
Number of Vehicular Lanes: 2
Curb Radius: 20 ft.
Walkway Type: Pedestrian Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: Mews Drive "2"

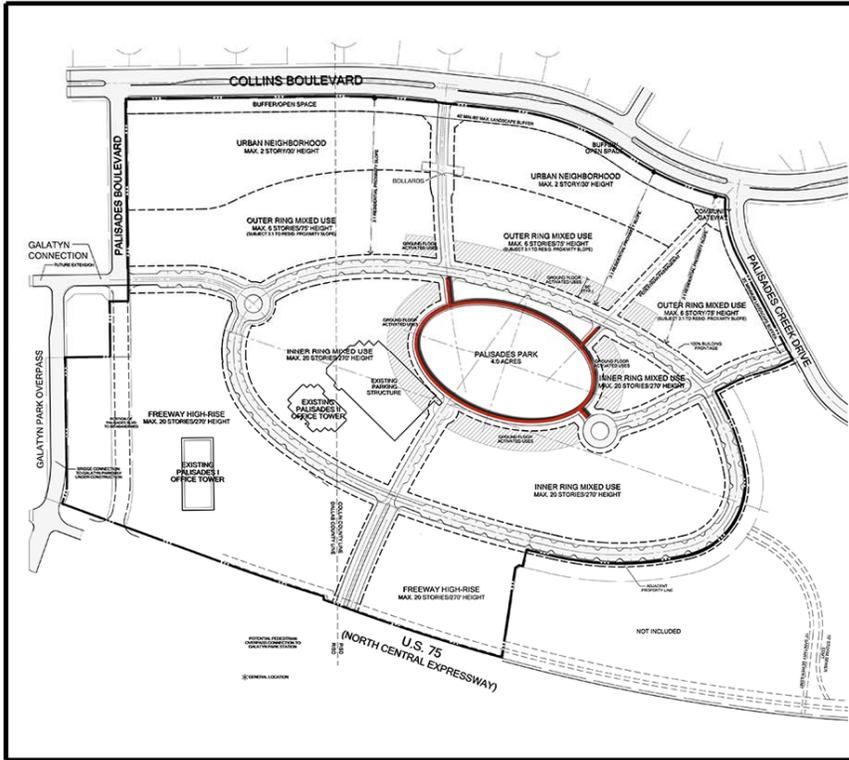


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9.11 Inner Ring Promenade

Location Map



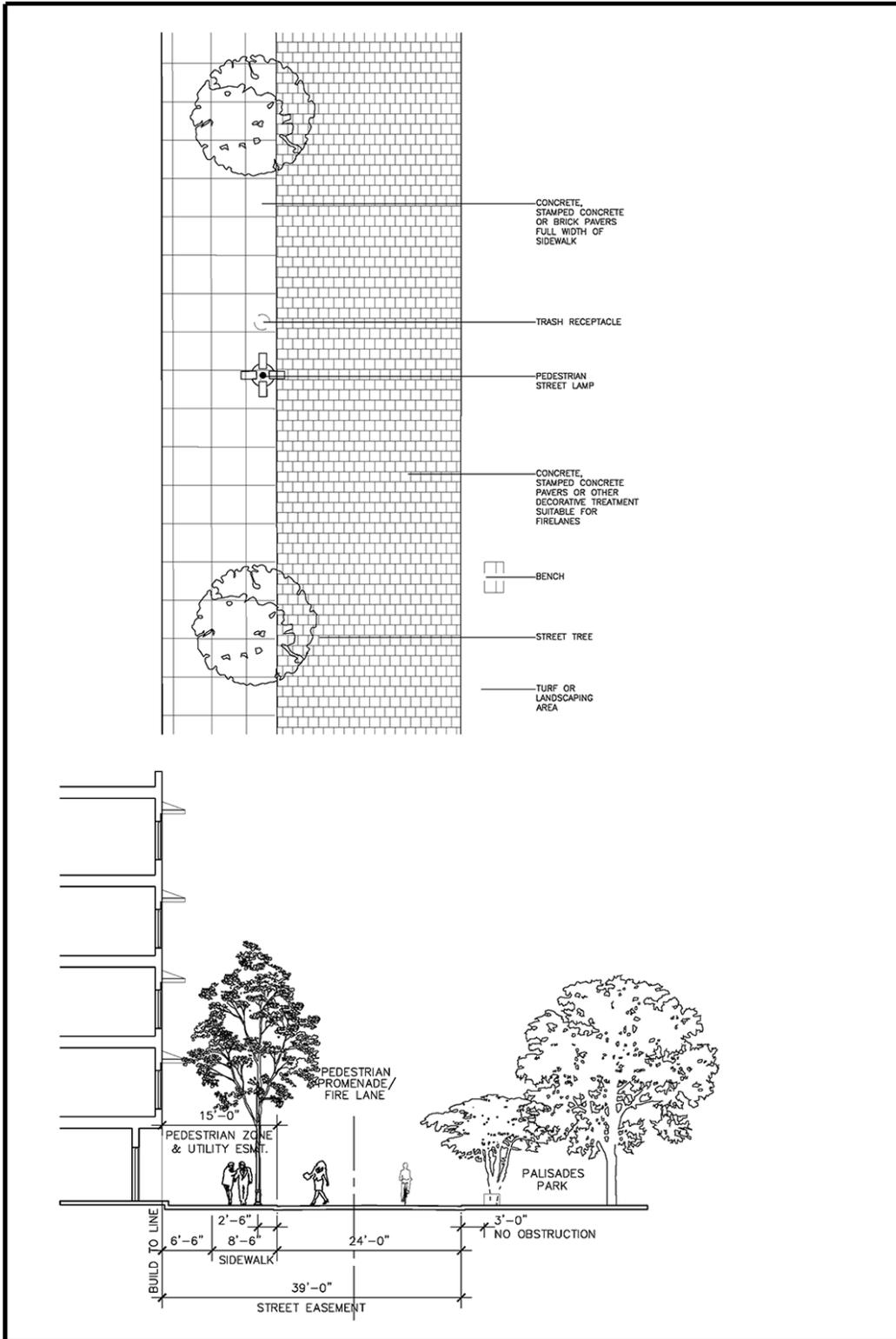
Inner Ring Promenade

Street Type: A
Design Speed: 30 MPH
Parking: N.A.
Number of Vehicular Lanes: N.A.
Curb Radius: 20 ft.
Walkway Type: Pedestrian/Fire Lane Esmt.
Landscape Type: Street Trees 50 ft. on center typ.

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Street Section: Inner Ring Promenade



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- 9.12 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets within the Palisades District. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all landscape within the street easements shall be by the property owners association established for the Palisades District.
- 9.13 Street Trees and Landscaping (within the pedestrian easement):
- 9.13.1 Street trees shall be required on all Palisades District streets (except on alleys).
 - 9.13.2 Street trees shall be planted approximately 3 feet behind the curb line when located in a bulb-out. The tree shall be centered within the bulb-out.
 - 9.13.3 Spacing shall be an average of 50 feet on center (measured per block face) along all streets unless otherwise specified in the cross sections.
 - 9.13.4 The minimum caliper size for each tree shall be 3 in. and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 36 sq. feet; however, the tree well area may be no smaller than 5 feet by 5 feet.
 - 9.13.5 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof. Turf grass must be installed as solid sod and not seeded on.
 - 9.13.6 Species shall be selected from the Palisades District Planting List in Appendix B of this ordinance.
 - 9.13.7 Maintenance of all landscape materials shall meet the requirements of the City of Richardson Landscape Ordinance Requirements.
 - 9.13.8 Along arterials and the highway access road, street trees shall be planted within the required landscape buffer as per the City of Richardson Landscape Ordinance/Policies.
- 9.14 Street Furniture, Lighting, and Materials:
- 9.14.1 Pedestrian scale lighting shall be required along all Palisades District streets. They shall be no taller than 20 feet.
 - 9.14.2 Exterior lighting shall minimize the lighting of architectural and landscape features. Where lighting is required for safety, security, egress or identifications, utilize down-lighting technologies rather than up-lighting.
 - 9.14.3 Pedestrian-scale regular street lights shall be placed at uniform locations based on the placement of street trees and other street furniture to provide safety for both pedestrians and automobiles while limiting spill-over and light pollution effects of such street lights. The placement and illumination intensity shall be subject to City approval at the time of the Development Plan.
 - 9.14.4 The light standard selected shall be compatible with the design of the street and buildings.
 - 9.14.5 Trash receptacles and bike racks shall be required along all Type 'B' Streets. A minimum of one each per block face shall be required. Each bike rack must accommodate at least six (6) bikes.
 - 9.14.6 Street furniture and pedestrian amenities such as benches are required along all Type "A" and "B" Streets.
 - 9.14.7 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.
 - 9.14.8 Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

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Section 10. Signage

Except as specifically listed below, all other signage and sign standards must comply with Chapter 18 of the City of Richardson Code of Ordinances, as amended.

10.1 For new signs, the standards in Table 10.1 shall apply and sign permits shall be approved administratively by the City of Richardson Building Official unless specifically noted in this section.

Table 10.1

Sub-District	Inner Ring Mixed Use	Outer Ring Mixed Use	Freeway High Rise	Urban Neighborhood	Standard
Address signs	P	P	P	P	Same as City of Richardson Sign Regulations
Banners	P	P	P	NP	Same as City of Richardson Sign Regulations
Building Blade Signs	P	P	P	NP	<ul style="list-style-type: none"> One per building face (commercial and mixed use buildings only) Area = 30 sq. feet maximum per sign face. May encroach a maximum of 6 feet over a sidewalk, but shall not encroach over any parking or travel lane. Building blade signs may be attached to the building at the corners of building or along any street facing façade above the first floor facade. Min. height clearance = 8 feet.
Directory signs	P	P	P	NP	<ul style="list-style-type: none"> Shall be allowed for all multi-tenant commercial and mixed use buildings only One directory sign per multi-tenant building limited to 12 sq. feet in area Design of the sign shall be integral to the façade on which the sign is to be affixed.
For sale/for lease signs	P	P	P	P	<ul style="list-style-type: none"> Size is limited to 32 sq. feet per sign face All other standards are the same as City or Richardson Sign Regulations.
LED signs	P	P	P	NP	<ul style="list-style-type: none"> Shall be covered by a lens or diffuser. Shall only be permitted as part of a Master Sign Plan. Shall be subject to the conditions of Ch. 18 of the ordinances except as otherwise noted.
Light Pole Banners	P	P	P	NP	<ul style="list-style-type: none"> Permitted only with approval of the Building Official. Max. 10 sq. feet per sign face. Limited to one per light pole All light pole banners shall be approved by the appropriate utility company prior to consideration by the Building Official. Light pole banners shall be limited to publicize community-wide events, holiday celebrations, public art, and

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Sub-District	Inner Ring	Outer Ring	Freeway High	Urban Neighborhood	Standard
					<ul style="list-style-type: none"> other city sponsored events.
Marquee Signs	P	P	P	NP	<ul style="list-style-type: none"> Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more Marquee signs shall be attached to the building or located above or below a canopy only Area = 100 sq.foot maximum Message board may be changeable copy (electronic and non-electronic). Electronic message boards shall be non-flashing. Marquee signs shall not be permitted along Palisades Blvd., Collins Blvd., Palisades Creek Drive and U.S. 75 access road.
Monument Signs	P	NP	P	NP	<ul style="list-style-type: none"> One monument sign per lot per lot street frontage (no more than 2 per lot separated by at least 100 feet) limited to a maximum of 50 sq. feet per sign face and 6 feet in height. Permitted only along U.S 75 access road, Ring Road and streets along Freeway High Rise.
Off-premises signs	NP	NP	NP	NP	
Pole signs	NP	NP	NP	NP	
Sandwich board signs	P	P	P	NP	<ul style="list-style-type: none"> Permitted only for retail, service, or restaurant uses Limited to 12 sq. feet per sign face per storefront; Sign may not exceed 4 feet in height. A minimum of 6 feet of sidewalk shall remain clear. Chalkboards may be used for daily changing of messages. Readerboards (electronic and non-electronic) shall be prohibited. Sign shall be removed every day after the business is closed.
Sub-division Entry Sign	NP	NP	NP	P	<ul style="list-style-type: none"> Permitted at Collins Entry Max. heights 4 feet
Temporary construction signs	P	P	P	P	One (1) free standing sign per lot during construction only; limited to 32 sq. feet
Tenant Blade Signs	P	P	P	NP	<ul style="list-style-type: none"> One per commercial tenant space (retail, office, or restaurant use) Area = 16 sq.foot maximum per sign face May encroach a maximum of 4 feet over a sidewalk, but shall not encroach over any parking or travel lane. Tenant blade signs shall be oriented perpendicular to the building façade and hung under the soffit of an arcade or under a canopy/awning or attached to the building façade immediately over the ground floor tenant space while maintaining a vertical clearance of 8 feet from the finished sidewalk.

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Sub-District	Inner Ring	Outer Ring	Freeway High	Urban Neighborhood	Standard
					<ul style="list-style-type: none"> Min. height clearance = 8 feet.
Wall (Building) Signs	P	P	P	NP	<ul style="list-style-type: none"> For all ground floor commercial uses (retail, office, and restaurant): One sign per tenant space; area to be calculated at 1.5 sq. feet per linear foot of street frontage for the tenant space with a maximum of 100 sq. ft per tenant. Second and upper floor commercial uses may also be permitted one second floor wall sign per tenant space per street frontage; area to be calculated at 1.5 sq. feet per linear foot of second or upper floor frontage along that street with a maximum of 125 sq.feet Institutional uses (non-profits and churches): One sign per tenant space; area to be calculated at 1.5 sq. feet per linear foot of street frontage with a maximum of 100 sq. feet Live-Work and Home occupations: One sign limited to an area of 20 sq. feet max. Building sign may encroach a maximum of 12” on to a sidewalk while maintaining a vertical clearance of 8 feet from the finished sidewalk. Building signs may be internally or externally lit. Marquee signs as only permitted as specified below.
Window Signs	P	P	P	NP	<ul style="list-style-type: none"> Limited to 10% of the window area. The following shall be exempt from this limitation: <ul style="list-style-type: none"> Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs. Mannequins and storefront displays of merchandise sold. Interior directory signage identifying shopping aisles and merchandise display areas.

10.2 An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City of Richardson City Manager or Designee and are subject to approval of the City Plan Commission. In evaluating a Master Sign Plan, the City Plan Commission shall consider the extent to which the application meets the proposed Sign Plan with the following goals:

- 10.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
- 10.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;
- 10.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and
- 10.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

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Section 11. Civic/Open Space Standards

11.1 The design of Civic/Open Space shall be regulated by the Civic/Open Space standards herein which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from large regional parks to neighborhood-scaled plazas. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike.

11.2 Open Space Standards – Palisades Park



The required open space, Palisades Park, as designated on the Regulating Plan, will create an important public space that connects the community within the Palisades District and allows for active and passive recreation. Palisades Park shall primarily be naturally landscaped with many places to sit on benches or low walls. Appropriate civic elements, café tables, water features, arbors, amphitheater space or open shelters may be included.

Typical Characteristics

General Character

Large, open space

Spatially defined by landscaping and building frontages

Paths, trails, open shelters, lawns, trees and shrubs naturally disposed

Location and Size

Location and size shall be as shown on the Regulating Plan (Appendix A).

Typical Uses

Passive, and unstructured active recreation

Casual seating/picnicking

11.3 Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets.

Typical Characteristics

General Character

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

Typical Uses

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining

11.4 Pedestrian Passage Standards



Pedestrian passages create intimate passageways through buildings at designated locations. These paths provide direct pedestrian access to residential addresses and create unique spaces for frontages to engage and enter off of. Pedestrian passages allow for social and commercial activity to spill into the public realm. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants.

Typical Characteristics

General Character

- Hardscape pathway
- Frequent entries and frontages
- Exterior stairways
- Defined by building frontages
- Minimal planting and potted plants
- Maintain the character of surrounding buildings

Standards

Min. Pavement 12 feet
 Width

Typical Uses

- Pedestrian connection and access
- Casual seating

11.5 Multi-Use Trail Standards



The multi-use trail provides an important place for active recreation and creates a connection to regional paths and biking trails. The multi-use trail will help activate connections between uses throughout the Palisades District with other trails that branch off to adjacent neighborhoods. The multi-use trail may have different character as it passes along the outer streets and connects internally with streets.

Typical Characteristics

General Character

Public Multi-Use Trail:

Hardscape Path

Formally disposed pedestrian furniture, landscaping and lighting

Trees lining trail for shade

Appropriately lit for safety

Standards

Min. Pavement 12 feet
 Width

Location shown on the Regulating Plan (Appendix A).

Typical Uses

Active and passive recreation

Casual seating

11.6 Project Path Standards



The Project Path provides an important place for active recreation and creates a connection to regional paths and biking trails. It will help activate connections between the open spaces and the uses throughout the Palisades District. It may have different character as it passes along the outer streets and connects internally with streets.

The Project Path is intended as a system of pedestrian access along the perimeters and through the heart of the Palisades District. It will connect various segments of the Palisades District with both the District’s perimeters as well as the centrally located Palisades Park. It will also tie with the more regionally focused multi-use trail.

For the buffer zone along Collins Boulevard the Project Path will meander along the road, providing a five foot minimum park strip between the path and the road. No path amenities will be provided along this stretch. Landscape shall be in conformance with the City of Richardson Comprehensive Zoning Ordinance and Landscape Ordinance.

Typical Characteristics

General Character

Hardscape Path

Formally disposed pedestrian furniture, landscaping and lighting

Trees lining trail for shade

Appropriately lit for safety

Standards

Min. Pavement Width 8 feet

Location shown on the Regulating Plan (Appendix A).

Typical Uses

Active and passive recreation

Casual seating

11.7 Playgrounds



Playgrounds shall be permitted in parks to provide open space designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places – protected from the street and typically located where children are not required to cross major roads to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided.

A large playground may be incorporated into the park.

Playground equipment shall serve all ages, based on City of Richardson Parks and Recreation Standards, as amended. Playground equipment and design shall be reviewed and approved by the City of Richardson, including the Parks and Recreation Department.

Typical Characteristics

General Character

- Focused toward children
- Fenced with minimal exits (non-mandatory)
- Open shelter
- Shade and seating provided
- Play structure, interactive art or fountains

Standards

- | | |
|-----------|-----|
| Min. Size | N/A |
| Max. Size | N/A |
- As described by civic space type in which playground is located
 - Protected from traffic
 - No service or mechanical equipment

Typical Uses

- Active and passive recreation
- Unstructured recreation
- Casual seating

Planned Development Code

11.8 Ancillary Structures



Ancillary structures should be formal in character and generally are related to but clearly subordinate to surrounding buildings. Each individual structure should keep in character with the style of nearby buildings. Typically, these structures are located at prominent locations within an appropriate civic space. Ancillary structures located in more urban zones may have minor commercial uses, such as small food or news vendors, but may also serve as civic elements for general public use with more passive activities. Other ancillary structures located within the Urban Neighborhood Sub-District should be more modest in use and character, ranging from a simple neighborhood kiosk or mail pavilion, excluding any commercial use. When located within civic open spaces such as Palisades Park, the maximum percentage of space they occupy shall be no greater than 5% of the open space coverage. No single structure shall be greater than 1,500 SF in size.

Typical Characteristics

General Character

- Formal character
- Relating to style of surrounding buildings
- One or more open sides
- Covered or providing shade
- Small, stand alone structure
- Located within Park, Green, Square or Plaza

Standards

Min. Size	N/A
Max. Size	N/A

Typical Uses

- Civic purposes
- Minor commercial uses
- Casual seating/picnicking

Planned Development Code

11.9 Landscape Buffer – Collins Boulevard Buffer



The Collins Boulevard landscape buffer is intended as a green buffer strip that separates the single family neighborhood to the west from the development to the east. The buffer strip will accommodate the natural topography of the land, which steeply slopes in some places. The 8 foot meandering Project Path runs through the length of the buffer and should align as much as possible with the flattest portions of the buffer’s width to prevent the Path from requiring retaining walls.

Using the landscape requirements per the City of Richardson Landscape Ordinance for Non-Residential Properties along US 75 and PGBH Design Guidelines as a guide, two canopy trees and one ornamental tree must be provided along the buffer for each 50 lineal feet of street frontage. These trees may be selected from the Palisades Code Planting List (Appendix B). Trees are not required to be placed on 50 foot centers; this is merely a quantity guideline. Trees may be planted in “natural” groupings to provide informal clusters of shade. All canopy trees must be planted within 10 feet of the meandering Project Path.

Along the east edge of the buffer (the west property line of the Urban Neighborhood lots) shall be a 3 foot high masonry wall topped with a 4 foot high painted metal fence. Along the wall on the buffer’s side a landscape hedge row of shrubs shall be added, using plantings selected from the Palisades Code Planting List (Appendix B). Selected shrubs must be at least 3 feet in height at full maturity. A consistent, yet random location of planting is preferred, but no plantings shall be further than 15 feet from the buffer’s east edge.

Typical Characteristics

General Character

Landscape Buffer
Project Path included

Located along Collins Blvd.

Standards

Buffer Width 40’ – 80’

Typical Uses

Active Recreation

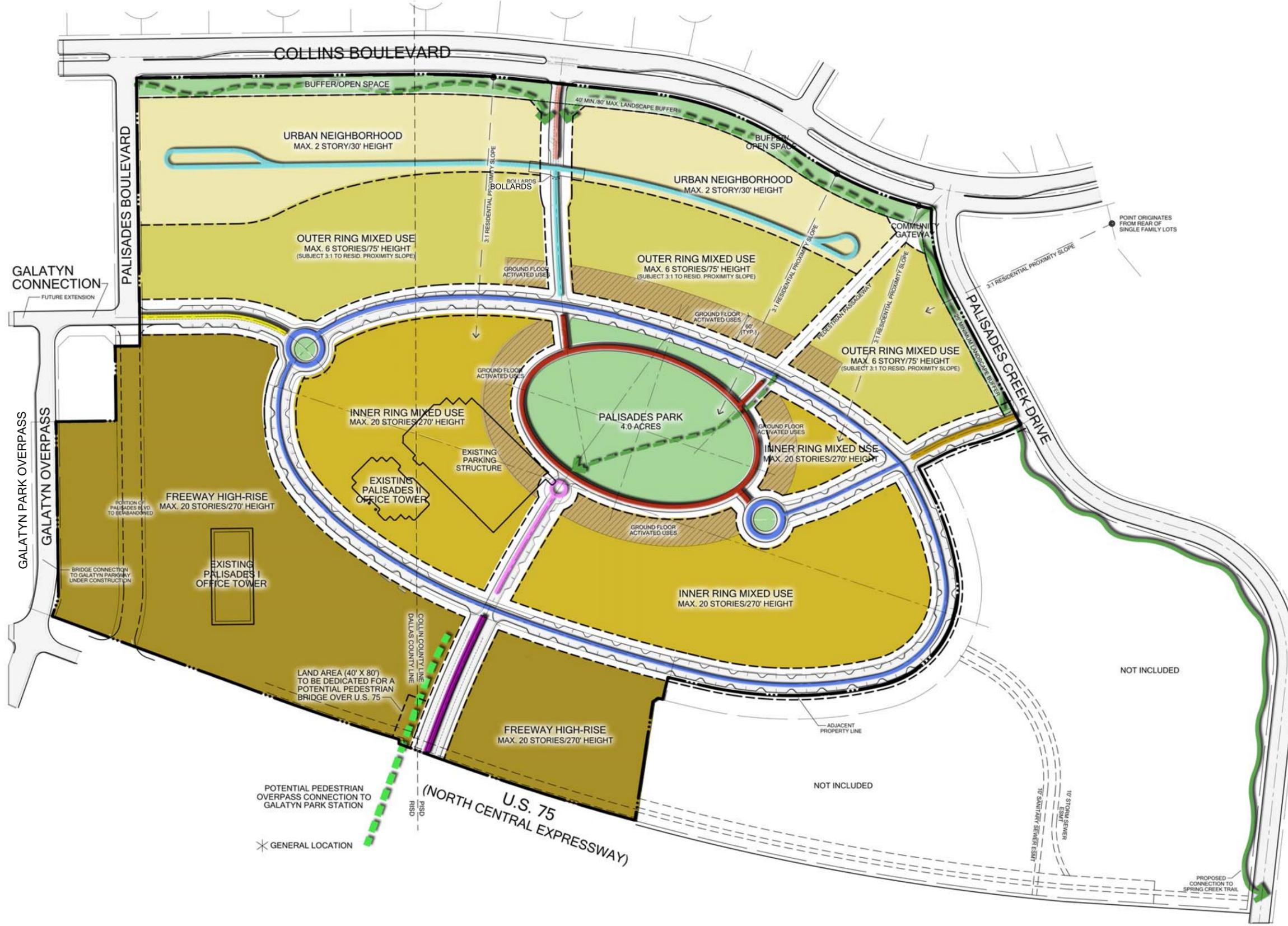
PALISADES
Planned Development Code

November 27, 2013

Please see following page attached.



APPENDIX A



Project Data:
 Multi-Family: 600 units max. Retail: 200,000 sf max.
 Single Family: 80 units max. Hotel: 300 Room max.
 Office: 1.5 million sf max. + existing

NOTE:
 FOR THE OUTER RING MIXED USE, INNER RING MIXED USE AND
 FREEWAY HIGH-RISE SUB-DISTRICT THE ROOFLINES MUST
 RESIDE BELOW THE 3:1 PROXIMITY SLOPE AS DEPICTED



gff GFF Planning

2808 Fairmont Street Suite 300
 Dallas, Texas 75201

214.303.1500/Tel
 214.303.1512/Fax
 www.gff.com

Owner:
 JP Realty Partners, Ltd.
 Contact: Mark Jordan
 14801 Quorum Drive, Suite 200
 Dallas, Texas 75254
 972.458.7600
 mjordan@jppartners.net

Job #: 11233.00
 File Name: Site-Regulating Plan-9.dwg
 Date: 11/27/13
 Drawn by: R. Lawrence Good /
 Brian E. Moore

REGULATING PLAN
PALISADES
PLANNED DEVELOPMENT
 Address: Richardson, Texas
 59.40 Acres

Exhibit A

PALISADES
Planned Development Code

November 27, 2013

Appendix B

Planting List

The following lists contain all species approved for use in the Palisades District. It contains native and acceptable adapted species. Other species that are drought tolerant and adaptive may be used for planting within the Palisades District. The use of alternative species may be permitted with the approval of the City Manager or designee.

CANOPY/STREET TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Live Oak	<i>Quercus virginiana</i>
Red Oak	<i>Quercus shumardi</i>
Bald Cypress	<i>Taxodium distichum</i>
Cedar Elm	<i>Ulmus crassifolia</i>
Lacebark Elm	<i>Ulmus parvifolia</i>
Bigtooth Maple	<i>Acer grandidentatum</i>
Caddo Maple	<i>Acer saccharum 'Caddo'</i>
Texas Ash	<i>Fraxinus texensis</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinquapin Oak	<i>Quercus muhlenbergii</i>
Escarpment Live Oak	<i>Quercus fusiformis</i>
Ginkgo	<i>Ginkgo biloba</i>
Chinese Pistache	<i>Pistacia chinensis</i>

ORNAMENTAL TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Yaupon Holly	<i>Ilex vomatoria</i>
Crape Myrtle	<i>Lagerstromia indica</i>
Deciduous Yaupon	<i>Ilex decidua</i>
Mexican Plum	<i>Prunus Mexicana</i>
Wax Myrtle	<i>Myrica carifera</i>
Chitalpa	<i>Chitalpa tashkentensis</i>
Desert Willow	<i>Chilopsis linearis</i>
Eve's Necklace	<i>Sophora affinis</i>
Vitex	<i>Vitex angus-castus</i>
Redbud	<i>Cercis canadensis</i>
Saucer Magnolia	<i>Magnolia soulangiana</i>

SHRUBS LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Nandina	<i>Nandina domestica 'nana'</i>
Dwarf Burford Holly	<i>Ilex cornuta 'burfordi nana'</i>
Abelia Grandiflora	<i>Abelia grandiflora</i>
Barberry	<i>Barberry spp.</i>
Yucca (Red, Yellow or Soft Tip)	<i>Hesperaloe parviflora</i>
Texas Sage	<i>Leucophyllum frutescans</i>



Planned Development Code

Indian Hawthorn	<i>Raphiolepis indica</i>
Dwarf Crape Myrtle	<i>Lagerstromia indica 'nana'</i>
Dwarf Yaupon Holly	<i>Ilex vomitoria 'nana'</i>
Black-Eyed Susan	<i>Rudbeckia hirta</i>
Dwarf Wax Myrtle	<i>Myrica pusilla</i>
Needlepoint Holly	<i>Ilex cornuta 'Needle Point'</i>
Knockout Rose	<i>Rosa 'Knock Out'</i>
Rosemary	<i>Rosmarinus officinalis</i>

GROUND COVER/VINES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Asian Jasmine	<i>Trachelosperum Asiaticum</i>
Liriope "Big Blue"	<i>Liriope "big blue"</i>
Mondograss	<i>Ophiopogon japonicus</i>
Purple Wintercreeper	<i>Euonymum coloratus</i>
Santolina	<i>Santolina virens</i>
Trumpet Vine	<i>Campsis radicans</i>
Virginia Creeper	<i>Parthenocissus quinifolia</i>
Lady Banks Rose	<i>Rosa banksiaw lutea</i>
Confederate Jasmine	<i>Trachelospermum jasminoides</i>
Crossvine	<i>Bignonia capreolata</i>
Evergreen Wisteria	<i>Millettia reticulata</i>
Lantana 'New Gold'	<i>Lantana camara 'New Gold'</i>
Liriope 'Silver Dragon'	<i>Liriope muscari 'Silver Dragon'</i>
Prostrate Rosemary	<i>Rosmarinus officinalis prostrata</i>
Sweet Autumn Clematis	<i>Clematis terniflora</i>

ORNAMENTAL GRASSES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Fountain Grass 'Little Bunny'	<i>Pennisetum alopecuroides 'Little Bunny'</i>
Dwarf Maiden Grass	<i>Miscanthus sinensis 'Adagio'</i>
Fountain Grass	<i>Pennisetum alopecuroides</i>
Inland Seoats	<i>Chasmanthium latifolium</i>
Maiden Grass	<i>Miscanthus sinensis 'Gracillimus'</i>
Mexican Feather Grass	<i>Stipa tenuissima</i>
Muhly Grass	<i>Muhlenbergia capillaris</i>
Weeping Lovegrass	<i>Eragrostis curvula</i>

TURF

<u>Common Name</u>	<u>Botanical Name</u>
Bermuda	<i>Cynodon dactylon</i>
St. Augustine	<i>Stenotaphrum secundatum</i>
Zoysia	<i>Zoysia tenuifolia</i>

PALISADES
Planned Development Code

November 27, 2013

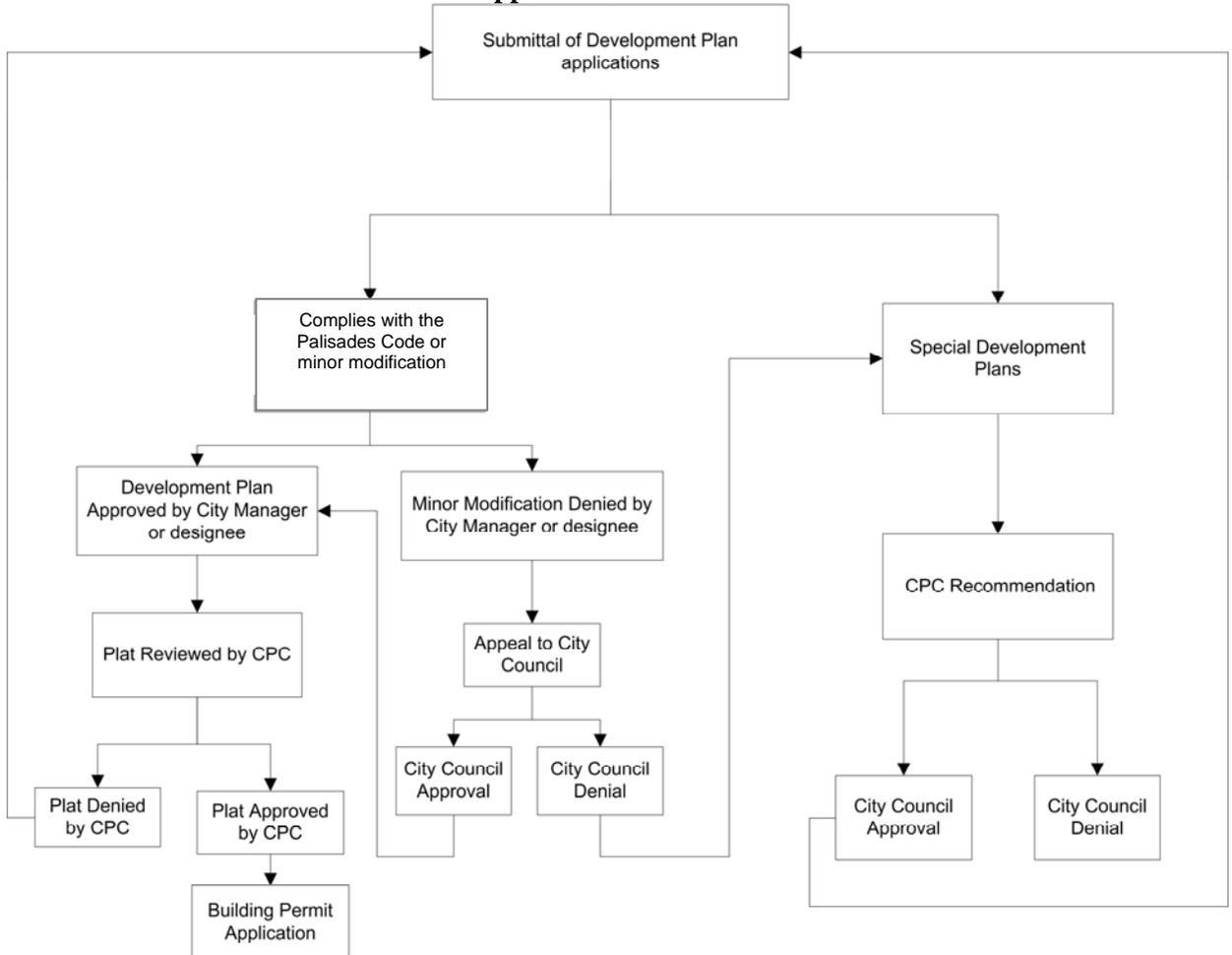
These plantings may be placed in Civic/Open Spaces or used to meet the private landscaping requirements of the Code. The applicant shall select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.



PALISADES Planned Development Code

November 27, 2013

Appendix C



CPC: City Plan Commission
 CC: City Council
 SDP: Special Development Plan

Note: Development Plans include site plans, building elevations, landscape plans, civil engineering plans, and all plats



GFF Planning

2808 Fairmount Street
Suite 300
Dallas, Texas 75201

214.303.1500/Tel
214.303.1512/Fax
www.gff.com

R. Lawrence Good, FAIA
Brian E. Moore, AICP

June 27, 2013

Mr. Michael Spicer
City of Richardson
Development Services Department
P.O. Box 830309
Richardson, Texas 75083-0309

RE: Palisades Planned Development

Palisades sits on a tract of land in the heart of the Richardson Telecom Corridor across U.S. 75 from Galatyn Park Station. Two office towers currently occupy the southerly portion of the tract, with a parking garage serving one of them. The current entitlements on the tract were issued in 2006, with no subsequent development occurring for the last seven years. We believe that these entitlements are too inflexible in their ability to encourage new development. The goal of this submission is to begin the planning process fresh by removing the current entitlements and design for a mixed use development that is flexible for prospective developers and potential corporate campus users and yet predictable in its urban form and uses allowed that both the neighboring home owners and city elected leaders can feel comfortable with.

The purpose of the Palisades Planned Development as described in the attached submission is to support the development of a pedestrian oriented, mixed-use urban environment that takes advantage of superior site visibility and vehicular access to U.S. 75 and adjacent employment centers. The proximity of the nearby Galatyn Park Station encourages an efficient, compact land use pattern; encourage pedestrian activity; reduce the reliance of private automobiles; and provide a more functional and attractive community through the use of recognized principles of urban design.

The objective of this submission is to foster a major regional employment center with neighborhood retail and residential uses. Our team is excited to be presenting this submission to you for your consideration, and look forward to proceeding through the administrative process for this important site along the Telecom Corridor.

Regards,
GOOD FULTON & FARRELL PLANNING

Brian E. Moore, AICP

Cc: Mark Jordan
R. Lawrence Good, FAIA, AICP

P:\2011\11233 - Palisades Greenway\B-project information\Misc Data\2013 Submittal\Letr_StatementofIntent1.doc



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

PD PLANNED DEVELOPMENT

File No./Name: ZF 13-13 Palisades Planned Development Code
Property Owner: Mark Jordan / JP Realty Partners, LTD.
Applicant: Larry Good / GFF Planning
Location: West side of Central Expressway, generally bounded by Collins Boulevard to the west, Palisades Boulevard and Galatyn Parkway West Extension to the south, and Palisades Creek Drive to the north.
Current Zoning: PD Planned Development District, LR-M(2) Local Retail, and TO-M Technical Office
Request: A request to rezone approximately 58.5 acres from PD Planned Development, LR-M(2) Local Retail, and TO-M Technical Office to PD Planned Development for development of a pedestrian-oriented, mixed-use development.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, NOVEMBER 5, 2013
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 13-13.

Date Posted and Mailed: 10/25/13

AWAD REBHI A & MAHA
2624 BOX CANYON CT
RICHARDSON, TX 75080-1970

BROBERG MARK & LANA K
3811 FISHERMANS CV
LITTLE ELM, TX 75068-3116

CALLEY WILLIAM A &
DEBORAH C
201 BRIDGE CANYON CT
RICHARDSON, TX 75080-2674

DOBBS LIVING TRUST
JOE D & LANDRA K DOBBS TRUSTEE
201 STONE CANYON CT
RICHARDSON, TX 75080-1967

HART MICHAEL C & SUE A
202 LOST CANYON CT
RICHARDSON, TX 75080-1900

JP-PALISADES III LLC
14801 QUORUM DR STE 200
DALLAS, TX 75254-1448

KIVLEHAN JOHN A
2619 E PRAIRIE CREEK DR
RICHARDSON, TX 75080-2675

MOXHAM ROBERT G &
BARBARA J MOXHAM
202 BRIDGE CANYON CT
RICHARDSON, TX 75080-2600

SOCIETY OF PETROLEUM ENGINEERS
222 PALISADES CREEK DR
RICHARDSON, TX 75080-2040

VOET RICHARD L ETUX
2627 BOX CANYON CT
RICHARDSON, TX 75080-1969

BATES DOUGLAS A & JANIS E
201 LOST CANYON CT
RICHARDSON, TX 75080-2667

BURNS ROGER W & CLAIRE L
2618 E PRAIRIE CREEK DR
RICHARDSON, TX 75080-2676

COOK DANIEL W & JUDY B
200 STONE CANYON CT
RICHARDSON, TX 75080-1968

FREDERICK CHARLES M-LE &
FREDERICK MARILYN J-LE
201 WOODDED CANYON CT
RICHARDSON, TX 75080-1971

HOUCHIN WILLIAM E & FRANCES
2626 BOX CANYON CT
RICHARDSON, TX 75080-1970

KAMAL SYED & ASMA HAYDAR
200 LONG CANYON CT
RICHARDSON, TX 75080-2668

LENOX ANDY & CARLENE
200 WOODDED CANYON CT
RICHARDSON, TX 75080-1972

ODEN DAVID H & BONNIE
200 LOST CANYON CT

RICHARDSON, TX 75080-1900

SOMERS ROBERT B &
CHRISTINE V
202 HIGH CANYON CT
RICHARDSON, TX 75080-2670

WATSON JAMES M &
KIMBERLY H
203 BRIDGE CANYON CT
RICHARDSON, TX 75080-2674

BOLTON BRIAN A & KRISTINA V
200 HIGH CANYON CT
RICHARDSON, TX 75080-2670

BUTZ STEVEN F &
MESSNER MELANIE J
2621 E PRAIRIE CREEK DR
RICHARDSON, TX 75080-2675

DAVIS DOUGLAS BRYAN &
KIMBERLY ANNE
203 LOST CANYON CT
RICHARDSON, TX 75080-2667

GLANTON RONNY J &
MELISSA M
200 BRIDGE CANYON CT
RICHARDSON, TX 75080-2600

JP-PALISADES I LLC
14801 QUORUM DR STE 200
DALLAS, TX 75254-1448

KDC 2323 INVESTMENTS I LP
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

MONTGOMERY D RANDALL &
VICKIE M
203 HIGH CANYON CT
RICHARDSON, TX 75080-2671

OLIVER BETTY T - LE
LARRY B DWIGHT - TRUSTEE
OLIVER FAMILY TRUST
2620 E PRAIRIE CREEK DR
RICHARDSON, TX 75080

VIA-CYRIX INC
ATTN JONATHON CHANG, CFO
940 MISSION CT STE 220
FREMONT, CA 94539-8202

JP-PALISADES II LLC
14801 QUORUM DR STE 200
DALLAS, TX 75254-1448

LARRY GOOD
GFF PLANNING
2808 FAIRMOUNT ST., STE 300
DALLAS, TX 75201

SUPERINTENDENT OF SCHOOLS
RICHARDSON ISD
400 S. GREENVILLE AVE
RICHARDSON, TX 75081

MARK JORDAN
JP REALTY PARTNERS, LTD
14801 QUORUM DRIVE, STE 200
DALLAS, TX 75254

FACILITY PLANNING & CONSTRUCTION
ATTN: TONY PEARSON
PLANO ISD
6600 ALMA DR STE E
PLANO , TX 75023

MAINTENANCE & OPERATIONS
ATTN: MICHAEL LONGANECKER
RICHARDSON ISD
400 S. GREENVILLE AVE
RICHARDSON, TX 75081

SUPERINTENDENT OF SCHOOLS
PLANO ISD
2700 W 15TH ST
PLANO , TX 75075-7524

ZF 13-13

Notification List

The HOA hosted a neighborhood focus group consisting of 23 attendees from both Dallas and Collin County. Present were several Prairie Creek Elementary parents, several Aldridge Elementary Parents, 3 current or former CPC members, a parks commissioner, a ZBA board member, 2 realtors, the chairman of the chamber of commerce, 3 home builders, 2 developers, the mayor as Canyon Creek Resident, 8 HOA board members, and a partridge in a pear tree. We realize that building complete consensus on this multi-faceted and complex issue is not possible. That said, we feel like we have captured the views of most of our neighbors and have carefully crafted the following statement as the position of the HOA Board. This position is not intended to represent any individual view, rather the HOA as a whole.

Our desire is for a project of high quality design and materials commensurate with the residential redevelopment Canyon Creek is currently experiencing, a level of quality and sustainability that will stand the test of time to maintain high quality tenants as a commercial success. A development with amenities accessible to the community beyond just 9 am to 5 pm and that serves to complement and enhance the neighborhood.

JP Partners has incorporated many features that contribute to this;

- Pedestrian access from Collins and Palisades Creek
- A green belt and trail along Collins,
- A single family residential buffer between the existing neighborhood and new development
- Street alignments that focus the traffic towards 75, The access road, and Galatyn Overpass
- A building height proximity slope limiting the height of new construction along Collins and Palisades Creek, and focusing height along Collins
- Quality improvements like the removal of 3 tab shingles
- A central park with water and green space surrounded by pedestrian friendly retail

The devil is in the detail, and in the Form Based Code, and the question that CPC and City staff need to answer; Does the FBC guarantee the expected level of quality with the material allowances, street-scapes, build to lines, and particularly acceptable uses in each zone?

The Multi-Family component of the proposal is a key area of concern, one that has been expressed since the first time the number of 750 apartments and 250 Condos was put on the table. We applaud the reduction in the request from 1000 to 600 units. While the current entitlement is for 300 multi-family units, our desire is for the minimum number of units necessary for the long term success of this site. Our neighborhood has serious reservations for any multi-family request that exceeds the current entitlement in place today. It is our view that it is in the best interest of Canyon Creek to distribute the multi-family Across Dallas and Collin Counties in a manner representative of the outer ring land distribution. The neighborhood does support the single family component, and supports the proposed expansion of these.

As proposed this is a mixed use development, with densities suggesting it is a TOD development. Richardson has had hit and miss success with mixed use. We strongly support requirements which will guarantee a mix of uses and that do not allow the full entitlement of housing , retail or office to be built without a balance. This phased balancing would preclude the full quantity of multi-family without

commensurate additional office. We also support and applaud the efforts to provide robust support for the pedestrian bridge. This element is fundamental for this site to be considered TOD, without it, the densities requested are hard to justify. A quick drive from LBJ to McKinney illustrates the lack of high rise development, and certainly the lack not associated with rail access. A reduction in office entitlements should be considered until such a time or contingent on the bridge being built.

The traffic study illustrates some key areas of concern that hit E and F Service levels at projected build out. These are primarily on Renner and Campbell at and near 75, and on the 75 access road/Galatyn. There are 2 ways to address this, Limit the entitlements to only load the infrastructure to acceptable levels, or develop a plan to modify the infrastructure to support the additional load. The traffic is dominated by the office associated car trips. So if entitlement limits are part of the solution, office capacity is the place to look.

Our driving motivation is to guarantee a quality development that is an asset to the city and neighborhood, while minimizing any negative impact on our schools, and avoiding gridlock on our streets. We would ask that CPC consider these seriously as they make suggestions and deliberate on their recommendation to council.

The Devil is in the details, and there are a handful of details we would like to address specifically:

- 1) Expansion of acceptable uses in the outer ring should not be limited to Dallas County
- 2) Just as there is a height restricting proximity slope along Collins to respect the adjacent neighborhood, the same slope should be applied to Palisades Creek.
- 3) Minimum sizes for multi-family units are codified, there are no mixes of sizes codified. With efficiencies set at 525 sq.ft. we would certainly not want this size to be the majority of units
- 4) For the single family product, there is a recommendation in the code that these would back up to Collins. What does this mean and what would it look like? Directly related, for the office, retail and multi-family products, there is a good visual vocabulary in the code for building material, façade composition, windows and doors, massing and scale etc. this is not present for single family and should be included to provide a view of what this product will be.
- 5) It is our understanding that the inner streets will remain private. What provisions are included to provide for maintenance and upkeep such as escrow?
- 6) There are 3 permitted uses still in the code that do not seem appropriate for this space; Cinema, Funeral home, and church.

ZF 13-13

Correspondence in

Support

October 31, 2013

Re: Support for Palisades Re-Zoning

To: Dan Johnson
Chris Shacklett
Michael Spicer
Cliff Miller

We are writing in strong support of the re-zoning and planned development by JP Partners of the Palisades land. We live on Long Canyon Ct in the Estates of Canyon Creek, very close to Collins Blvd, and so would potentially be affected to a greater degree than many people you may be hearing from in the Prairie Creek Elementary area. I have lived in Richardson for basically my entire life (50 years old) and value the work and planning our city does to manage the development here. We belong to the Canyon Creek Homeowners Association and I attended the meeting last week where the presentation from the developer and planner was made.

We did receive a disturbing flyer in our mail box a few days ago where some group unwilling to list their individual names, calling themselves "Concerned Neighbors & Prairie Creek Elementary Parents", are wanting us all to oppose this re-zoning. This group is ignoring or distorting the facts and, honestly, I wonder if any of these folks attended any of the input meetings (charrettes) or the homeowners association meeting? We also believe the impact will be minimal to most people living east of Prairie Creek Park, as the both the traffic and the visual impact will be on those of us close to Collins Blvd.

I have been in the commercial real estate business for almost 25 years in finance, development, ownership, operations, and management. For the past seven years I have worked for a firm which owns and manages apartments across the U.S., including many in the DFW area. I do not know any of the people involved in this project personally, except for meeting Mark Jordan of JP Partners at the neighborhood association meeting last week. I am familiar with several of the groups involved, including KBS Capital Advisors and the planner, GFF. The work I have seen from these firms is to create high-quality developments that increase surrounding property values.

While this zoning and development plan may need to be modified slightly in some areas, it is a very strong plan. The owner and developer have worked with the city and held several meetings to gather input from the city, residents, and other parties that may be affected by this development. The neighborhood association allowed them to present the plan last week and I heard no meaningful objections. We do believe there needs to be some further restrictions on the single family and multi-family plan, including some required buffer (street, alley, walkway, trees, or something) between the single family and other structures, as well as further restrictions on the type of multi-family to be built, including requiring a "wrap" product where the parking structure in part of the main building structure and footprint, and other types of finish requirements on these buildings. We do recognize the traffic will increase on Collins, but we knew this land would be developed at some point when we purchased our house in this sub-division.

We are strongly in favor of the re-zoning and the plan for development presented because it will create an exciting area adjacent to our neighborhood, adding patio style or zero lot style single family homes that will be attractive to many buyers, including older residents who have expressed a desire for these type of homes that have much less outside areas to maintain. It will provide upscale apartments that will likely rent for \$1,200-\$2,500 per month, attracting young professionals and giving our residents another option if they choose to downsize but wish stay in the area. Also, anyone buying one of the homes, condos, or renting in this development will have higher than average income levels to be able to do so, possibly working at one of the nearby office buildings in this development or in other nearby offices. There will be minimal impact on the schools and the children that will feed into the schools will not be the type of child or parent that is being portrayed by people opposing this plan. The offices bring jobs and tax revenues to this great city. Lastly, the park, restaurants, and retail will be great for the entire development and this neighborhood, offering us additional choices for dining and shopping in our own backyard.

The benefits far outweigh the concerns for this re-zoning and planned development, we support the re-zoning and the development, and we ask that you support it in your positions with the City of Richardson.

Chris and Karen Phillips
217 Long Canyon Ct
cphillips1000@hotmail.com
Cell 972-880-1566

ZF 13-13

Correspondence in

Opposition

RECEIVED
NOV 01 2013
DEVELOPMENT SERVICES

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

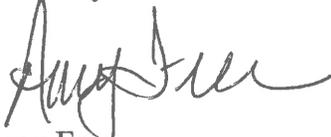
October 28, 2013

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Amy Free
324 Robin Way
Richardson, TX 75080



No to ZF 13-13
Amy Levy
to:
chris.shacklett@cor.gov
10/28/2013 09:28 PM
Hide Details
From: Amy Levy <hiamylevy@gmail.com>
To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX [972-744-5804](tel:972-744-5804)
chris.shacklett@cor.gov
RE: Zoning File number ZF 13-13

Dear Chris,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Amy Levy
304 Fall Creek Drive
Richardson, TX75080

October 28, 2013

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. The proposed development will negatively impact our neighborhood's schools and threaten property values. We adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Brit and Kelly Fassett

307 Ridgewood Drive

cc: Laura Maczka, Kendal Hartley



RE: Zoning File number ZF 13-13

Casey Fuld

to:

chris.shacklett@cor.gov

10/28/2013 03:01 PM

Hide Details

From: Casey Fuld <cmfuld@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Casey Fuld <cmfuld@yahoo.com>

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek, I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Casey M Fuld

2010 Sandy Trail

Richardson, TX 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Aldridge Elementary School operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Christopher & Lori Jones
2922 Whitemarsh Circle
Richardson, TX 75080



Zoning File number ZF 13-13

Chris and Vickie Ulrich

to:

chris.shacklett

10/28/2013 07:02 PM

Cc:

Laura Maczka

Hide Details

From: Chris and Vickie Ulrich <cvulrich@sbcglobal.net>

To: chris.shacklett@cor.gov,

Cc: Laura Maczka <lauramaczka@sbcglobal.net>

Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Christopher Ulrich

402 Meadowcrest Dr.

Richardson, Texas 75080



Zoning File number ZF 13-13

Colleen Manders

to:

chris.shacklett@cor.gov

10/28/2013 11:06 PM

Hide Details

From: Colleen Manders <colleen.manders@att.net>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Colleen Manders <colleen.manders@live.com>

Hello,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek, I value it's excellent reputation, high rated elementary schools, and community atmosphere. The proposed development will negatively impact schools (Aldridge Elementary) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Colleen Manders
416 High Brook Dr
Richardson, TX 75080



Zonine File number ZF 13-13

Cyndy Silverthorn

to:

'chris.shacklett@cor.gov'

10/28/2013 04:34 PM

Hide Details

From: Cyndy Silverthorn <CSilverthorn@crowholdings.com>

To: "'chris.shacklett@cor.gov'" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Cyndy Silverthorn

2214 Ridge Crest Dr

Richardson, TX 75080

Confidentiality Notice: The information contained in this communication (including any attached file (s)) is confidential, proprietary, and/or legally privileged and is intended only for the use of the addressee(s). Refer to the attached web link for important legal and regulatory information:

<http://www.crowholdingscapital.com/email-disclaimer>.



No re-zoning please

Dave Louria

to:

chris.shacklett

10/28/2013 08:00 PM

Hide Details

From: Dave Louria <davidlouria@yahoo.com>

To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek I value it's excellent reputation, high rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Aldridge Elementary) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Dave Louria

2508 Little Creek

Richardson, TX 75080



Rezoning ZF 13-13
Liz D'Amelio to: chris.shacklett@cor.gov

10/28/2013 11:13 PM

To: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, Texas 75083
fax 972-744-5804
Chris.shacklett@cor.gov

Re: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated Elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Elizabeth "Liz" D'Amelio
316 Crestover Drive
Richardson, Texas 75080
Prairie Creek Resident

Sent from my iPad

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Elizabeth Ryan

2809 Forest Grove Drive

Richardson, TX 75080



Zoning File number ZF 13-13 - OPPOSE

Jaime Boyles

to:

chris.shacklett

10/28/2013 09:30 PM

Hide Details

From: Jaime Boyles <jaimeboyles@gmail.com>

To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Jaime Boyles

11 Creekwood Circle

Richardson, TX 75080



Opposition to ZF 13-13

Jana Lightfoot

to:

chris.shacklett@cor.gov

10/28/2013 10:13 PM

Hide Details

From: Jana Lightfoot <jlightfoot@ehhi.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

[PO Box 830309, Richardson, TX 75083](mailto:chris.shacklett@cor.gov)

FAX [972-744-5804](tel:972-744-5804)

chris.shacklett@cor.gov<<mailto:chris.shacklett@cor.gov>>

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Jana Lightfoot

2504 Overcreek

Richardson, 75080



Zoning File number ZF 13-13
Jason Sears to: chris.shacklett

10/28/2013 02:52 PM

Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Jason Sears

439 Crestover Circle

Richardson, Texas 75080

--

Thanks,

Jason Sears
Sportsplex Volleyball Director
Director DJSPX Volleyball Club
972.385.5416 xt. 30

DJSPX Volleyball Club
Club Prep Program
Sportsplex Volleyball



Palisades Development Zoning File Number ZF 13-13

Joe Hanold

to:

chris.shacklett@cor.gov

10/28/2013 11:47 PM

Hide Details

From: Joe Hanold <joe_hanold@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Joe Hanold <joe_hanold@yahoo.com>

Chris,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Joe Hanold

317 Robin Way

Richardson, TX 75080

joe.hanold@yahoo.com



Opposition to Zoning File number ZF 13-13

Baergen, John

to:

chris.shacklett@cor.gov

10/28/2013 02:09 PM

Hide Details

From: "Baergen, John" <Baergen.John@principal.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
RE: Zoning File number ZF 13-13

Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value. I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,
John Baergen
320 Meadowcrest Dr
Richardson, TX 75080

John D. Baergen, CFP[®], CLU[®]

Vice President-Executive Benefits Consulting
Principal Financial Group
5080 Spectrum Drive, Suite 700E
Addison, TX 75001
Direct: 972-458-8275
Baergen.John@Principal.com

John Baergen, Registered Representative, Prncor Financial Services Corporation, Des Moines, Iowa, 50392-0200, (800) 247-4123, member FINRA, SIPC.

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TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek, I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Jolie Buie

321 Arborcrest Drive

Richardson, TX 75080

972-699-1224

**Prairie Creek Rezoning Opposition**

Karen Wyatt

to:

chris.shacklett

10/28/2013 10:06 PM

Hide Details

From: "Karen Wyatt" <karen@karenwyattrealty.com>

To: <chris.shacklett@cor.gov>,

2 Attachments

image001.png City of Richardson Prairie Creek Rezoning Opposition.docx

Dear Chris,

Please see attached letter of opposition to the rezoning of Prairie Creek. As a realtor in the area in addition to being a homeowner in the neighborhood, I can tell you that having apartments in this school attendance area will dramatically lower the property value of this highly sought after neighborhood of Richardson. Not only does this neighborhood draw buyers from across the metroplex, it is popular for relocation clients as well as a result of the school size and test ratings. This will devastate the reputation of such a well-regarded area in Richardson.

Thank you,
Karen Wyatt

Karen Wyatt

Realtor, Nathan Grace Real Estate

Cell 214.505.5084

www.KarenWyattRealty.com

Licensed in the state of Texas

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Karen Wyatt
323 Robin Way
Richardson, TX 75080



I oppose ZF 13-13

Kate Wallace

to:

chris.shacklett

10/28/2013 08:19 PM

Hide Details

From: Kate Wallace <katewallace80@yahoo.com>

To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

Dear Mr. Shacklett,

As a parent of children who attend or will soon attend Prairie Creek Elementary and as a resident of the Prairie Creek neighborhood, I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value. My family and our neighbors love our wonderful neighborhood and would be so sad and disappointed to see the quality of our community compromised should the zoning request be permitted. I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Kate Wallace

33 Creekwood Circle

Richardson 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Kristi and Christopher Rick
2408 Little Creek Drive
Richardson, TX 75080



Zoning File number ZF 13-13

Sloan, Lindsay (US - Dallas)

to:

chris.shacklett@cor.gov

10/28/2013 09:27 PM

Hide Details

From: "Sloan, Lindsay (US - Dallas)" <lisloan@deloitte.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,
Lindsay Sloan
404 Fall Creek Dr.

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v.E.1

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek and mother of a six year old at Aldrige Elementary, I value it's excellent reputation as one of the highest rated elementary schools in the area. There are a number of apartment complexes in the school's area of residence and my husband and I feel they, along with the single-family homes provide a solid base of diversity to the school. However, the school is at capacity now and to add additional students and traffic within this area will greatly diminish the standard of education the teachers can provide and cause congestion.

Canyon Creek is a gem of a neighborhood within Richardson and as such maintains high property values. With this rezoning, we're removing the charm and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

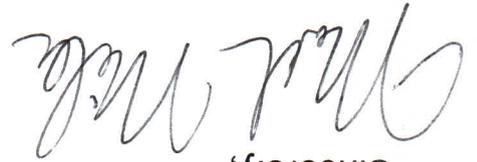
Lynn Louria
2508 Little Creek
Richardson, Tx 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

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Sincerely,



Mark & Jill Miller
327 Ridge Crest
Richardson, TX 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

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I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Mark Frazier

318 Robin Way

Richardson TX 75080.



Fw: draft letter
mary buck
to:
chris.shacklett@cor.gov
10/28/2013 07:20 PM
Hide Details
From: mary buck <mary_buck@yahoo.com>
To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to mary buck <mary_buck@yahoo.com>

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

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I kindly request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Mary Buck
419 Crestover Circle
Richardson, TX 75080



Opposition to ZF 13-13

Michael Levy

to:

chris.shacklett

10/28/2013 08:20 PM

Hide Details

From: Michael Levy <mlevy432@gmail.com>

To: chris.shacklett@cor.gov,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Michael Levy

2501 Grandview Drive

Richardson, TX 75080



Zoning File number ZF 13-13 request for denial

michaelmazurek to: chris.shacklett

10/28/2013 06:26 PM

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

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I kindly request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Michael Mazurek
419 Crestover Circle
Richardson, TX 75080



Zoning File number ZF 13-13

Michael

to:

chris.shacklett@cor.gov

10/28/2013 11:01 PM

Hide Details

From: Michael <michaels@aggienetwork.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Michael <michaels@aggienetwork.com>

Mr. Shacklett,

It has come to my attention your committee will be reviewing a proposal from JP Realty to deveope the Palisades land with apartments and high density single family housing. As a Prairie Creek homeowner I find this plan very disturbing and am writting you to express my oposition to the proposal.

Prairie Creek is the most desirable neighborhood in Richardson. Primarily because Prairie Creek Elementry is the top rated elementry school in the district, and families are willing to purchase homes in the neighborhood to enroll their childern at Prairie Creek Elementry. The Elementry school is the key driver for property values in the neighborhood, which in turn makes it the key driver for tax revenue for the city.

Adding almost 1100 residential units will increase enrollment at Prairie Creek Elementry significantly. Families don't buy homes to enroll their childern in over crowded schools. By over crowding the Prairie Creek Elementry JP Realty will devalue every home in the neighborhood.

As a homeowner, real estate investor, tax payer, and voter I urge you to vote NO to the JP Realty rezoning request.

Michael Sloan



Zoning File number ZF 13-13

Robinson, Paul2

to:

'chris.shacklett@cor.gov'

10/28/2013 12:33 PM

Hide Details

From: "Robinson, Paul2 " <paul2.robinson@citi.com>

To: "'chris.shacklett@cor.gov'" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I strongly request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Paul Robinson

28 Shady Cove

Richardson TX 75080

972-989-5314



Zoning File number ZF 13-13

Ryan Bidan

to:

chris.shacklett@cor.gov

10/28/2013 04:17 PM

Hide Details

From: Ryan Bidan <ryan.bidan@sta.samsung.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools, property values, and the unique characteristics that make Prairie Creek such a desirable place to live.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Ryan Bidan

208 High Canyon Ct

Richardson TX, 75080

Ryan Bidan

Director, Product Marketing

Samsung Telecommunications America

214-535-9418 | ryan.bidan@sta.samsung.com



Zoning File number ZF 13-13

Sara Sears

to:

chris.shacklett@cor.gov

10/28/2013 01:42 PM

Hide Details

From: Sara Sears <sarasears@hotmail.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Sara Sears

439 Crestover Circle

Richardson, Texas 75080



Oppose ZF 13-13

Sarah Bell

to:

chris.shacklett

10/28/2013 03:12 PM

Hide Details

From: Sarah Bell <sarahbell.tx@gmail.com>

To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX [972-744-5804](tel:972-744-5804)

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values.

I adamantly oppose these changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Sarah Bell
2806 W Prairie Creek Dr
201-566-4206

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Scott and Lisa Silverthorn

322 Oakcrest Dr.



Zoning File Number ZF13-13
Scott Sedberry
to:
chris.shacklett
10/28/2013 12:37 PM
Hide Details
From: Scott Sedberry <scott@sedberry.net>
To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX [972-744-5804](tel:972-744-5804)

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

Dear Chris,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Scott Sedberry | scott@sedberry.net

2215 Eastwood Drive, Richardson, TX 75080

Cell Phone: (972) 207-5339

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Shelly Levy
2501 Grandview Drive
Richardson, TX 75080



Opposition to ZF 13-13

Stephanie Davenport

to:

chris.shacklett@cor.gov, laura.maczka@cor.gov, bob.townsend@cor.gov,

kendal.hartley@cor.gov

10/28/2013 06:27 PM

Hide Details

From: Stephanie Davenport <snhroza@hotmail.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>, "laura.maczka@cor.gov"

<laura.maczka@cor.gov>, "bob.townsend@cor.gov" <bob.townsend@cor.gov>,

"kendal.hartley@cor.gov" <kendal.hartley@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX [972-744-5804](tel:972-744-5804)

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing to unequivocally oppose ZF 13-13 and ANY subsequent requests for zoning changes to this property. As a resident of Prairie Creek, I value it's excellent reputation as a quaint, family-oriented and active neighborhood, highest rated elementary school, absence of apartments and NO apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I ADAMANTLY oppose changes which directly, or indirectly impact our precious, and prized schools and property values.

I request that the City Planning Commission recommend denying ZF 13-13.

Sincerely,

Stephanie & Jonathan Davenport

429 Ridge Crest Dr.

Richardson, TX 75080

RECEIVED
NOV 01 2013
DEVELOPMENT SERVICES

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

October 28, 2013

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Steven Free
324 Robin Way
Richardson, TX 75080



Zoning Concerns

Emily Lea

to:

chris.shacklett@cor.gov

10/28/2013 09:53 PM

Hide Details

From: Emily Lea <emilyjlea@hotmail.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek we value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. We adamantly oppose changes which directly or indirectly impact schools and property value. We request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Travis and Emily Lea
401 Meadowcrest Dr.



Zoning File number ZF 13-13

Hoang, Vu

to:

chris.shacklett@cor.gov

10/28/2013 05:06 PM

Hide Details

From: "Hoang, Vu" <VHoang@ptc.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a parent of two children in Prairie Creek Elementary, I value the highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value. I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Vu Hoang

PTC Global Services

972-567-5483 Mobile

781-707-0629 Fax

www.ptc.com



Zoning File number ZF 13-13

Jack Hardeman

to:

chris.shacklett@cor.gov

10/28/2013 06:14 PM

Hide Details

From: Jack Hardeman <wph1836@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Jack Hardeman <wph1836@yahoo.com>

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek, I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

William P Hardeman

2406 Grandview Drive

Richardson, TX 75080



Deny ZF 13-13
Amy Whitley
to:
chris.shacklett@cor.gov
10/29/2013 11:41 AM
Hide Details
From: Amy Whitley <awhitley1997@yahoo.com>
To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,
Please respond to Amy Whitley <awhitley1997@yahoo.com>

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary schools, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek and Aldridge elementary) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Amy Taylor
2801 Canyon Creek



RE: Zoning File number ZF 13-13
Cotterell
to:
chris.shacklett
10/29/2013 11:22 PM
Hide Details
From: Cotterell <april.cotterell@gmail.com>
To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek I value the area's excellent reputation, highest rated elementary schools, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (including Aldridge Elementary) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

April Cotterell

2932 Whitemarsh Circle



To: <chris.shacklett@cor.gov>,
Cc: "Patti Bongiorno" <plbongiorno@gmail.com>,
Bcc:
Subject: ZF 13-13
From: "Benedetto Bongiorno" <bongiob@sbcglobal.net> - Tuesday 10/29/2013 05:11 AM



TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX [972-744-5804](tel:972-744-5804)
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Name
Address

Benedetto Bongiorno CPA CRE
2419 Little Creek Drive
Richardson, TX 75080
bongiob@sbcglobal.net
Office 972-470-9138
Cell 214-707-6546

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Zoning File number ZF 13-13 Letter of Protest

Greg Miller

to:

chris.shacklett

10/29/2013 07:27 AM

Hide Details

From: Greg Miller <gregandblair@att.net>

To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property.

As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning.

The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity), increase traffic,

impact the environment and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Blair & Greg Miller

2209 Sutton Place

Richardson, TX 75080

RECEIVED
OCT 29 2013
DEVELOPMENT SERVICES

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Brad Thomas
2406 Custer Pkwy
Richardson, TX 75080



Zoning File #ZF 13-13

Kim Davis to: chris.shacklett@cor.gov

Cc: "laura.maczka@cor.gov"

10/29/2013 05:16 PM

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a long time residents of Prairie Creek we value our neighborhoods excellent school and park, and we do not want to see that impacted by apartments, extra traffic, and noise. I live 200 feet from Collins and believe this would negatively affect not only the above mentioned but my property value! I adamantly oppose changes which directly or indirectly impact schools and property values.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,
Bryan and Kim Davis
203 Lost Canyon Ct
Richardson, TX. 75080

Sent from my iPad



ZF 13-13

Craig Luecht

to:

chris.shacklett@cor.gov

10/29/2013 10:29 PM

Hide Details

From: Craig Luecht <craig.luecht@gmail.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Chris,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Craig Luecht
416 Ridge Crest Dr
Richardson, 75080

Sent from my iPad



Opposition Letter

Altmans

to:

chris.shacklett

10/29/2013 11:04 AM

Hide Details

From: Altmans <txaltmans@sbcglobal.net>

To: <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Dana Altman

313 Stonebridge Dr.

Richardson, TX 75080



ZF 13-13

Debbie Luecht

to:

chris.shacklett@cor.gov

10/29/2013 10:35 PM

Hide Details

From: Debbie Luecht <debbie.luecht@gmail.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Debbie Luecht
416 Ridge Crest Dr
Richardson, 75080

Sent from my iPad



Zoning File number ZF 13-13

Dirk Bouma

to:

chris.shacklett

10/29/2013 12:07 PM

Hide Details

From: "Dirk Bouma" <DirkBouma@SBCGlobal.net>

To: <chris.shacklett@cor.gov>,

Please respond to <DirkBouma@Hotmail.com>

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Dirk Bouma

213 Crooked Creek Drive

Richardson, TX 75080

(972) 322-3818



Re: Zoning File number ZF 13-13

John Blankenship

to:

chris.shacklett@cor.gov

10/29/2013 09:43 PM

Cc:

"laura.maczka@cor.gov", "kendal.hartley@cor.gov"

Hide Details

From: John Blankenship <john.h.blankenship@sbcglobal.net>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Cc: "laura.maczka@cor.gov" <laura.maczka@cor.gov>, "kendal.hartley@cor.gov" <kendal.hartley@cor.gov>

Please respond to John Blankenship <john.h.blankenship@sbcglobal.net>

To: Department of Development Services, City of Richardson
c/o Chris Shacklett, AICP
PO Box 830309
Richardson, TX 75083

Re: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent similar requests for zoning changes to this property that include apartment zoning. As a resident of Prairie Creek for over 41 years I value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments, and no apartment zoning. I request the City Planning Commission recommend denial of ZF 13-13. My wife Sheila Shepherd Blankenship also opposes this zoning change request.

Sincerely,

Dr. John H. Blankenship, PhD

22 Creekwood Circle

Richardson, TX 75080-2608

Res: (972) 231-2446

mailto: john.h.blankenship@sbcglobal.net

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Elizabeth and Barrett Willingham
2502 Grandview Drive
Richardson, TX 75080



Zoning File number ZF 13-13

Elizibeth Wells

to:

chris.shacklett

10/29/2013 04:09 PM

Hide Details

From: "Elizibeth Wells" <bessjwells@att.net>

To: <chris.shacklett@cor.gov>,

Please respond to "Elizibeth Wells" <bessjwells@att.net>

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments, and no apartment zoning. I request the City Planning Commission recommend denial of ZF 13-13. My husband Albert Wells does too.

Sincerely, Elizabeth Wells, 25 Creekwood Circle, Richardson, TX 75080



Zoning File number ZF 13-13

Glenn Robertson

to:

chris.shacklett, laura.maczka, Kendal.Hartley

10/29/2013 05:15 PM

Hide Details

From: Glenn Robertson <glennjrobertson@gmail.com>

To: chris.shacklett@cor.gov, laura.maczka@cor.gov, Kendal.Hartley@cor.gov,

I request the City Planning Commission recommend denial of ZF 13-13.

--

Glenn Robertson

214.686.2999

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Greg and Karen King
206 High Canyon Ct.
Richardson, TX 75080
972-497-9310

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. All the multi-family underway at the State Farm site plus all the new apartments at Custer and 160 is already over kill for our area. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

James and Linda Veteto
209 Crooked Creek
Richardson, Tx 75080



RE: zoning file number ZF 13-13
drjmwatson
to:
chris.shacklett
10/29/2013 07:02 PM
Hide Details
From: drjmwatson@aol.com
To: chris.shacklett@cor.gov,

Mr Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning change on this property. My home, 203 Bridge Canyon Court, is directly against Collins and would be as close to this area as anyone. As a resident I value the neighborhoods excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. I moved my home and business to this area because of the above characteristics.

The proposed zoning change and development will negatively impact my home property values, the schools, and will threaten to raise noise levels already high from Central expressway so close. I adamantly resist these changes.

I request the City Planning Commission recommend denial of ZF 13-13.

James M Watson DDS
203 Bridge Canyon Court
Richardson, Tx 75080

drjmwatson@aol.com



Zoning File number ZF 13-13

Jen Wong

to:

chris.shacklett@cor.gov

10/29/2013 11:38 PM

Hide Details

From: Jen Wong <jenwwong@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Jen Wong <jenwwong@yahoo.com>

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek, I value its excellent reputation, highest-rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary is operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Jennifer and Joseph Wong

319 Arborcrest

Richardson, TX 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Joe Bettcchi,
4 Roundrock Circle

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

John Charlesworth
2202 Ridge Crest Drive
Richardson, Texas. 75080



LEWIS & BACKHAUS, PC

Jonathan L. Davenport
JLD@Lbpcglobal.com

October 29, 2013

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

To Whom it May Concern:

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value. I moved into Richardson and specifically the Prairie Creek Neighborhood because of its excellent reputation. I have 2 children in the already full school and will have 2 more children enter the school in the next 3 years.

This is before giving consideration to the devastating effect the proposed zoning will have on our increasing property values. And you are obviously aware of the benefit (tax revenue) is the City of Richardson. The proposed rezoning would make far greater sense in an area (school) that can support additional students, PCE is not that school. We already have children in the neighborhood who are forced to attend other schools due to the limitations already on PCE but that problem has been slowing resolving. The proposed zoning would enhance, not reduce, that problem.

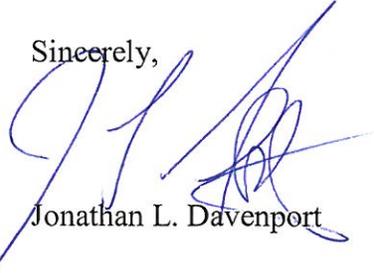
I hope you and the others who are involved in making this decision **especially the elected representatives** will take into consideration the net result this will have on the City, our neighborhood and any resulting imagined gains. I would also hope the City has done some very thorough analysis of the feigned gains of such proposed gains in residents. I'd suspect you'll find that the proposed apartments will sit half (or more) empty which reduces the view of the City. Further, you risk losing the shining star of the RISD in PCE. As you must certainly know, PCE has been rated in the top 5 of public elementary schools several times the preceding 6 years in multiple publications. This is part of the reason for the higher property values (tax revenue) that has benefited the City at a time when other areas have seen decreasing values (loss of tax revenue).

WWW.LBPCGLOBAL.COM

**5501 LBJ FREEWAY, SUITE 800
DALLAS, TEXAS 75254 • (972) 233-8115 • FAX (972) 692-5115**

I respectfully request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

A handwritten signature in blue ink, appearing to be 'Jonathan L. Davenport', written over the printed name.

Jonathan L. Davenport



Zoning File number ZF 13-13

Joseph Harris

to:

'chris.shacklett@cor.gov'

10/29/2013 08:55 AM

Hide Details

From: Joseph Harris <josephharris@MSNHealth.com>

To: "'chris.shacklett@cor.gov'" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Joseph Harris
907 Firestone Lane
Richardson, TX 75080

The information contained in this email is confidential and intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this communication is unlawful and strictly prohibited. If you have received this in error, please notify the sender immediately and delete this message and any attachments. Thank you.



Zoning File Number ZF 13-13

Julie Holley

to:

chris.shacklett, laura.maczka, kendal.hartley

10/29/2013 11:21 PM

Hide Details

From: "Julie Holley" <jholley@selfopportunity.com>

To: <chris.shacklett@cor.gov>, <laura.maczka@cor.gov>, <kendal.hartley@cor.gov>,

1 Attachment



image001.jpg

TO: DEPARTMENT OF DEVELOPMENT SERVICES, CITY OF RICHARDSON
C/O CHRIS SHACKLETT, AICP
PO BOX 830309, RICHARDSON, TX 75083

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a residents of Prairie Creek, parents and hopeful grandparents, we value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments, and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity), bring unwanted congestion, noise and traffic to Collins Blvd., and threaten property values. We ADAMANTLY OPPOSE changes which directly or indirectly impact schools and property value.

We vehemently request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Julie & Brad Holley

26 Creekwood Circle, Richardson, TX 75080

Julie Holley | Recruitment Specialist | 800-594-7036 Ext. 120





Zoning File number ZF 13-13

Leigh Schaefers

to:

chris.shacklett@cor.gov

10/29/2013 07:43 PM

Hide Details

From: Leigh Schaefers <leighschaefers@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Leigh Schaefers <leighschaefers@yahoo.com>

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. We moved to Prairie Creek and Richardson due to the reputation of the City and outstanding schools. We paid a high price for our home to get into Prairie Creek Elementary. While many of my co-workers have moved to Plano, Frisco or Allen, we felt we could achieve the same quality of life in this beautiful city and neighborhood.

There are many apartment complexes within Richardson. Apartments are available as close as Galatyn Park making this development unneeded. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. Houses in our neighborhood are being sold for amounts nearing \$1million because of the quality of the schools. The homeowners represent committed residents who work for the good of the City and its future. Additionally, these high dollar homes bring valuable tax revenue into the City. As a homeowner, I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Katherine Leigh Schaefers

28 Creekwood Circle, 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Kathryn and Woody Alexander
209 High Canyon Court, Richardson 75080
Near Collins and Fall Creek



Zoning File number ZF 13-13
Kristine Todd
to:
chris.shacklett
10/29/2013 11:54 AM
Hide Details
From: Kristine Todd <ktodd64@gmail.com>
To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. **I adamantly oppose changes which directly or indirectly impact schools and property value. I request the City Planning Commission recommend denial of ZF 13-13.**

Sincerely,

Kristine Todd

1102 W. Lookout Drive

Richardson, TX 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I **adamantly** oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Kristy Bolton
200 High Canyon Court
Richardson, TX 75080



RE: Zoning File number ZF 13-13

Kyle Cotterell

to:

chris.shacklett

10/29/2013 11:36 PM

Hide Details

From: Kyle Cotterell <kylecotterell@gmail.com>

To: chris.shacklett@cor.gov,

Security:

To ensure privacy, images from remote sites were prevented from downloading. Show Images

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek I value the area's excellent reputation, highest rated elementary schools, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (including Aldridge Elementary) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.



Sincerely,

Kyle Cotterell

2932 Whitemarsh Circle

To: Dept. of Developmental Services, City of Richardson
C/O Chris Shacklett, AICP
PO BOX 830309, Richardson, TX 75083

RE: Zoning File number ZF 13-13

I am writing to oppose the request (ZF 13-13) to rezone the Palisades property located between Collins and U.S. 75. I have to assume the purchaser knew the zoning designations upon buying the land and the addition of 750 apartments, 65 high density single family homes and another 250 condominium units is an inappropriate use for this property.

Prairie Creek Elementary is full and growing with the young families moving into the neighborhood. My street has had a good amount of turnover recently and there are lots of preschoolers. I substitute teach in the local schools and can see the building is used at full capacity. I taught six years in the RISD at Aikin Elementary and experienced the negative impact of aging apartments in the classroom and community. I invested in our home in this neighborhood because there were no apartments which fed into the school and there were no additional land parcels zoned for more apartments.

Also, adding a thousand or more residences would make for substantial traffic and congestion in this area. As it is, the newly designated bike lanes on Collins make it a little more difficult for me to leave my alley each day. The congestion on Campbell road the last two weeks due to road repairs has been frustrating and I've had to altar my route to get into or out of the neighborhood, so I can't imagine what an extra one to two-thousand cars would do to the access road traffic, Collins and Campbell Road.

Finally, I can't help but assume there would be an increase in crime by adding that amount of renters in the community. Apartments don't necessarily stay high-end, even if they were built that way. As for the units designated as "condominiums", the history of condominiums in the Richardson market is that they ultimately become rental apartments one way or the other. They are sold as investment properties and there is no guarantee as to their upkeep. History does not indicate that this would in any way add to my property value or to the value of the great city of Richardson.

I strongly oppose the change in the legal zoning uses for this site.

Sincerely,

Lee Ann Wetterau
34 Creekwood Circle
Richardson, TX 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Lee Walsh
1 Pebblebrook Circle
Richardson, TX 75080

October 29th, 2013

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

McKensey Scurlock
435 Crestover Cir
Richardson, Texas 75080

RECEIVED
NOV 01 2013
DEVELOPMENT SERVICES



RE: Zoning File number ZF 13-13

Melissa Griffy to: chris.shacklett, laura.maczka, kendal.hartley

10/29/2013 05:54 PM

Dear All,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek with a home very close in proximity to this proposal I am concerned about two major issues. First, the traffic congestion that will be increased with so many new residents to this area with apartments of this number so nearby. Secondly, increasing this much residential living so close to our elementary school which is already full will do nothing but cause problems for our neighborhood school Prairie Creek elementary. It is already operating at enrollment capacity and trying to serve the neighborhood as it exists at this time.

I am not opposed to retail and restaurants in this area but I am adamantly opposed to increased traffic and school issues that this rezoning would bring about for our neighborhood.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Melissa Griffy
209 Long Canyon Ct
Richardson, TX 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Michael & Marissa Mullens
201 High Canyon Court
Richardson, TX 75080



Zoning File number ZF 13-13 - Concerned Residents

mbarrbangert

to:

chris.shacklett

10/29/2013 07:51 PM

Cc:

laura.maczka, kendal.hartley

Hide Details

From: mbarrbangert@aol.com

To: chris.shacklett@cor.gov,

Cc: laura.maczka@cor.gov, kendal.hartley@cor.gov

Chris Shacklett.

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to what is currently referred to the *Palisades* land. As residents living in Prairie Creek, we value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments/condos, and no apartment zoning. We believe that the proposed zoning change and planned development will have a significant negative impact on our neighborhood.

Our home property directly borders Collins Blvd and we feel that apartment/condo zoning and subsequent development will bring much unwanted noise and traffic, will eventually lower our property value, and will negatively impact Prairie Creek Elementary School which we are told is currently operating at enrollment capacity.

We strongly request the City Planning Commission recommend DENIAL of ZF 13-13.

Signed,

Michele and Charles Bangert

24 Creekwood Circle

Richardson, TX 75080



Please take our stand into consideration before you vote!

mbarrbangert

to:

laura4richardsonmayor, laura.maczka

12/04/2013 09:34 PM

Cc:

chris.shacklett, kendal.hartley, bob.townsend, Mark.Solomon, scott.dunn, paul.voelker, steve.mitchell

Hide Details

From: mbarrbangert@aol.com Sort List...

To: laura4richardsonmayor@gmail.com, laura.maczka@cor.gov,

Cc: chris.shacklett@cor.gov, kendal.hartley@cor.gov, bob.townsend@cor.gov,

Mark.Solomon@cor.gov, scott.dunn@cor.gov, paul.voelker@cor.gov,

steve.mitchell@cor.gov

Dear Laura,

Laura, thank you for the email you sent to us on November 5th in response to our previous concerns and correspondence regarding Palisades. Please know that we have done all possible to obtain **just the facts** on the table regarding the Palisades Rezoning Recommendation. I'm sure you know that this has not been easy as it has become a very heated debate among residents.

We fully understand that the rezoning proposal has already been approved by the Richardson City Planning Commission. We also understand that it is up to the City Council to vote for final approval at your next meeting, December 9th.

Charles and I will be out of town on December 9th and cannot attend this meeting. This email is intended as a strong request for **you and all the council members** to take our concerns into consideration when you vote.

Charles and I are NOT IN SUPPORT of the Palisades Rezoning Recommendation made by the City Planning Commission on November 19th as it stands now. We ARE IN SUPPORT of the alternative proposal presented by the CCHA and outlined in the pdf below.

<http://canyoncreekhomeowners.com/wp-content/uploads/2013/12/CCHA-Palisades-FAQ-12-2-13.pdf>

We both appreciate the work that you and all the members do for our fine City of Richardson. We also understand that it is your goal to act responsibly on the behalf of all citizens affected by this vote. Thank you for listening to our concerns and we urge you to vote accordingly.

Sincerely,
Michele and Charles Bangert
24 Creekwood Circle

October 29, 2013

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

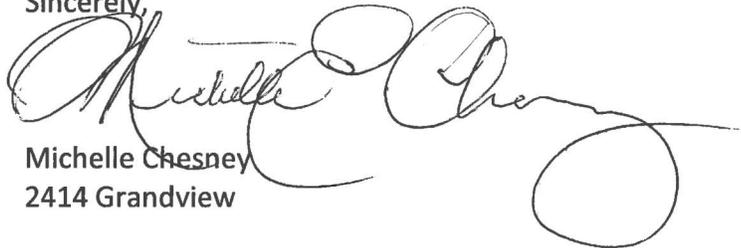
RECEIVED
OCT 31 2013
DEVELOPMENT SERVICES

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Michelle Chesney
2414 Grandview

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Nick (and Brianna) Fluellen
6 Round Rock Circle
Richardson, TX 75080



Zoning File number ZF 13-13
Patti Bongiorno
to:
chris.shacklett@cor.gov
10/29/2013 11:09 PM
Hide Details
From: Patti Bongiorno <plbongiorno@gmail.com>
To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083

Dear Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and **no apartment zoning**.

The proposed development will negatively impact school and threaten property values. Prairie Creek Elementary is already operating at enrollment capacity. What is to happen to people who buy \$500,000 homes for the neighborhood school only to find out they will be diverted to a school outside their neighborhood because there is no room for them? This is completely avoidable by doing the responsible thing - denying the requested zoning changes.

I adamantly oppose changes which directly or indirectly impact schools and/or property value.

This is an issue of bad faith. We bought in Prairie Creek 15 years ago for the fundamental characteristics of the neighborhood. This is a good neighborhood that has flourished and held value for over 40 years. Please don't ruin it now.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,
Patti Bongiorno
2419 Little Creek Dr.
Richardson, TX 75080
214-556-6212

*"The single biggest problem in communication is the illusion that it has taken place."
George Bernard Shaw*



Request for Denial of zoning ZF 13-13

Gary Lewin

to:

chris.shacklett

10/29/2013 06:35 PM

Hide Details

From: "Gary Lewin" <rlewin@swbell.net>

To: <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek and grandparent, I value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments, and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity), bring unwanted congestion, noise and traffic to Collins Boulevard, and threaten property values. I **adamantly oppose** changes which directly or indirectly impact schools and property values of our neighborhood.

I request that the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Richman G. Lewin

3 Creekwood Circle

Richardson, TX 75080

972-695-5254



I Oppose ZF 13-13

rossknight222@netzero.com

to:

chris.shacklett

10/29/2013 09:17 AM

Hide Details

From: "rossknight222@netzero.com" <rossknight222@netzero.com>

To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Ross Knight

402 Ridgehaven Pl.

Richardson, TX 75080



Zoning file number ZF 13-13

Wrenn Family

to:

chris.shacklett

10/29/2013 07:40 PM

Hide Details

From: "Wrenn Family" <twrenn@tx.rr.com>

To: <chris.shacklett@cor.gov>,

Please respond to <twrenn@tx.rr.com>

Department of Development services,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek, I value the neighborhood's excellent reputation, highly rated schools, absence of apartments, and no apartment zoning. The proposed zoning will negatively impact the quality of life in the Prairie Creek area, bring unwanted congestion, noise and traffic to Collins Boulevard, and threaten property values. I adamantly oppose changes which directly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Rosser Wrenn

16 Creekwood Circle

Richardson, TX 75080



Request for Denial of Zoning File ZF 13-13

Sandy Lewin

to:

Chris.shacklett

10/29/2013 03:45 PM

Hide Details

From: "Sandy Lewin" <slewin@swbell.net>

To: <Chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

Chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek and grandparent, I value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments, and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity), bring unwanted congestion, noise and traffic to Collins Boulevard, and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property values of our neighborhood.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Sandra Lewin

3 Creekwood Circle,

Richardson, TX 75080



zoning change request

sandy.reid

to:

chris.shacklett@cor.gov

10/29/2013 01:05 PM

Hide Details

From: sandy.reid@att.net

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to sandy.reid@att.net

Mr. Shacklett,

Please consider my request for denying the change in zoning for the Prairie Creek/Palisades area. This will be detrimental to our schools, our parks, our property values and traffic control in our neighborhood. Thank you.

Sandy Reid
2505 Grandview Drive
Richardson , Texas 75080

October 29, 2013

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

A handwritten signature in black ink, appearing to read "Scott and Lindsey Myers", with a long horizontal flourish extending to the right.

Scott and Lindsey Myers
310 Northview Dr.
Richardson, TX 75080



Zoning File number ZF 13-13-NO

Shane Altman

to:

chris.shacklett@cor.gov

10/29/2013 03:26 PM

Hide Details

From: Shane Altman <shane_altman@richards.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Security:

To ensure privacy, images from remote sites were prevented from downloading. Show Images

Mr. Shacklett,

I am very much against the rezoning of the property that falls under the Zoning File number ZF 13-13. Even after paying a premium to live in the Prairie Creek elementary school district, our son barely got into Prairie Creek because the school is busting at the seams. Bringing in apartments to the school's boundaries will negatively affect my son's education and our property values. I am breaking ground on a new house and am committed to this city and neighborhood for years to come. Please let me know what else I can do to have my voice heard.

Thanks for your attention,

Shane Altman
313 Stondbridge

.....
Shane Altman
Brand Creative

THE RICHARDS GROUP
8750 N Central Expressway
Suite 100
Dallas, Texas 75231

Work 214-891-5735
shane_altman@richards.com

richards.com
blog.richards.com





Zoning File Number ZF 13-13

Wrenn, Terry

to:

chris.shacklett@cor.gov

10/29/2013 09:14 PM

Hide Details

From: "Wrenn, Terry" <t-wrenn1@ti.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Dear, Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek, I value the neighborhood's excellent reputation, highly rated schools, absence of apartments, and no apartment zoning. The proposed zoning will negatively impact the quality of life in the Prairie Creek area, bring unwanted congestion, noise and traffic to Collins Boulevard, and threaten property values. I adamantly oppose changes which directly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Regards,

Terry Wrenn

16 Creekwood Circle
Richardson, TX 75080



Planned Palisades Development (ZF 13-13)

Tom Benson

to:

chris.shacklett

10/29/2013 01:59 PM

Hide Details

From: "Tom Benson" <benson@zodiacspirits.com>

To: <chris.shacklett@cor.gov>,

Chris –

I am writing regarding the proposed zoning change for the planned Palisades development (ZF 13-13) by JP Partners and KBS Capital. I just recently learned of this via a neighborhood email and have been able to find very little specific information as to exactly what the planned development will involve. One thing that I keep hearing is that it will include multi-family housing – some ***are saying 750 apartment units, 65 high-density single family lots, and 250 condo units!*** I certainly hope that this is just an exaggerated rumor, but nonetheless any multi-family housing along Custer is a major concern for all homeowners in the Estates of Canyon Creek.

Surely members of the Planning Commission understand the adverse impact this will have on the entire Prairie Creek neighborhood. Prairie Creek Elementary is one of the top elementary schools in the state and a magnet for attracting young, upwardly mobile people to the area. This proposed zoning change will not only affect schools, but traffic, noise, crime and property values (and with that tax revenues).

I, along with everyone I have talked to in this neighborhood, oppose any zoning changes that will include multi-family units in this development.

I urge the City Planning Commission to recommend *denial* of ZF 13-13.

Thanks for your consideration in this very important matter.

Tom Benson

205 High Canyon Court
Richardson 75080



Recommend DENIAL of ZF 13-13.

Troy H. Herndon

to:

chris.shacklett

10/29/2013 12:24 AM

Hide Details

From: "Troy H. Herndon" <troyherndon@sbcglobal.net>

To: <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend **DENIAL** of ZF 13-13.

Sincerely,

Troy H. Herndon

242 Valley Creek Place



Zoning File number ZF 13-13

Amanda Vesel

to:

chris.shacklett@cor.gov

10/30/2013 04:13 PM

Hide Details

From: Amanda Vesel <amandavesel@hotmail.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804 

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Amanda Vesel

236 High Brook Drive

Richardson, TX 75080





Opposition to Proposed Rezoning

Ashley N. Dye

to:

chris.shacklett

10/30/2013 05:12 PM

Hide Details

From: "Ashley N. Dye" <ashley@cowboy1.net>

To: chris.shacklett@cor.gov,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Ashley Dye

305 Fall Creek Dr, 75080



Rezoning of Palisades
B Moxham to: chris.shacklett

10/30/2013 05:05 PM

We am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek Estates for 22 years, we value the neighborhood's excellent reputation, the highly rated Prairie Creek Elementary School, the absence of apartments, and the no apartment zoning in this area. As a former RISD teacher for 30 years, I feel strongly that the proposed development will negatively impact Prairie Creek Elementary. We also feel strongly that this development will bring unwanted congestion, noise, and traffic to Collins Boulevard and thereby threaten property values.

We request that the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Barbara and Bob Moxham
202 Bridge Canyon Court
Richardson, Tx. 75080



Opposition to Palisades development
Betsy Brody to: chris.shacklett@cor.gov

10/30/2013 07:16 AM

I am opposed to ZF 13-13. The change would negatively impact the quality of the neighborhood adjacent to it and would bring unwanted traffic congestion.

I request that the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Betsy Brody

Sent from my iPhone



Request for Denial of Zoning file number ZF 13-13

Bob & Margie Schwartz

to:

Chris.shacklett

10/30/2013 08:26 PM

Hide Details

From: "Bob & Margie Schwartz" <bob.margie@randmtx.com>

To: <Chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

Chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek and grandparent, I value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments, and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity), bring unwanted congestion, noise and traffic to Collins Boulevard, and threaten property values. I **adamantly oppose** changes which directly or indirectly impact schools and property values of our neighborhood.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Bob and Margie Schwartz

31 Creekwood Cir

Richardson, TX 75080



Re: Zoning File Number ZF 13-13 Vote NO
Bonnie Oden
to:
Chris.shacklett
10/30/2013 09:39 AM
Hide Details
From: "Bonnie Oden" <bonnie.oden@att.net>
To: <Chris.shacklett@cor.gov>,

To: Chris Shacklett
Chris.shacklett@cor.gov

October 30, 2013

Re: Zoning File Number ZF 13-13

Dear Chris,

We are writing in opposition to ZF 13-13. As residents of Aldridge Elementary district, we value the neighborhood's excellent reputation, highly rated elementary school, and absence of apartments. The proposed development will negatively impact both elementary schools (Prairie Creek and Aldridge) as they are operating at enrollment capacity already. The development would bring too much congestion, noise, and traffic to Collins Boulevard between Renner and Campbell, and threaten property values.

Canyon Creek Estates is a quiet neighborhood and the park is a wonderful neighborhood amenity. The Prairie Creek Park would be overwhelmed with additional people using the park if this development is approved. The density is just too high.

Please vote NO to this zoning change. The current zoning is for offices, which would not impact the elementary schools or the park. The people working in office buildings go home at the end of the day and they aren't here during the weekends.

Sincerely,

Bonnie and David Oden

200 Lost Canyon Court
Richardson, TX 75080



RE: Zoning File number ZF 13-13

Liz Gipson

to:

chris.shacklett@cor.gov

10/30/2013 01:11 PM

Hide Details

From: Liz Gipson <lizpratt@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Liz Gipson <lizpratt@yahoo.com>

Chris Shacklett, AICP
Department of Development Services, City of Richardson
P.O. Box 830309
Richardson, TX 75083

RE: Zoning File number ZF 13-13

Dear Chris,

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As residents of Prairie Creek, we value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. We adamantly oppose changes which directly or indirectly impact schools and property value.

We request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Chris & Liz Gipson
408 Crestover Circle
Richardson, TX 75080
(972) 231-2382



Zoning File number ZF 13-13
Christopher Frantz to: Chris.shacklett@cor.gov

10/30/2013 02:16 PM

TO: Department of Development Services, City of Richardson

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek and parent of two young daughters, I value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments and apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity), bring unwanted congestion, noise and traffic to Collins Boulevard, and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property values of our neighborhood.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Chris Frantz

2308 East Prairie Creek Drive

Chris Frantz

Bartlett Cocke General Contractors
1750 Valley View Lane, #335
Farmers Branch, Texas 75234
(214) 451-0755 office
(972) 247-1039 fax

cfrantz@bartlettcocke.com<mailto:cfrantz@bartlettcocke.com>
www.bartlettcocke.com<http://www.bartlettcocke.com/>

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Daphne and Will Reid
513 Canyon Creek Drive
Richardson, TX. 75080



Zoning File number ZF 13-13

David Schaefers

to:

chris.shacklett, laura.maczka, bob.townsend, Mark.Solomon, scott.dunn, kendal.hartley,
paul.voelker, steve.mitchell

10/30/2013 06:14 PM

Hide Details

From: "David Schaefers" <mdschaefers@gmail.com> Sort List...

To: <chris.shacklett@cor.gov>, <laura.maczka@cor.gov>, <bob.townsend@cor.gov>,
<Mark.Solomon@cor.gov>, <scott.dunn@cor.gov>, <kendal.hartley@cor.gov>,
<paul.voelker@cor.gov>, <steve.mitchell@cor.gov>,

I am writing in opposition to ZF 13-13.

In March, our family purchased a home about 800 feet from the property under consideration. We love the neighborhood and consider our home to an investment in the community. I serve as the pastor of a Richardson Church and recently joined the Chamber of Commerce. My wife serves as a Vice President on the Prairie Creek PTA. We want what is best for our community and for the future of Richardson.

It is largely the possibility of a 700+ unit apartment complex that I oppose. Even if the proposed apartments were "high end", there is little guarantee that they would be so in 10 to 20 years, especially with the influx of apartments coming to CityLine. It has been my experience that apartment management companies and investors do not necessarily consider the existing culture, especially in regards to wonderful neighborhoods like Prairie Creek. In addition, the residents of such complexes have little invested in maintaining a nice environment.

I do not feel any opposition to condos, retail, office space, or other housing possibilities where there is personal investment.

Our family believes that the proposed development, as it is currently planned, will negatively impact Prairie Creek Elementary and bring down property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

David Schaefers

Rev. M. David Schaefers
28 Creekwood Cir.
Richardson, TX 75080
(214) 864-2286



RE: Zoning File number ZF 13-13
Janis Bates
to:
chris.shacklett
10/30/2013 12:17 AM
Hide Details
From: "Janis Bates" <janisebates@gmail.com>
To: <chris.shacklett@cor.gov>,

Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309
Richardson, Tx. 75083

Dear Mr. Shacklett,

I am writing to express my concern about the proposed zoning changing to the Palisades property near my home at Collins and US 75. We've lived in Prairie Creek for 30 years and continue to reside here because of the neighborhood's excellent reputation, exemplary rated elementary school, the lack of apartments and lack of zoning for apartments. As a Plano school teacher in the prestigious Willow Bend community, I am a first-hand observer of the negative impact multiple apartment complexes can have on a school's demographics and the challenges this can present for education. It's caused an exodus to Frisco and other cities with stricter zoning laws that's hard to downplay.

Prairie Creek Elementary is not equipped to handle more students without overcrowding and the addition of expensive portable buildings or new construction. In addition to the negative impact on the school and the consequent drop in property values, it will also usher in congestion, noise and traffic to Collins Boulevard. Given all the years of high property taxes we have poured into this area, I would be extremely disappointed by any zoning changes that would have such a devastating impact on our schools and property values.

I urgently request that the City Planning Commission recommend that ZF 13-13 be denied, and that any subsequent requests for changes to this property also be denied.

Regards,

Doug and Janis Bates
201 Lost Canyon Ct.
Richardson, Tx. 75080
janisebates@gmail.com



Zoning File Number ZF 13-13

Gail Bayne

to:

chris.shacklett@cor.gov

10/30/2013 07:21 PM

Hide Details

From: Gail Bayne <gailbayne@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Gail Bayne <gailbayne@yahoo.com>

Dear Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Gail Bayne
403 Ridgehaven Place
Richardson, TX 75080
(214) 235-6561

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Name *JOHN + ANNA Koepke*
Address *202 Crooked Creek Dr.*

RECEIVED
NOV 01 2013
DEVELOPMENT SERVICES

October 30, 2013

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309
Richardson, Texas 75083

Dear Mr. Shacklett:

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Kathy Diefenbach
330 Robin Way
Richardson, Texas 75080



Opposition to ZF 13-13

Keith McKenzie

to:

chris.shacklett@cor.gov

10/30/2013 08:23 AM

Hide Details

From: Keith McKenzie <kjmckenzie@sbcglobal.net>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Keith McKenzie <kjmckenzie@sbcglobal.net>

Dear Chris Shacklett,

Please accept this email as my opposition to ZF 13-13. Do not hesitate to contact me directly with any questions

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX [972-744-5804](tel:972-744-5804)

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Canyon Creek I value its excellent reputation and excellent elementary school. The proposed development will negatively impact Aldridge Elementary and threaten property values. There are numerous apartment/condo complexes that feed into Aldridge Elementary and the with the addition of those being built in the State Farm development will overwhelm Aldridge Elementary. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Name: Keith McKenzie

Address: 2434 Canyon Creek Dr

Richardson, TX 75080

kjmckenzie@sbcglobal.net



Fw: Opposition to ZF 13-13
Kelly Hibbs
to:
chris.shacklett@cor.gov
10/30/2013 09:33 PM
Hide Details
From: Kelly Hibbs <kellyshibbs@yahoo.com>
To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Kelly Hibbs <kellyshibbs@yahoo.com>

1 Attachment



182357730-156957575.pdf

Chris

Please DO NOT support the request for rezoning changes to ZF 13-13. I am a Realtor, investor, and owner in Prairie Creek and Canyon Creek. Not only will it negatively effect our schools, it will decrease our property values and increase crime. I have attached my letter opposing this request.

Thank you for your consideration.

Kelly

Kelly Hibbs REALTOR®
Coldwell Banker
Real Estate Solutions
Cell: (469)877-9910
kellyshibbs@yahoo.com

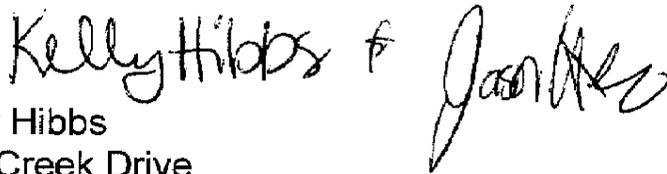
TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a Realtor, homestead owner, and real estate investor in properties in Prairie Creek and Canyon Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Jason and Kelly Hibbs
2212 E. Prairie Creek Drive
Richardson, TX 75080

300 W. Lookout Drive
Richardson, TX 75080

Coldwell Banker
kellyshibbs@yahoo.com
469.877.9910

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Kristie Frazier
318 Robin Way
Richardson, Texas 75080



RE: Zoning File ZF 13-13

Thomas Cass

to:

chris.shacklett@cor.gov

10/30/2013 03:21 PM

Hide Details

From: Thomas Cass <lancecass@sbcglobal.net>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Thomas Cass <lancecass@sbcglobal.net>

Chris Shacklett, AICP

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a 37year resident of the Prairie Creek and Canyon Creek area and being a professional commercial real estate appraiser, I have great concerns on the influences that a mixed use development, as proposed, can have on neighborhoods like Prairie Creek and Canyon Creek. One of the primary elements of a desirable single family neighborhood are the elementary schools which provide a sense of community focus. The continuous granting of multi-family zoning, along North Central and George Bush, by the City of Richardson will cause, in time, an overloading and the demise of neighborhood schools like Prairie Creek, Canyon Creek, and Aldridge. Desirable elementary schools equate to strong real estate values and that has/is occurring in the Prairie Creek and Canyon Creek neighborhoods.

In addition to the negative impacts on schools, the traffic problems generated by these developments and the continuous expansion of UTD are impacting the Prairie Creek and Canyon Creek neighborhoods with cross town traffic the current roads were not designed to accommodate.

I request that the City Planning commission recommend denial of ZF 13-13.

Sincerely,

Lance Cass, MAI
2402 Fairway Dr.
Richardson, Tx 75080
lancecass@sbcgobal.net
c 972-238-1511
h 972-231-4404

RANDY AND VICKIE MONTGOMERY

**203 HIGH CANYON COURT
RICHARDSON, TEXAS 75080
(214) 914-7080**

October 30, 2013

VIA E-MAIL (chris.shacklett@cor.gov)

Department of Development Services, City of Richardson
c/o Chris Shacklett, AICP
P.O. Box 830309
Richardson, TX 75083

RE: Zoning File number ZF 13-13

Dear Mr. Shacklett:

I am writing as a long time City of Richardson resident in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a current resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten mine and others property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Very truly yours


Randy Montgomery



Zoning File Number ZF 13-13

MathieuGmail

to:

chris.shacklett

10/30/2013 05:08 PM

Hide Details

From: "MathieuGmail" <mathieu132@gmail.com>

To: <chris.shacklett@cor.gov>,

Chris,

We are writing in opposition to ZF 13-13. As residents of Prairie Creek we value the quality of life and education in our neighborhood. We believe that the addition of apartments will negatively impact the school, bring on unwanted congestion, noise and traffic on Collins Boulevard, and threaten our property values. We adamantly oppose allowing apartments on Collins as this will negatively impact our neighborhood school and our property values.

We request that City Planning Commission recommend that ZF 13-13 be denied.

Reese and Martha Mathieu

206 Bridge Canyon Ct.

Richardson, TX 75080



Re: Zoning File Number ZF 13-13
RDFrizell
to:
chris.shacklett
10/30/2013 10:12 AM
Hide Details
From: RDFrizell@aol.com
To: chris.shacklett@cor.gov,

I am writing in opposition to ZF 13-13 and any subsequent request for zoning changes to this property that includes multifamily housing. I have been a resident of Prairie Creek for over forty years and was attracted to the neighborhood by Prairie Creek school, I value the neighborhood's reputation, had highly rated school. There is no doubt the school's reputation helps support the home values and marketability; I believe it is easy to prove that schools with high levels apartments fail when compared to schools with no apartments. My immediate neighborhood is one where recent influx of younger families has in my opinion revitalized the area. Why have these families moved in? Prairie Creek school.

I believe the proposed development will have a negative impact on the schools and the changes will increase congestion, noise and added traffic will reduce the quality of life in the neighborhood. I strongly oppose changes which directly or indirectly impact our schools and could adversely impact property values.

I request the City Planing Commission recommend denial of ZF 13-13

Sincerely,

Richard Frizell
30 Creekwood Circle
Richardson, TX 75080



Zoning File number ZF 13-13
SDye@DigitalMainstreet.com to: chris.shacklett

10/30/2013 12:36 AM

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083

FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Scott Dye
305 Fall Creek Drive
Richardson, TX 75080

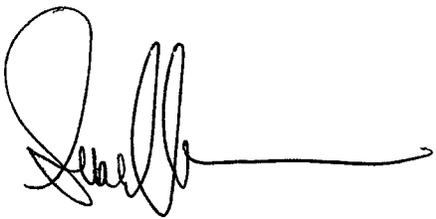
TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, Texas 75083
FAX 972-774-5804
Chris.Shacklett@cor.gov

RE: Zoning File number ZF 13-13

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As residents of Prairie Creek we value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. We adamantly oppose changes which directly or indirectly impact schools and property value.

We request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sean & Melanie McQueen', with a long horizontal flourish extending to the right.

Sean & Melanie McQueen
2206 Canyon Creek Plaza
Richardson, Texas 75080



Zoning File number ZF 13-13, - Palisades

Sharon Snayd

to:

chris.shacklett

10/30/2013 10:26 AM

Cc:

laura.maczka, kendal.hartley

Hide Details

From: "Sharon Snayd" <ssnayd@sbcglobal.net>

To: <chris.shacklett@cor.gov>,

Cc: <laura.maczka@cor.gov>, <kendal.hartley@cor.gov>

I am in opposition of this rezoning request. I believe with the State Farm development, etc., that another high density development between the Bush Turnpike and Campbell will be too much. I think the traffic, noise and additional population that would fill 750 apartments, 250 condos would overwhelm the schools and the neighborhood. Those of us who live close to Collins would be very negatively affected by this development. I am not opposed to the development of this 58 acres with a more reasonable size development or offices, etc., but not anything of the size proposed. I attended one of their meetings last year and formed my opinion against this at that time. It is unfair to negatively affect existing citizens who are tax paying property owners with something of this size and population density.

Sharon and Joe Snayd

212 Long Canyon Court
Richardson 75080



Zoning File number ZF 13-13

Sherri Hardeman

to:

chris.shacklett@cor.gov

10/30/2013 01:02 PM

Hide Details

From: Sherri Hardeman <sherrickme@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Please respond to Sherri Hardeman <sherrickme@yahoo.com>

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804  

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek, I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Sherri Hardeman
2406 Grandview Drive
Richardson, TX 75080

Sherri Hardeman



Zoning File number ZF 13-13

Frantz, Stacey

to:

Chris.shacklett@cor.gov

10/30/2013 12:04 PM

Cc:

Christopher Frantz

Hide Details

From: "Frantz, Stacey" <Stacey.Frantz@aa.com>

To: "Chris.shacklett@cor.gov" <Chris.shacklett@cor.gov>,

Cc: Christopher Frantz <cfrantz@bartlettcocke.com>

TO: Department of Development Services, City of Richardson

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek and parent of two young daughters, I value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments and apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity), bring unwanted congestion, noise and traffic to Collins Boulevard, and threaten property values. I **adamantly oppose** changes which directly or indirectly impact schools and property values of our neighborhood.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Stacey Frantz

2308 East Prairie Creek Drive



Stacey F. Frantz

Director – Communications

817-963-2010 Office | 817-683-3869 Cell



NOTICE: This email and any attachments are for the exclusive and confidential use of the intended recipient(s). If you are not an intended recipient, please do not read, distribute, or take action in reliance upon this message. If you have received this in error, please notify me immediately by return email and promptly delete this message and its attachments from your computer.

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Todd Franks
207 high Canyon Ct
Richardson, TX 75080



Zoning File Number ZF 13-13

Trey Bayne

to:

chris.shacklett@cor.gov

10/30/2013 09:57 PM

Hide Details

From: Trey Bayne <baynejo@yahoo.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Dear Mr. Shacklett,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Trey Bayne
403 Ridgehaven Place
Richardson, TX 75080
(972) 365-1487



Zoning File number ZF 13-13

JAMES R GREENE

to:

chris.shacklett@cor.gov

10/31/2013 11:33 AM

Cc:

Marie M Greene, Tamra Bailey

Hide Details

From: JAMES R GREENE <jgreene27@sbcglobal.net>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Cc: Marie M Greene <mariegreene@sbcglobal.net>, Tamra Bailey
<tamrabailey@sbcglobal.net>

Please respond to JAMES R GREENE <jgreene27@sbcglobal.net>

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

James R. Greene

James Greene

241 Valley Creek Place

Richardson, TX 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

It saddens us that this is even being considered as an option in Prairie Creek. Canyon Creek is one of the greatest neighborhoods in the DFW area and one of the jewels of Richardson. We moved here 4 years ago because of the character of the neighborhood and the level of schooling our children would receive. We believe allowing a transient population will not only affect our property values but also affect the quality of our children's education. We are not upset by the traffic it would create, however, the effect on our school is where we become very passionate.

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Jay and Ashley Samber
2400 E Prairie Creek Dr
Richardson, TX 75080



proposal for re zoning in Canyon Creek

katherine to:
Please respond to "katherine"

10/31/2013 12:05 AM

Dear Chris, Laura and Kendal,

I am OPPOSED to the re-zoning request for Canyon Creek,
called ZF13-13 and the changes requested.

I have lived in Canyon Creek since 1999 and do not think the
city has our neighborhood in it's best interest if they pass
this bill.

I hope that they will see the value in our neighborhood as
it stands now and not be tempted to allow this change and
forever change life here as it is now.

Sincerely,

Katherine Robertson



Zonong File Number ZF 13-13

Marie Greene

to:

chris.shacklett@cor.gov

10/31/2013 11:42 AM

Cc:

James Greene, Tamra Bailey

Hide Details

From: Marie Greene <mariegreene@sbcglobal.net>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Cc: James Greene <jgreene27@sbcglobal.net>, Tamra Bailey <tamrabailey@sbcglobal.net>

Please respond to Marie Greene <mariegreene@sbcglobal.net>

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Marie M. Greene

Marie M. Greene

241 Valley Creek Place

Richardson, TX 75080



Proposed Zoning Changes for Pallasides Park

Pamela

to:

chris.shacklett

10/31/2013 11:24 AM

Cc:

lauramaczka, "Kendal", don.magner

Hide Details

From: "Pamela" <pamela@gamajag.com>

To: <chris.shacklett@cor.gov>,

Cc: <lauramaczka@swbglobal.net>, "Kendal" <Kendal@hartleyandassoc.com>,
<don.magner@cor.gov>

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Pamela Tomasello
213 High Canyon Court
Richardson, Texas 75080
972-234-2204

October 31, 2013

Dept. of Development Services,

This letter is to express my concerns regarding the proposed rezoning of 58.5 acres bordered by Collins Blvd. which is directly east of the Prairie Creek homes. We certainly realize that this land cannot remain undeveloped forever but would like to ensure that whatever development is done does not detract appreciably from the Prairie Creek homes area. To me this means anything in the proposed rezoning area that is over two stories would be a distraction and lessen the ideal neighborhood that we live in.

I solicit your support of my concerns and request that you limit such development to two stories. This will help to minimize the traffic on and around Collins plus minimize the impact on our neighborhood schools.

Nearer Central Expressway we could tolerate taller buildings but not above 10 stories.

Thank you for your consideration of our concerns.

William E. Houchin

William E. Houchin

Frances Y. Houchin

Frances Y. Houchin

RECEIVED
NOV 04 2013
DEVELOPMENT SERVICES



opposition to Zoning File number ZF 13-13

Edna Mitchell

to:

chris.shacklett@cor.gov

11/01/2013 07:31 AM

Hide Details

From: Edna Mitchell <edna1980@hotmail.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Heath and Edna Mitchell

243 Woodcrest Dr.

Richardson, TX 75080

RECEIVED
NOV 01 2013
DEVELOPMENT SERVICES

October 30, 2013

Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
P.O. Box 830309
Richardson, Texas 75083

RE: Zoning file no. ZF 13-13.

Dear Mr. Shacklett:

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Scott E. Buie
321 Arborcrest Drive
Richardson, Texas 75080



Oppose ZF 13-13

Chris Somers

to:

chris.shacklett, laura.maczka, kendal.hartley

11/02/2013 10:23 PM

Hide Details

From: Chris Somers <chrisvsomers@gmail.com>

To: chris.shacklett@cor.gov, laura.maczka@cor.gov, kendal.hartley@cor.gov,

Chris, Laura & Kendal,

We vehemently oppose the zoning change ZF 13-13. We moved to this Prairie Creek neighborhood 21 years ago to escape the negative impact that apartments had on other RISD schools and property values due to transient populations. In Prairie Creek, we have top-notch schools and excellent property values, because we have a stable environment where students stay for the whole school year. Please don't repeat the past mistakes of other RISD neighborhoods. Our community is too special for that!

Sincerely,

Christine & Bob Somers

202 High Canyon Court

Richardson, TX 75080



To: chris.shacklett@cor.gov,
Cc:
Bcc:
Subject: ZF 13-13 Opposition
From: Jim Hummel <jchummel@gmail.com> - Saturday 11/02/2013 05:29 PM

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

RE: Zoning File number ZF 13-13

I am writing to oppose ZF 13-13.

I have been a resident of Prairie Creek since 1983 and value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I understand that the City has looked at various options for this land and I understand that all the residents would like something done with it that will complement the area. I have always thought housing options that might work could be a high quality senior living facility or zero lot line single homes – patio-type homes built around some parks and trails. Regardless, apartments are not the right answer and I will always oppose apartment zoning.

I can imagine that Walmart might be putting pressure on the City for rezoning as apartment traffic would help the sales of their targeted new store. I'm not against the Walmart, but am certainly against the apartments.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Jim Hummel

331 Robin Way

--

Mobile - 972-467-3425

Skype - jimhummel



Zoning File number ZF 13-13

Amy Vicknair

to:

chris.shacklett

11/03/2013 08:35 PM

Cc:

Laura.Maczka

Hide Details

From: "Amy Vicknair" <amyvicknair@sassafrasdesign.com>

To: <chris.shacklett@cor.gov> ,

Cc: <Laura.Maczka@cor.gov>

TO: Department of Development Services, City of Richardson

C/O Chris Shacklett, AICP

PO Box 830309, Richardson, TX 75083

FAX 972-744-5804

chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Amy R. Vicknair

Name Amy R. Vicknair

Address 2217 Eastwood Drive



RE: Zoning File number ZF 13-13
kim.mercer to: chris.shacklett

11/04/2013 01:36 PM

Chris,

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As 30+ year residents of Prairie Creek, we highly value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. All three of our children attended Prairie Creek Elementary, and we adamantly oppose changes which directly or indirectly impact schools and property value.

We request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,
Michael & Kim Mercer
315 Robin Way
Richardson, TX 75080



New Apartments

Mike Kilgard

to:

chris.shacklett, laura.maczka, Kendal.Hartley

11/04/2013 02:40 PM

Hide Details

From: Mike Kilgard <mikekilgard@gmail.com>

To: chris.shacklett@cor.gov, laura.maczka@cor.gov, Kendal.Hartley@cor.gov,

I do not support the rezoning of the property between Collins and 75 to allow for hundreds of new apartments.

Best wishes,

Mike Kilgard



Opposition Letter for Zoning File number ZF 13-13

Todd Franks

to:

chris.shacklett

11/04/2013 06:48 PM

Hide Details

From: "Todd Franks" <tjfacts@gmail.com>

To: <chris.shacklett@cor.gov>,

Chris Shacklett, Planner
Development Services
411 West Arapaho Road
Richardson, TX 75083

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek, parent, as well as a commercial real estate appraiser, I value the neighborhood's excellent reputation, highest rated elementary school, absence of apartments, and no apartment zoning. The addition of 750 apartments, on top of the 121 townhomes, 65 single-family homes, and 300 condos, will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity), overbuilding multifamily within 75080, bring unwanted congestion, noise and traffic to Collins Boulevard, overcrowd neighborhood trails and parks, and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Paige Franks, MAI
207 High Canyon Court
Richardson, TX 75080



RE: Zoning File number ZF 13-13

Thomas, Sasha

to:

chris.shacklett@cor.gov

11/04/2013 04:25 PM

Hide Details

From: "Thomas, Sasha" <Sasha.Thomas@dpsg.com>

To: "chris.shacklett@cor.gov" <chris.shacklett@cor.gov>,

Security:

To ensure privacy, images from remote sites were prevented from downloading. Show Images

Dear Sir,

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Sasha

Sasha Thomas

2019 Cap Rock Circle

Richardson, TX 75080

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RE: Zoning File number ZF 13-13
Jill Teagarden
to:
chris.shacklett
11/05/2013 07:17 AM
Sent by:
jill@teagardenfamily.com
Hide Details
From: Jill Teagarden <jteagarden@sbcglobal.net>
To: chris.shacklett@cor.gov,
Sent by: jill@teagardenfamily.com

Mr. Shacklett,

We are writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As residents of Prairie Creek we value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. We adamantly oppose changes which directly or indirectly impact schools and property value.

We request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Jill & Mike Teagarden
401 Ridgeview Drive
Richardson, Texas 75080

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value its excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,

Shawn and Cassie Sommerlad

322 Robin Way
Richardson, TX 75080



To: "katherine" <katherine@katherinerobertsonphotography.com>,
Cc: Chris Shacklett/CH/Cor@Cor, Sam Chavez/CH/Cor@Cor,
Bcc:
Subject: Re: Palisades comments on ...
From: Kathy Welp/CH/Cor - Tuesday 11/12/2013 09:40 AM

"katherine"

Dear Council members and JPPartners, I am a 1...

11/12/2013 09:36:59 AM

From: "katherine" <katherine@katherinerobertsonphotography.com>
To: Kathy.Welp@cor.gov,
Date: 11/12/2013 09:36 AM
Subject: Palisades comments on ...

Dear Council members and JPPartners,

I am a 14 year home owner in Canyon Creek and my street, Creekwood Circle backs up to Collins.

Having attended the public hearing but not having the nerve to stand before you and speak i wanted to send my 2 cents worth in now.

Several years ago our neighborhood came together to fight a Montessori school from coming into the old Tom Thumb at Custer and Lookout and you can see that the end result has greatly benefited our neighborhood.

I know the plans have been made and it seemed that Good was less than interested in reducing the number of apartments at the beginning of his talk. But I want to say a few things that were not mentioned at the public hearing by anyone else there ...

Having entered the school system at Prairie Creek when my youngest was in 2nd or 3rd grade, I can tell you that the comradery amongst the kids is well established by that time.

It seems that if you were fortunate to be raised here from birth on or so to speak on, that entering the school from kindergarten through high school develops life long friends.

If a large number of apartments is built in our area, apart from the question of whether or not there will be room for more kids, the problem is, in my eyes that the mix of kids becomes more of a transient type school rather than a neighborhood one where the kids know each other and grow up together. I don't believe there is a need for more apartments with all of the new complexes built across the highway as well as the new complex on Custer just south of

190. I doubt that the number of residents in the apartments would actually work in retail at Palisades as the rent may be higher than they could afford. If you had a small amount to offer them that might be alright. (no more than 300)

My other issue is with the design of the residential single family homes. As they were shown on the overhead, they are just lined up homes along a few streets with very little design or interest given to them. They look like an after thought to just put a few homes, in with the apartments, etc.

It reminds me of the new subdivisions in Frisco or some similar area of new construction. With the size of the homes being around 2000 sq ft, you are limiting people who want to be in the school as that is really not enough space for most families today. The average home in PC is between, 2200-2600 as they stand now (1970's era) and even that is small by today's standards, thus all the tear downs we now have ...

Having just returned from a trip to Watercolor beach in North Florida, along the panhandle, I was struck by the intentionally built communities with little parks and paths tucked all around the development.

It seems a shame to waist so much land in Palisades on what appeared to be 3 rather large, boxy looking buildings to house apartments.

Why not make this development something special, something more "Boutiquey " so to speak and something unlike any other development in Dallas?

I would encourage all of you to look at the websites of Watercolor, Seaside, Alys and Rosemary Beaches to get an idea of what I am referring to as they call it the "New Urbanism" which I believe is basically what you are trying to do here. (if you are not already familiar with the area along 30A in Florida)

I don't know if the issue of the trees that are on the property were included in the master plan or not but having enjoyed them over the years I wanted to make mention of that one issue as well.

There are some "allees" behind what was Swan Court that I have photographed over the years and enjoyed and I wondered if any effort was going into preserving some of the natural intent of the land or not? It seems that if some of the land meant for apartments could be used in sf homes, that the natural trees could be incorporated into the plan to included little park areas throughout the development of homes.

These are my concerns and I hope that you made it all the way to the end of this letter to hear me out and possibly consider some of my proposals.

As others said at the meeting, this is a different piece of

land when comparing it to the east side development, Shops of Legacy and even Waters Creek.

This little piece of land is an integral part of our residential neighborhood and thus, in my opinion should be treated such and in the fashion that I call Boutique".

I hope you will consider my comments and think carefully about the plans and not be rushed into starting before the very best plan can be developed for our neighborhood. I know time is money but I hope serious thought will be had by all concerned making this important decision for our community.

Many thanks for your consideration,
Katherine Hershey Robertson

29 Creekwood Circle
Richardson 75080

214.212.1639
Realtor and Photographer



ZF 13-13

Ray & Rosemary McMahon

to:

chris.shacklett

11/20/2013 05:13 PM

Hide Details

From: "Ray & Rosemary McMahon" <rayandrosemary@gmail.com>

To: chris.shacklett@cor.gov,

We are emailing you in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As 46 year residents and beneficiaries of the Prairie Creek Elementary school we value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary is operating at enrollment capacity) and threaten property values. We adamantly oppose changes which directly or indirectly impact schools and property value.

We additionally challenge the assertion that the majority of the membership of the Canyon Creek Home Owners Association favor passage of ZF 13-13 and request that the City Planning Commission also challenge assertion.

We request the City Planning Commission recommend denial of ZF 13-13.

W.R. and Rosemary M. McMahon
432 Crestover Circle
Richardson TX. 75080

Dept of Development Services, City of Richardson
C/O: Chris Shacklett, AICP
PO Box 830309
Richardson, TX 75083

RECEIVED
NOV 25 2013
DEVELOPMENT SERVICES

RE: Zoning File Number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent zoning changes for this property. As a resident of Prairie Creek I value it's reputation, highly rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission deny ZF 13-13.

Sincerely,



Walt Parrish
313 Arborcrest Drive
Richardson, TX 75080
214-802-9913

RECEIVED
NOV 27 2013
DEVELOPMENT SERVICES

TO: Department of Development Services, City of Richardson
C/O Chris Shacklett, AICP
PO Box 830309, Richardson, TX 75083
FAX 972-744-5804
chris.shacklett@cor.gov <<mailto:chris.shacklett@cor.gov>>

RE: Zoning File number ZF 13-13

I am writing in opposition to ZF 13-13 and any subsequent requests for zoning changes to this property. As a resident of Prairie Creek I value it's excellent reputation, highest rated elementary school, absence of apartments and no apartment zoning. The proposed development will negatively impact schools (Prairie Creek Elementary operating at enrollment capacity) and threaten property values. I adamantly oppose changes which directly or indirectly impact schools and property value.

I request the City Planning Commission recommend denial of ZF 13-13.

Sincerely,



Mr. & Mrs. Shelton B. Gillam
412 Crestover Circle
Richardson, Texas 75080



Fw: Palisades Development
Michael Spicer to: Chris Shacklett

12/04/2013 03:30 PM

Another one

Michael Spicer

Director of Development Services
City of Richardson
P.O. Box 830309
Richardson, TX 75083-0309

972.744.4245
michael.spicer@cor.gov



----- Forwarded by Michael Spicer/CH/Cor on 12/04/2013 03:29 PM -----

From: Dan Johnson/CH/Cor
To: Michael Spicer/CH/Cor@Cor,
Date: 12/04/2013 03:13 PM
Subject: Fw: Palisades Development
Sent by: Jenny Sanchez

----- Forwarded by Jenny Sanchez/CH/Cor on 12/04/2013 03:13 PM -----

From: "Mark Solomon" <marksr@assurnet.biz>
To: "Tammie Toynbee" <tjtoynbee@sbcglobal.net>,
Cc: <laura.maczka@cor.gov>, "Dan Johnson" <dan.johnson@cor.gov>
Date: 12/04/2013 03:09 PM
Subject: RE: Palisades Development

Tammie:

Thank you for letting me know your thoughts on this issue. I am currently looking at all the positions so I can be prepared for the presentation on Monday evening at 7:30 PM.

Mark Solomon

From: Tammie Toynbee [mailto:tjtoynbee@sbcglobal.net]

Sent: Sunday, December 01, 2013 11:25 PM

To: laura.maczka@cor.gov; bob.townsend@cor.gov; mark.solomon@cor.gov; scott.dunn@cor.gov; kendal.hartley@cor.gov; paul.voelker@cor.gov; steve.mitchell@cor.gov

Subject: Palisades Development

Hello,

I was at the last CPC meeting when the rezoning was approved for the Palisades Development. I went with an open mind and left furious! Regardless of the topic, the CPC was condescending, pompous, and not interested in hearing anything that might be valid. Many views were backed with statistics and facts. It was obvious that they were not going to give any consideration to

those statistics and facts and of course, they didn't. The Palisades Development does not directly affect them or their property values. I tried to think of the impact on the city as a whole and I can't see how Richardson will benefit beyond tax revenue if the city can even support such a development as approved by the CPC. **(Speaking of tax revenue, I would like to know if the developer is receiving some kind of tax incentive from the city.)** I can, however, see how it will detract from the qualities of our city that currently attract people. There is a reason that I didn't move to Plano or another similar city. I don't believe that a high density, low quality (CPC didn't put any restrictions on quality), mixed use development managed by a company that has no experience in this area is appropriate for a neighborhood. The people fighting to get into this neighborhood and building large expensive homes will be fighting to get out because it will inadvertently change the neighborhood to a highly populated area with a lot of traffic, noise, pollution, etc. The sheer amount of traffic on Collins will make the bike lanes unusable. I am not against development of the land. **But, I am against the current plan as passed by the CPC.** The devil is in the details so to speak.

As for the Canyon Creek Homeowners Association, I don't know how the CPC can take their recommendation when it is a voluntary organization. The CCHOA can not voice an opinion on behalf of a neighborhood where membership is optional and nobody was polled. I have recently been made aware that the President of the CCHOA works for Capital One, a partner in the development. As far as I know, the board did not survey its members as to whether they approve or disapprove of the development. I do know that 133 people wrote to the CPC voicing disapproval. I am hoping that we can get more than that to write to you, the council. So many neighbors are not aware of the true details of the situation. I have to wonder why since the CCHOA board stated that they have been working with the developer for over a year.

There is so much more that I can say to support my **opposition** to the current plan, but I want to keep this short. I would like to know the next step in the process and how I can voice my concerns prior to the council voting. We only have a week so I need to get moving!

Thank you for your time,
[Tammie Toynbee](#)
Concerned Canyon Creek Resident



To: Chris Shacklett/CH/Cor@Cor,
Cc:
Bcc:
Subject: Fw: Citizen concern about Palisades Development
From: Michael Spicer/CH/Cor - Wednesday 12/04/2013 03:28 PM

And another.

Michael Spicer
Director of Development Services
City of Richardson
P.O. Box 830309
Richardson, TX 75083-0309

972.744.4245
michael.spicer@cor.gov

----- Forwarded by Michael Spicer/CH/Cor on 12/04/2013 03:28 PM -----

From: Dan Johnson/CH/Cor
To: Michael Spicer/CH/Cor@Cor,
Date: 12/04/2013 03:12 PM
Subject: Fw: Citizen concern about Palisades Development
Sent by: Jenny Sanchez

----- Forwarded by Jenny Sanchez/CH/Cor on 12/04/2013 03:12 PM -----

From: "Mark Solomon" <marksr@assurnet.biz>
To: "Rebecca Day" <rebecca@daviddaydesigns.com>,
Cc: <laura.maczka@cor.gov>, "Dan Johnson" <dan.johnson@cor.gov>
Date: 12/04/2013 02:53 PM
Subject: RE: Citizen concern about Palisades Development

Thank you for letting me know your thoughts on this issue. I am currently looking at all the positions so I can be prepared for the presentation on Monday evening at 7:30 PM.

Mark Solomon

From: Rebecca Day [mailto:rebecca@daviddaydesigns.com]
Sent: Tuesday, December 03, 2013 11:28 AM
To: Mark.Solomon@cor.gov
Subject: Citizen concern about Palisades Development

Hello Mark,

I am writing to you regarding the zoning request for the Palisades development that will go before the Council on December 9. I am one of 5 homeowners on Creekwood Circle (Prairie Creek Estates subdivision) that back to Collins. Needless to say we are all concerned about the impact of the proposed development.

My primary concern is with the proposed apartment construction. At this time all signs point to the developer getting a green light for lower-end apartments and not moving forward with any other aspects of the proposed development. This is evident in that the quality and quantity of the apartments do not support the development they are proposing.

It is my impression that they are proposing a Tier 1 office/park complex (dropping big names as potential tenants) and suggesting that the park will be of the caliber of Klyde Warren Park in Downtown Dallas. If

this is their vision, why are they asking for Type 3 to Type 5 wood construction apartments? This quality does not support the long-term high-end development they are proposing.

Also, I do not think 600 apartments are enough to support the 24/7 retail/restaurant development they profess to be striving for. The chairman of the CPC also suggested this at the November 19th meeting. I am not suggesting they build more, merely pointing out that the numbers do not support the proposed project.

Richardson already has over 11,000 apartments with 7,000 approved for development. Wouldn't it be wise to see these 7,000 apartments be absorbed into our community before approving more? The area being developed on George Bush already has many apartments underway – why can't a potential commercial client see these as an asset to our site?

The applicant/developer has ZERO obligation to actually build the development they are showing us in the illustrations. If you pass this zoning request for apartments, the apartment phase of the plan will probably be built. JP Realty has every right to parcel out the property and sell it to businesses that specialize in building mixed use developments, and who subsequently have no obligation to use Good, Fulton and Farrell's Master Plan.

To sum up, I am asking you to please vote against this zoning request regarding apartments for the following reasons:

1. Apartments next to single family homes affects property values negatively. This is a fact. If this zoning is passed neighborhood values will be impacted overall and those of us backing to Collins will be impacted the most.
2. There is no proof that the rest of the development, the part that is supposed to benefit our neighborhood and Richardson will ever be actualized. This isn't a matter of trusting the applicant and developer, their actions speak to this. By proposing 600 Type 3 to 5 apartments they are showing their lack of commitment to the larger project.

I would also like to mention the Canyon Creek Homeowners Association does not represent the majority view of the neighborhood. I do not know a single resident in favor of the apartment zoning although the HOA claims conditional support for the project. It is also a fact that the HOA president works for the same company developing the project. In my opinion the only appropriate action would have been to recuse himself due to the clear conflict of interest in representing the residents of the neighborhood for a project being developed by his employer. He claims he does not work for the same division, so it is not a conflict. This is beyond unacceptable.

Thank you for your time and consideration. I know you are busy but I would like to extend an invitation to my home to see how many of us back up to Collins, the western border street. I would love to walk the route with you up to my parent's house on Box Canyon on the Collin County side of this development. I think if you can physically see how much this development might impact our specific area, you could further understand our concern.

Best Regards,
Rebecca Day
20 Creekwood Circle
214-770-2913



To: Chris Shacklett/CH/Cor@Cor,
Cc:
Bcc:
Subject: Fw: Palisades Development Zoning
From: Michael Spicer/CH/Cor - Wednesday 12/04/2013 03:28 PM

Add this on to the file

Michael Spicer
Director of Development Services
City of Richardson
P.O. Box 830309
Richardson, TX 75083-0309

972.744.4245
michael.spicer@cor.gov

----- Forwarded by Michael Spicer/CH/Cor on 12/04/2013 03:28 PM -----

From: Dan Johnson/CH/Cor
To: Michael Spicer/CH/Cor@Cor,
Date: 12/04/2013 03:12 PM
Subject: Fw: Palisades Development Zoning
Sent by: Jenny Sanchez

----- Forwarded by Jenny Sanchez/CH/Cor on 12/04/2013 03:12 PM -----

From: "Mark Solomon" <marksr@assurnet.biz>
To: "Jon Abel" <jon.abel.tx@gmail.com>,
Cc: "Mayor" <laura4richardsonmayor@gmail.com>, "Dan Johnson" <dan.johnson@cor.gov>
Date: 12/04/2013 02:52 PM
Subject: RE: Palisades Development Zoning

Thank you for letting me know your thoughts on this issue. I am currently looking at all the positions so I can be prepared for the presentation on Monday evening at 7:30 PM.

Mark Solomon

From: Jon Abel [mailto:jon.abel.tx@gmail.com]
Sent: Tuesday, December 03, 2013 12:02 PM
To: laura.maczka@cor.gov; bob.townsend@cor.gov; mark.solomon@cor.gov; scott.dunn@cor.gov; kendal.hartley@cor.gov; paul.voelker@cor.gov; steve.mitchell@cor.gov
Subject: Palisades Development Zoning

Dear Mayor and Councilmembers,

I write today to ask you to reject the rezoning petition for the Palisades project and maintain the current zoning on the affected parcels. As a homeowner in the Canyon Creek neighborhood, I am concerned that high-density commercial and residential development is incompatible with the character of the neighborhood and would adversely affect current property owners.

Very truly yours,

Jon Abel

Jon Abel, CTP
420 Ridge Crest Dr
Richardson, TX 75080
972-983-5446

jon.abel.tx@gmail.com
<http://www.linkedin.com/in/jonabel>

ORDINANCE NO. 4035

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 22, BY AMENDING SECTION 22-118(a) TO AMEND THE SCHOOL ZONE HOURS FOR RICHARDSON INDEPENDENT SCHOOL DISTRICT ELEMENTARY SCHOOLS; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE, PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00); AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Code of Ordinances of the City of Richardson, Texas, be and the same is hereby amended by amending Section 22-118(a) in part to amend the school zone hours for the Richardson Independent School District elementary schools to read as follows:

“Sec. 22-118. Maximum limits in school traffic zones; designation of school traffic zones.

(a) It shall be unlawful and an offense for any person to drive or operate a motor vehicle in a school traffic zone at a speed greater than 20 miles per hour, and any speed in excess of 20 miles per hour is prima facie evidence that the speed is not reasonable or prudent under the circumstances than existing. School traffic zones shall be in effect:

- (1) When indicated between the hours of 7:15 a.m. through 8:15 a.m., 2:45 p.m. through 3:45 p.m. for all Richardson Independent School District elementary schools on days when school is in session.
- (2) When indicated between the hours of 7:00 a.m. through 8:00 a.m., 2:30 p.m. through 3:30 p.m. for all Plano Independent elementary schools on days when school is in session.
- (3) When indicated between the hours of 7:45 a.m. through 8:45 a.m., and 3:15 p.m. through 4:15 p.m. for all junior high schools on days when school is in session.
- (4) When indicated between the hours of 8:15 a.m. through 9:15 a.m., and 4:00 p.m. through 4:45 p.m. for all senior high schools on days when school is in session.
- (5) When indicated between the hours of 7:30 a.m. through 8:15 a.m., and 3:15 p.m. through 4:00 p.m. for Canyon Creek Christian Academy on days when school is in session.

(6) When indicated between the hours of 7:15 a.m. through 8:15 a.m., and 3:00 p.m. through 4:00 p.m. for St. Paul the Apostle School on days when school is in session.

(b) The above-listed requirements shall apply either when said hours are posted on official school traffic zone speed limit signs located at such school traffic zone, or when official school traffic zone speed limit signs bearing a flashing amber light are located at such school traffic zone are in operation.

(c) The traffic engineer, or designed representative, shall, on the basis of an engineering and traffic survey, designate school traffic zones with appropriate street markings, flashers or signs. These street markings, flashers or signs shall be placed at the school traffic zones by the traffic engineer, or designated representative, and shall be in conformity with the Texas Manual on Uniform Traffic Control Devices. The speed limit designated for school traffic zones shall be effective only at times when flashers and/or appropriate signs advising motorists of the speed limit are placed in conspicuous places.”

SECTION 2. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 3. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of Ordinances as a whole.

SECTION 4. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Code of Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 5. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances of the City of Richardson as heretofore amended and upon conviction shall be

punished by a fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense, and each and every day such violation shall continue shall be deemed and constitute a separate offense.

SECTION 6. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such cases provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the _____ day of _____, 2013.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(11-25-13/63717)

CITY SECRETARY

ORDINANCE NO. 4036

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 18, SIGN REGULATIONS, BY AMENDING SECTION 18-5(3), PROHIBITED SIGNS; BY REPEALING SECTION 18-29; BY AMENDING SECTION 18-96(24), POLITICAL SIGNS (TEMPORARY); AND BY AMENDING CHAPTER 13 TO ADD ARTICLE XIII REGULATING ELECTIONEERING AT POLLING LOCATIONS; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE, PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on June 14, 2013, the Texas Legislature passed House Bill 259, amending the Texas Election Code to require a public entity that controls or owns a building used as a polling place, to allow electioneering on the premises subject to reasonable regulations; and

WHEREAS, according to this new law, “electioneering” includes the posting, use, or distribution of political signs or literature; and

WHEREAS, the polling places in the City include facilities that are simultaneously used for various other purposes and for which adequate and safe parking and access thereto must be maintained in order for those facilities to operate in a safe and effective manner; and

WHEREAS, electioneering includes posting of signs and, in order to further the general health, safety and welfare of the community, electioneering signs and literature should not be present outside of the time for voting except for a limited period to erect and remove the signs, and not be attached to improvements and landscaping; and

WHEREAS, the City Council further finds that the size of electioneering signs shall be limited and they should be set back from the public roadway in order to further traffic safety and remove visual clutter; and

WHEREAS, current City of Richardson regulations prohibit signs, including political signs, on public property, therefore, those regulations must be amended to comply with the new law; and

WHEREAS, the City Council deems it is in the best interest of the citizens of the City of Richardson that the current sign regulations be amended and additional regulations be adopted to address concerns that may result from electioneering on public property, including damage to property, traffic safety concerns, and blight; and

WHEREAS, the City Council finds that the adoption of regulations is needed and that they further the public health, safety and welfare of the community; **NOW, THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Code of Ordinances of the City of Richardson, Texas, be and the same is hereby amended by amending Chapter 18, Sign Regulations, in part by amending Section 18-5, Prohibited signs, in part, to read as follows:

“Sec. 18-5. Prohibited signs.

It shall be unlawful for any person to erect, cause to have erected, or allow to remain erected any sign or condition prohibited in this section and shall remove such sign or correct such condition immediately upon notice by the building official:

- (1) It shall be unlawful for any person to display or advertise upon any sign any obscene, indecent or immoral matter.

....

- (3) No person shall locate, place or attach any sign, paper or other material or paint, stencil or write any name, number (except house numbers) or otherwise mark on any sidewalk, curb, gutter, street, tree, tower, public utility pole or structure, public building, street light, public fence, public right-of-way, fire hydrant, bridge, park bench, or public structure, or other location on public property, except such signs as allowed by this chapter or Chapter 13, Article XIII. Any sign placed on public property, or public right-of-way may be removed without prior notice.

...”

SECTION 2. That the Code of Ordinances of the City of Richardson, Texas, be and the same is hereby amended by amending Chapter 18, Sign Regulations, in part by repealing Section 18-29, Exempt signs, and reserving for future use:

“Sec. 18-29. Reserved.”

SECTION 3. That the Code of Ordinances of the City of Richardson, Texas, be, and the same is hereby amended by amending Chapter 18, Sign Regulations, Section 18-96, Sign types described, in part, by amending Section 18-96(24), Political signs (temporary), in part, to read as follows:

“Sec. 18-96. Sign types described.

...

(24) Political signs (temporary).

- a. Definition/Purpose: Signs which are political in nature.
- b. Size: 36 square feet, 8 feet in height.
- c. Number: N/A
- d. Location:
 - i. Must be located on real private property with the consent of the property owner.
 - ii. Prohibited on public property, including the rights-of-way, except as allowed by Chapter 13, Article XIII.
 - iii. No signs may be placed in any locations that obstructs vision for traffic.
- e. Landscaping: N/A
- f. Design: No political sign may be illuminated or have moving parts.
- g. Permit Required: No.
 - i. Any sign, on private property, in violation of the provision of this section may be removed by the Community Services Department 10 days after written notice to the property owner.
 - ii. Any sign placed on public property or in public right-of-way in violation of this chapter or Chapter 13, Article XIII may be removed without prior notice. The owner of the property and/or sign may be held responsible for any expenses incurred for the removal of any sign.

SECTION 4. That the Code of Ordinances of the City of Richardson, Texas, be, and the same is hereby amended by adding new Article XIII, Electioneering at Polling Locations, to Chapter 13, Miscellaneous Offenses and Provisions, to read as follows:

“ARTICLE XIII. ELECTIONEERING AT POLLING LOCATIONS

Sec. 13-190. Purpose.

The purpose of this Article is to provide reasonable regulations for electioneering on City owned or controlled public property when such property is used as an election polling place. The regulations contained herein are to mitigate against any safety concerns, prevent damage to public property, and ensure that the property is sufficiently available for its patrons who use the facilities other than for election purposes.

Sec. 13-191. Definitions.

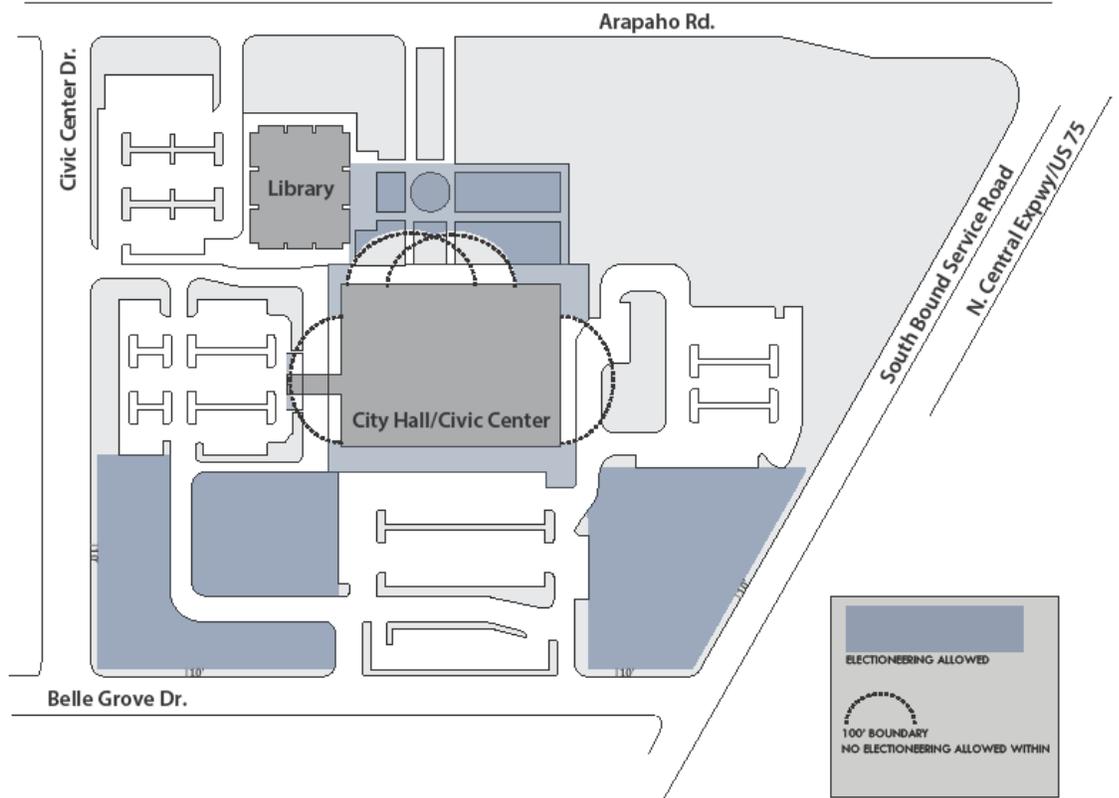
The following words and phrases as used in this article shall have the meanings as set forth in this section:

Electioneering shall mean the posting, use, or distribution of political signs or literature.

Voting period shall mean the period each day beginning the hour the polls are open for voting and ending when the polls close or the last voter has voted, whichever is later on election day and early voting days.

Sec. 13-192. Regulations and exceptions.

- (a) The following regulations apply to electioneering on the premises of public property during the voting period.
 - (1) It is an offense for any person to leave any electioneering sign or literature on public property that is used as a polling place other than during the voting period and for thirty minutes before and after the voting period.
 - (2) It is an offense for any person to engage in electioneering on driveways, parking areas, on medians within parking areas, or driveways on the premises of a polling location. This restriction shall not apply to electioneering signs that are attached to vehicles that are lawfully parked at the premises of a polling location.
 - (3) It is an offense for any person to attach, place or otherwise affix or erect any electioneering sign, literature or material in any area designated as a planting or landscaped area or to any tree, shrub, building, pole, or other improvement on public property used as a polling location.
 - (4) It is an offense for any person to place any electioneering sign or literature within ten (10) feet of the public road way adjacent to the public property where a polling location is located.
 - (5) It is an offense for any person to place an electioneering sign on the premises that exceeds thirty-six square feet and is more than eight feet in height, including any supporting poles, or to utilize any stake more than 10” long or 1’ in diameter.
 - (6) It is an offense for any person to post, use or distribute political signs or literature in any area of the premises of the City Hall/Civic Center except those areas in which electioneering is allowed in the diagram below.



- (7) In addition to imposing any criminal penalty, electioneering sign(s) located in violation of this section may be removed and disposed of by the entity in control of the public property.
 - (8) The authority to conduct electioneering on public property under this Article is limited to the property on the premises where the voting is conducted and only for the voting period.
- (b) The regulations set forth in (a) above shall not apply to any City of Richardson authorized signs, materials or other messages on its property.”

SECTION 5. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 6. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of Ordinances as a whole.

SECTION 7. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Code of Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 8. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances of the City of Richardson as heretofore amended and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day such violation shall continue shall be deemed and constitute a separate offense.

SECTION 9. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such cases provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 9th day of December, 2013.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:12-3-13:TM 63572)

CITY SECRETARY

RESOLUTION NO. 13-29

A RESOLUTION PROVIDING FOR THE REDEMPTION OF A PORTION OF THE OUTSTANDING “CITY OF RICHARDSON, TEXAS, GENERAL OBLIGATION REFUNDING BONDS, TAXABLE SERIES 2004”; AND RESOLVING OTHER MATTERS INCIDENT AND RELATED TO THE REDEMPTION OF SUCH OBLIGATIONS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, pursuant to Ordinance No. 3445 (the “Ordinance”) passed and adopted by the City Council (the “Council”) of the City of Richardson, Texas (the “City”), on January 12, 2004, the following described obligations have been issued to wit: City of Richardson, Texas, General Obligation Refunding Bonds, Taxable Series 2004, dated January 1, 2004 (the “Bonds”); and

WHEREAS, the Bonds are subject to redemption prior to maturity at the option of the City on February 15, 2013, or on any date thereafter; and

WHEREAS, following the scheduled mandatory redemption of \$305,000 principal amount of the sinking fund installment due February 15, 2014, the City Council desires to optionally redeem the outstanding balance of the Bonds, being \$1,820,000 in principal amount, on February 15, 2014;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That following the scheduled mandatory redemption of \$305,000 principal amount of the sinking fund installment due February 15, 2014, the outstanding principal balance of the Bonds, being \$1,820,000 in principal amount, shall be optionally redeemed and the same are hereby called for redemption on February 15, 2014, at the price of par plus accrued interest to the date of redemption. The City Secretary of the City is hereby authorized and directed to file a copy of this Resolution, together with a suggested form of notice of redemption to be sent to bondholders, with U.S. Bank National Association, the current paying agent/registrar for such obligations (the “Paying Agent/Registrar”), in accordance with the redemption provisions applicable to such obligations; such suggested form of notice of redemption being attached hereto as Exhibit “A” and incorporated herein by reference as a part of this Resolution for all purposes.

SECTION 2. That the City Secretary is hereby authorized and directed to make all arrangements necessary to notify the holders of such obligations of the City's decision to redeem such obligations on the date and in the manner herein provided and in accordance with the Ordinance.

SECTION 3. That it is officially found, determined, and declared that the meeting at which this Resolution is adopted was open to the public and public notice of the time, place, and subject matter of the public business to be considered at such meeting, including this Resolution, was given, all as required by Texas Government Code, Chapter 551, as amended.

SECTION 4. That this Resolution shall become effective immediately from and after its passage.

DULY RESOLVED AND ADOPTED by the City Council of the City of Richardson, Texas, on this the ____ day of _____, 2013.

CITY OF RICHARDSON, TEXAS

MAYOR

ATTEST:

CITY SECRETARY

APPROVED AS TO FORM:

CITY ATTORNEY
(PGS:12-2-13:TM 63814)

EXHIBIT "A"

**NOTICE OF REDEMPTION
CITY OF RICHARDSON, TEXAS
GENERAL OBLIGATION REFUNDING BONDS
TAXABLE SERIES 2004
Dated January 1, 2004**

NOTICE IS HEREBY GIVEN that a portion of the outstanding Bonds of the above series aggregating in principal amount of \$1,820,000 have been called for redemption on February 15, 2014 at the redemption price of par and accrued interest to the date of redemption.

The Bonds shall become due and payable on February 15, 2014, and interest thereon shall cease to accrue from and after said redemption date and payment of the redemption price of said obligations shall be paid to the registered owners of the obligations only upon presentation and surrender of such obligations to U.S. Bank National Association (successor to Wachovia Bank, National Association) at its designated office at the following address:

Attention: Bond Operations
60 Livingston Avenue, First Floor
St. Paul, Minnesota 55107

THIS NOTICE is issued and given pursuant to the terms and conditions prescribed for the redemption of said obligations and pursuant to a resolution by the City Council of the City of Richardson, Texas.

U.S. Bank National Association
14241 Dallas Parkway, Suite 490
Dallas, Texas 75254

CITY OF RICHARDSON

TO: Dan Johnson - City Manager
THRU: Kent Pfeil - Director of Finance
FROM: Pam Kirkland - Purchasing Manager
SUBJECT: Bid Initiation Request # 16-14
DATE: December 2, 2013

Request Council approval to initiate bids for the following:

2014 Police Department and Municipal Court HVAC Upgrades

Proposed Council approval date: December 9, 2013
Proposed advertising dates: December 11, 2013 & December 18, 2013
Proposed bid due date: Tuesday, January 7, 2014 – 2:00 p.m.
Proposed bid opening date: Tuesday, January 7, 2014 – 2:30 p.m.
Engineer's estimated total cost: \$440,000
Account: 234-2080-581-7201



Pam Kirkland, CPPO, CPPB
Purchasing Manager



Kent Pfeil
Director of Finance



Date

Approved: _____

Dan Johnson
City Manager

_____ Date



MEMO

TO: Dan Johnson, City Manager

THROUGH: Don Magner, Assistant City Manager 

FROM: Jerry Ortega, Director of Public Services
Joe Travers, Assistant Director of Public Services 

SUBJECT: Permission to Advertise Bid #16-14 for the
2014 Police Department and Municipal Court HVAC Upgrades

DATE: November 27, 2013

BACKGROUND INFORMATION:

Replace the air cooled water chiller and boiler at the Richardson Municipal Court. The boiler will be relocated to a location inside the building from its current outdoor location. Replacement of rooftop air conditioning units (RTU'S) at the Richardson Police Station is the second part of this project. These projects will target use of energy-efficient equipment as older equipment is replaced furthering the City's sustainability efforts.

FUNDING:

Funding is provided from the Certificate of Obligation Funds.

SCHEDULE:

Construction is expected to begin February 2014 and be completed by May 2014.

**NOTICE TO CONTRACTORS
CITY OF RICHARDSON**

**2014 POLICE DEPARTMENT AND MUNICIPAL COURT
HVAC UPGRADES**

BID No. 16-14

Sealed bids addressed to the Purchasing Manager, of the City of Richardson, Texas, will be received at the Office of the City Purchasing Department, Suite 101, City Hall, 411 West Arapaho Road, Richardson, Texas, until **Tuesday, January 7, 2014 at 2:00 pm** and will be opened and read aloud in the **Capital Projects Department, Room 206**, 30 minutes later that same day, for furnishing all labor, materials, tools and equipment, and performing all work required including all appurtenances for:

Replacement of the air cooled water chiller and boiler at the Richardson Municipal Court including relocation of the boiler to a location inside the building from its current location on the roof; replacement of rooftop air conditioning units (RTU'S) at the Richardson Police Station.

Proposals shall be accompanied by a certified or cashier's check on a state or national bank in an amount not less than five percent (5%) of the possible total of the bid submitted, payable without recourse to the City of Richardson, Texas, or an acceptable bid bond for the same amount from a reliable surety company as a guarantee that the bidder will enter into a contract and execute required Performance and Payment Bonds within ten (10) days after notice of award of contract. The notice of award of contract shall be given to the successful bidder within ninety (90) calendar days following the opening of bids.

The successful bidder must furnish a Performance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, and a material and labor Payment Bond upon the form provided in the amount of one hundred percent (100%) of the contract price. A Maintenance Bond is not required for this project.

The right is reserved, as the interest of the Owner may require, to reject any and all bids, to waive any informality in the bids received, and to select bid best suited to the Owner's best interest. The Contractor, to be successful in bidding this project, must have completed at least five projects of similar size and scope within the past three (3) years.

A maximum of 90 Calendar days will be allowed for construction, with anticipated start date in February 2014.

A compact disc (CD) containing digital copies of the plans, specifications and bid documents may be obtained from the Office of the City Engineer, Capital Projects Department in Room 204, of the Richardson Civic Center/City Hall, 411 West Arapaho Road, Richardson, Texas, **beginning at 12:00 p.m. on Tuesday, December 10, 2013** upon a **NON-REFUNDABLE FEE OF TWENTY FIVE DOLLARS (\$25.00) per CD**, payable to the City of Richardson, accompanied by the contractor's name, address, phone number, email address and FAX number. A printed copy of the documents can be also be obtained upon a **NON-REFUNDABLE FEE OF FIFTY DOLLARS (\$50.00) per set**. A maximum of two CDs or hard copies of plans per contractor.

A voluntary pre-bid conference will be held at **10:00 am on Wednesday, December 18, 2013** in the **Capital Projects Conference Room 206**, Richardson Civic Center/City Hall.

By:/s/Laura Maczka, Mayor
City of Richardson
P. O. Box 830309
Richardson, Texas 75083

PROPOSED PROJECT SCHEDULE
2014 POLICE DEPARTMENT AND MUNICIPAL COURT
HVAC UPGRADES

Bid #16-14

Agenda Paperwork to Advertise	Wednesday, November 27, 2013
Council Authorization to Advertise	Monday, December 9, 2013
Plans/Specs Available for Contractors	Tuesday, December 10, 2013
Advertise in Dallas Morning News	Wednesday, December 11, 2013
Advertise in Dallas Morning News	Wednesday, December 18, 2013
Pre Bid Meeting (10:00 pm Room 206)	Wednesday, December 18, 2013
Bids Received/Opened (@ 2:00 open @ 2:30 Room 206)	Tuesday, January 7, 2014
Agenda Paperwork to Award Contract	Friday, January 17, 2014
Council to Award Contract	Monday, January 27, 2014
Pre-Construction Meeting	~ February 3, 2014
Project Start	~ February 10, 2014
Project 90 Calendar Days	~ May 2014

Project Manager: Joe Travers
Engineers Estimate: \$440,000
Account #234-2080-581-7201

CITY OF RICHARDSON

TO: Dan Johnson - City Manager
THRU: Kent Pfeil - Director of Finance
FROM: Pam Kirkland - Purchasing Manager
SUBJECT: Bid Initiation Request # 21-14
DATE: December 2, 2013

Request Council approval to initiate bids for the following:

2014 Bridge Rail Maintenance Project

Proposed Council approval date: December 9, 2013
Proposed advertising dates: January 8, 2014 & January 15, 2014
Proposed bid due date: Tuesday, January 28, 2014 – 2:00 p.m.
Proposed bid opening date: Tuesday, January 28, 2014 – 2:30 p.m.
Engineer's estimated total cost: \$150,000
Account: 011-2011-531-3499



Pam Kirkland, CPPO, CPPB
Purchasing Manager



Kent Pfeil
Director of Finance



Date

Approved: _____
Dan Johnson
City Manager

Date



MEMO

TO: Dan Johnson, City Manager
THRU: Cliff Miller, Assistant City Manager 
FROM: Steve Spanos, P.E., Director of Engineering 
SUBJECT: Permission to Advertise Bid # 21-14
2014 Bridge Rail Maintenance Project

DATE: November 27, 2013

BACKGROUND INFORMATION:

The project consists of performing bridge maintenance work including, but not limited to, painting rails and concrete walls and replacing damaged stonework at nine locations in the City. Additionally, maintenance work at two other locations is included as alternates.

FUNDING:

Funding is provided from the Capital Projects General Funds

SCHEDULE:

Capital Projects plans to begin construction for this project March 2014 and be completed by July 2014.

Cc: Padma Patla, P.E., Project Engineer 

**NOTICE TO CONTRACTORS
CITY OF RICHARDSON**

**2014 BRIDGE RAIL MAINTENANCE PROJECT
BID # 21-14**

Sealed bids addressed to the Purchasing Manager, of the City of Richardson, Texas, will be received at the Office of the City Purchasing Department, Suite 101, City Hall, 411 West Arapaho Road, Richardson, Texas, until **Tuesday, January 28, 2014 at 2:00 pm** and will be opened and read aloud in the **Capital Projects Department, Room 206**, 30 minutes later that same day, for furnishing all labor, materials, tools and equipment, and performing all work required including all appurtenances for:

The project consists of performing bridge maintenance work including, but not limited to, painting rails and concrete walls and replacing damaged stonework at nine locations in the City. Additionally, maintenance work at two other locations is included as alternates.

Bids shall be accompanied by a certified or cashier's check on a state or national bank in an amount not less than five percent (5%) of the possible total of the bid submitted, payable without recourse to the City of Richardson, Texas, or an acceptable bid bond for the same amount from a reliable surety company as a guarantee that the bidder will enter into a contract and execute required Performance and Payment Bonds within ten (10) days after notice of award of contract. The notice of award of contract shall be given to the successful bidder within ninety (90) calendar days following the opening of bids.

The successful bidder must furnish a Performance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, a material and labor Payment Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, and a Maintenance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, from a surety authorized under the laws of the State of Texas to act as a surety on bonds for principals.

The right is reserved, as the interest of the Owner may require, to reject any and all bids, to waive any informality in the bids received, and to select bid best suited to the Owner's best interest. The Contractor, to be successful in bidding this project, must have completed a minimum of three similar projects within the last five years.

A maximum of One Hundred Fifty (150) calendar days will be allowed for construction.

One set of plans, specifications and bid documents may be secured from the Office of the City Engineer, Capital Projects Department in Room 204, of the Richardson Civic Center/City Hall, 411 West Arapaho Road, Richardson, Texas, **beginning at 12:00 p.m. on Wednesday, January 8, 2014** upon a **NON-REFUNDABLE FEE OF Fifty Dollars (\$50.00)** per set, payable to the City of Richardson, accompanied by the contractor's name, address, phone number, email address and FAX number. Maximum of two sets of plans per contractor.

A voluntary pre-bid conference will be held Thursday, January 16, 2014 at 10:00 am in the Capital Projects Conference Room 206, Richardson Civic Center/City Hall.

By: /s/Laura Maczka, Mayor
City of Richardson
P. O. Box 830309
Richardson, Texas 75083

PROJECT SCHEDULE

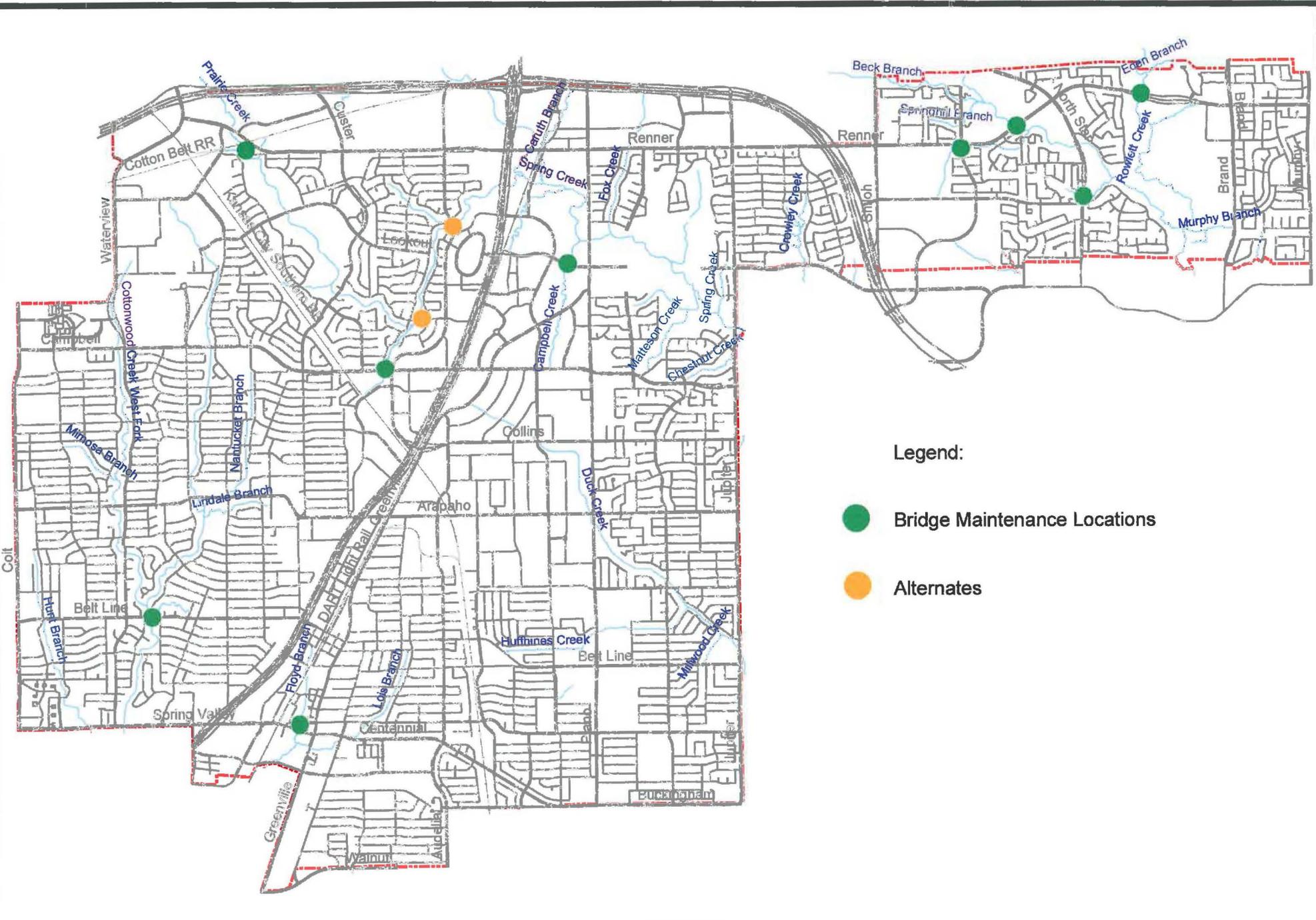
2014 Bridge Rail Maintenance Project

BID No. 21-14

Agenda Paperwork to Advertise	Wednesday, November 27, 2013
Council Authorization to Advertise	Monday, December 9, 2013
Plans/Specs Available for Contractors	Wednesday, January 8, 2014
Advertise in Dallas Morning News	Wednesday, January 8, 2014
Advertise in Dallas Morning News	Wednesday, January 15, 2014
Pre Bid Meeting (10:00 am Room 206)	Thursday, January 16, 2014
Bids Received & Opened (by 2:00 open 2:30 pm Room 206)	Tuesday, January 28, 2014
Agenda Paperwork to Award Contract	Friday, January 31, 2014
Council to Award Contract	Monday, February 10, 2014
Pre-Construction Meeting	~February 2014
Project Start	~March 2014
Project Completes in 150 Calendar Days	~July 2014

*Project Manager: Padma Patla, P.E.
Engineers Estimate: \$150,000*

Account # 011 2011 531 3499



Legend:

- Bridge Maintenance Locations
- Alternates

**2014 Bridge Rail Maintenance Contract
December 2013**



CITY OF RICHARDSON

TO: Dan Johnson - City Manager
THRU: Kent Pfeil - Director of Finance
FROM: Pam Kirkland - Purchasing Manager
SUBJECT: Bid Initiation Request # 22-14
DATE: December 2, 2013

Request Council approval to initiate bids for the following:

2014 Collector Street Pavement Repair Project
(Floyd, Apollo, Buckingham)

Proposed Council approval date: December 9, 2013
Proposed advertising dates: December 11, 2013
December 18, 2013
January 1, 2014
January 8, 2014
Proposed bid due date: Tuesday, January 21, 2014 – 2:00 p.m.
Proposed bid opening date: Tuesday, January 21, 2014 – 2:30 p.m.
Engineer's estimated total cost: \$450,000.00
Account: 353-8702-585-7524, Project #SR1402



Pam Kirkland, CPPO, CPPB
Purchasing Manager



Kent Pfeil
Director of Finance



Date

Approved: _____
Dan Johnson
City Manager

_____ Date



MEMO

TO: Dan Johnson, City Manager

THRU: Cliff Miller, Assistant City Manager 

FROM: Steve Spanos, P.E., Director of Engineering 

SUBJECT: Permission to Advertise Bid # 22-14
2014 Collector Street Pavement Repair Project
(Floyd, Apollo, Buckingham)

DATE: November 27, 2013

BACKGROUND INFORMATION:

Authorization to advertise Bid #22-14 approval of contract documents for the 2014 Collector Street Pavement Repair Project. Bids to be received until Tuesday, January 21, 2014 at 2:00 p.m. and read aloud 30 minutes later.

The project consists of pavement repairs for 3 separate, collector streets including South Floyd from Belt Line Road to the US75 SB Frontage Road, Apollo from Glenville to Jupiter and Buckingham from Sherman to Audelia. The collectors total approximately 2 miles in length and include all work to primarily remove and replace existing pavement patches and failures with limited emphasis on broken curbs, sidewalks and other miscellaneous appurtenances.

FUNDING:

Funding is provided from Street Rehabilitation.

SCHEDULE:

Capital Projects plans to begin construction for this project March 2014 and be completed by August 2014.

Cc: Jim Dulac, P.E., Assistant City Engineer 

**NOTICE TO CONTRACTORS
CITY OF RICHARDSON**

**2014 COLLECTOR STREET PAVEMENT REPAIR PROJECT
(FLOYD, APOLLO, BUCKINGHAM)**

BID No. 22-14

Sealed bids addressed to the Purchasing Manager, of the City of Richardson, Texas, will be received at the Office of the City Purchasing Department, Suite 101, City Hall, 411 West Arapaho Road, Richardson, Texas, until **2:00 p.m. on Tuesday, January 21, 2014**, and will be opened and read aloud in the **Capital Projects Conference Room 206**, 30 minutes later that same day, for furnishing all labor, materials, tools and equipment, and performing all work required including all appurtenances for:

The pavement repairs for 3 separate, collector streets including **South Floyd** from Main Street to the US75 SB Frontage Road, **Apollo** from Glenville to Jupiter and **Buckingham** from Sherman to Audelia. The collectors total approximately 2 miles in length and include all work to primarily remove and replace existing pavement patches and failures with limited emphasis on broken curbs, sidewalks and other miscellaneous appurtenances. The work will require special attention to traffic control and best management practices to ensure a safe and clean project.

Proposals shall be accompanied by a certified or cashier's check on a state or national bank in an amount not less than five percent (5%) of the possible total of the bid submitted, payable without recourse to the City of Richardson, Texas, or an acceptable bid bond for the same amount from a reliable surety company as a guarantee that the bidder will enter into a contract and execute required Performance and Payment Bonds within ten (10) days after notice of award of contract. The notice of award of contract shall be given to the successful bidder within ninety (90) days following the opening of bids.

The successful bidder must furnish a Performance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, a material and labor Payment Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, and a Maintenance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, from a surety authorized under the laws of the State of Texas to act as a surety on bonds for principals.

The right is reserved, as the interest of the Owner may require, to reject any and all bids, to waive any informality in the bids received, and to select bid best suited to the Owner's best interest. The Contractor, to be successful in bidding this project, must have completed a minimum of three similar projects within the last five years.

A maximum of One Hundred Eighty (180) calendar days will be allowed for construction of the project.

One set of plans, specifications and bid documents may be secured from the Office of the City Engineer, Capital Projects Department in Room 204, of the Richardson Civic Center/City Hall, 411 West Arapaho Road, Richardson, Texas, beginning at 12:00 p.m. on **Friday, December 13, 2013** upon a NON-REFUNDABLE FEE OF Fifty Dollars (\$50.00) per set, payable to the City of Richardson, accompanied by the contractor's name, address, phone number, email address and FAX number.

A voluntary Pre-Bid conference will be held **Thursday, January 9, 2014** at 11:00 a.m. in the **Capital Projects Conference Room 206**, Richardson Civic Center/City Hall.

By:/s/Laura Maczka, Mayor
City of Richardson
P. O. Box 830309
Richardson, Texas 75083

PROJECT SCHEDULE

2014 COLLECTOR STREET PAVEMENT REPAIR PROJECT (FLOYD, APOLLO, BUCKINGHAM)

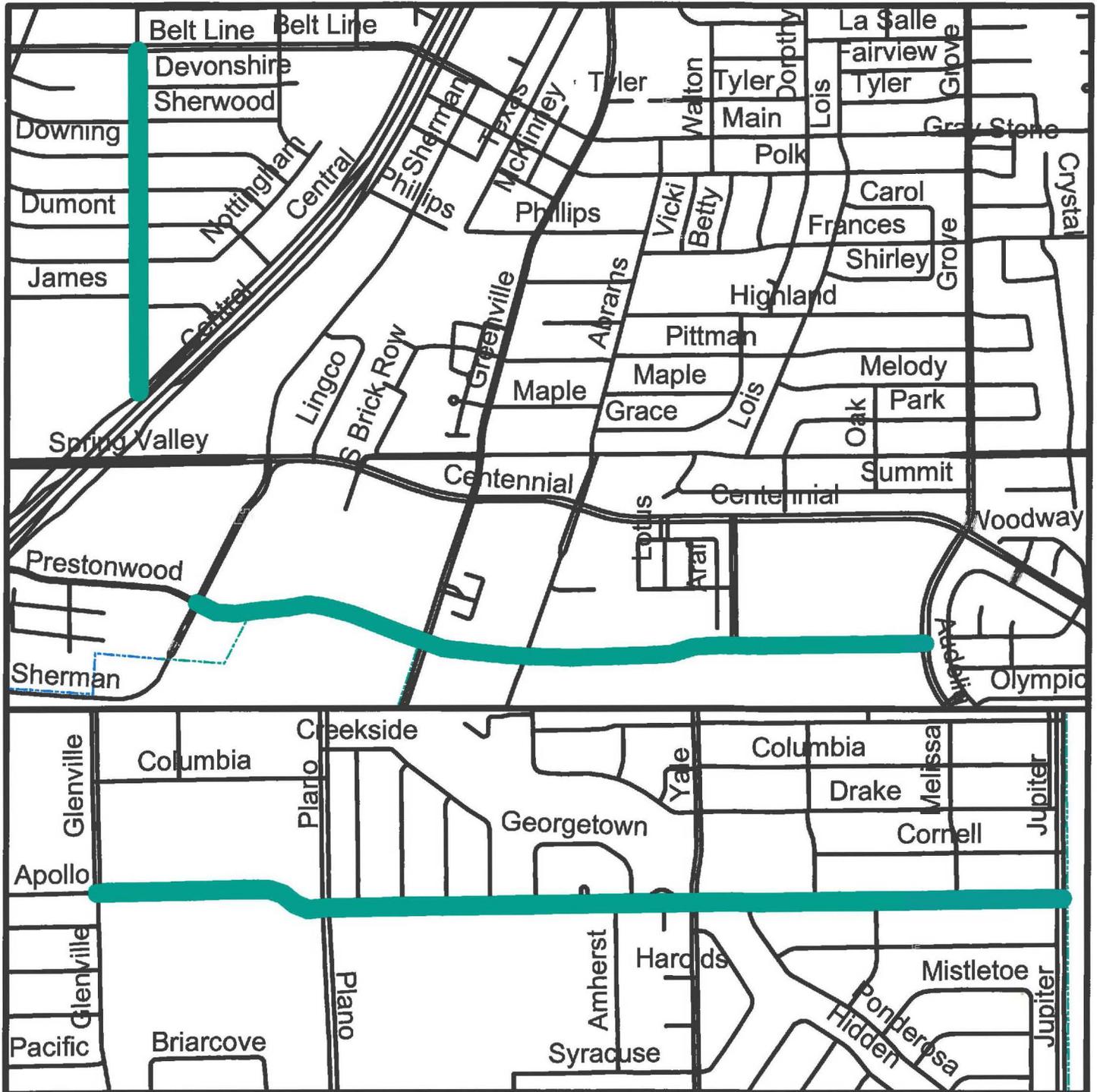
BID No. 22-14

Agenda Paperwork to Advertise	Wednesday, November 27, 2013
Council Authorization to Advertise	Monday, December 9, 2013
Plans/Specs Available for Contractors	Friday, December 13, 2013
Advertise in Dallas Morning News	Wednesday, December 11, 2013
Advertise in Dallas Morning News	Wednesday, December 18, 2013
Advertise in Dallas Morning News	Wednesday, January 1, 2014
Advertise in Dallas Morning News	Wednesday, January 8, 2014
Pre Bid Meeting (11:00 am Room 206)	Thursday, January 9, 2014
Bids Received & Opened (by 2:00 open 2:30 pm Room 206)	Tuesday, January 21, 2014
Agenda Paperwork to Award Contract	Friday, January 31, 2014
Council to Award Contract	Monday, February 10, 2014
Pre-Construction Meeting	~February 2014
Project Start	~March 2014
Project Completes in 180 Calendar Days	~August 2014

*Project Manager: Jim Dulac, P.E., Assistant City Engineer
Engineers Estimate: \$450,000.00
Account #353-8702-585-7524 Project #SR1402*

Exhibit A

2014 Collector Street Pavement Repair Project (Floyd, Apollo, Buckingham)



**AGENDA REPORT
City of Richardson, City Council Meeting**

Work Session Date _____	City Council Meeting Date December 9, 2013	
REQUESTED ACTION/MOTION		
<p>Authorization to advertise Competitive Sealed Proposal #901-14 approval of plans and contract documents for the 2014 Oncor Signature Trails Landscape Project. Competitive Sealed Proposals to be received until Thursday, January 23, 2014 at 2:00 p.m. and read aloud 30 minutes later.</p>		
SUMMARY EXPLANATION AND BACKGROUND		
<p>The purpose of the 2014 Oncor Signature Trails Project is to beautify the community and demonstrate landscaping improvements for areas with high voltage power equipment. The project will take place on Oncor property which is located South of Collins Boulevard and to a point approximately 600 feet South of Somerset Place. The project will consist of landscape elements: native and non-native landscape plants, drip irrigation, soil amendments & preparation, mulch, grading and drainage improvements, landscape boulders, and concrete mow strips.</p> <p>Funding is provided from Oncor in the amount of \$250,000.00.</p> <p>Parks plans to begin construction for this project February 2014 and be completed by April 2014.</p>		
Recommended By: <i>David Morgan</i> Shanna Sims-Blediah	 _____ City Manager's Office	12/5/13 _____ Date
Source of Additional Information: Michael Massey	_____ Director of Parks & Recreation	972-744-4302 _____ Phone
Source of Additional Information: Steve Spanos, P.E.	_____ Director of Engineering	972-744-4275 _____ Phone
EXHIBITS ATTACHED FOR CITY COUNCIL MEETING		
<p><u>4</u> Handout(s) for Council Meeting (list items)</p> <ul style="list-style-type: none"> • Executive Summary • Notice to Contractor • Proposed Project Schedule • Locater Map 		
DOCUMENTS FOR CITY SECRETARY/PERMANENT RECORDS		
<p>Documents must be submitted to the City Secretary in their final form with City Attorney approval no later than the Monday prior to the Work Session.</p> <p> <input type="checkbox"/> Resolution <input type="checkbox"/> Public Hearing <input type="checkbox"/> None <input type="checkbox"/> Ordinance <input type="checkbox"/> Other </p>		



MEMO

TO: Dan Johnson, City Manager

THRU: Shanna Sims-Bradish, Assistant City Manager 

FROM: Steve Spanos, P.E., Director of Engineering

SUBJECT: Permission to Advertise Proposal # 901-14
2014 Oncor Signature Trails Landscape Project

DATE: December 5, 2013

BACKGROUND INFORMATION:

The purpose of the 2014 Oncor Signature Trails Landscape Project is to beautify the community and demonstrate landscaping improvements for areas with high voltage power equipment. The project will take place on Oncor property which is located South of Collins Boulevard and to a point approximately 600 feet South of Somerset Place. The project will consist of landscape elements: native and non-native landscape plants, drip irrigation, soil amendments & preparation, mulch, grading and drainage improvements, landscape boulders, and concrete mow strips.

FUNDING:

Funding is provided from Oncor in the amount of \$250,000.00.

SCHEDULE:

Parks plans to begin construction for this project February 2014 and be completed by April 2014.

Cc: Michael Massey, Director of Parks and Recreation
Dan Baker, Project Manager

**NOTICE TO CONTRACTORS
CITY OF RICHARDSON**

**2014 Oncor Signature Trails Landscape Project
CSP NO. 901-14**

Sealed proposals addressed to the Purchasing Manager, of the City of Richardson, Texas, will be received at the Office of the City Purchasing Department, Suite 101, City Hall, 411 West Arapaho Road, Richardson, Texas, until **2:00 p.m. on THURSDAY, JANUARY 23, 2014**, and will be opened and read aloud in the **Capital Projects Conference Room 206**, 30 minutes later that same day, for furnishing all labor, materials, tools and equipment, and performing all work required including all appurtenances for:

The project will consist of landscape elements: native and non-native landscape plants, drip irrigation, soil amendments & preparation, mulch, grading and drainage improvements, landscape boulders, and concrete mow strips. The project will take place on Oncor property, which is located South of Collins Boulevard and to a point approximately 600 feet South of Somerset Place.

Proposals shall be accompanied by a certified or cashier's check on a state or national bank in an amount not less than five percent (5%) of the possible total of the bid submitted, payable without recourse to the City of Richardson, Texas, or an acceptable bid bond for the same amount from a reliable surety company as a guarantee that the bidder will enter into a contract and execute required Performance and Payment Bonds within ten (10) days after notice of award of contract. The notice of award of contract shall be given to the successful bidder within ninety (90) days following the opening of bids.

The successful proposer must furnish a Performance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, a material and labor Payment Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, and a Maintenance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, from a surety authorized under the laws of the State of Texas to act as a surety on bonds for principals.

The right is reserved, as the interest of the Owner may require, to reject any and all proposals, to waive any informality in the proposals received, and to select bid best suited to the Owner's best interest. The Contractor, to be successful in bidding this project, must have completed a minimum of three similar projects within the last five years.

A maximum of Sixty (60) calendar days will be allowed for construction of the project.

One set of plans, specifications and bid documents may be secured from the Office of the City Engineer, Capital Projects Department in Room 204, of the Richardson Civic Center/City Hall, 411 West Arapaho Road, Richardson, Texas, beginning at 12:00 p.m. on **Thursday, December 12, 2013** upon a NON-REFUNDABLE FEE OF Fifty Dollars (\$50.00) per set, payable to the City of Richardson, accompanied by the contractor's name, address, phone number, email address and FAX number.

A voluntary Pre-Proposal conference will be held **Thursday, January 16, 2014** at 11:00 a.m., in the **Capital Projects Conference Room 206**, Richardson Civic Center/City Hall.

By:/s/Laura Maczka, Mayor
City of Richardson
P. O. Box 830309
Richardson, Texas 75083

PROJECT SCHEDULE

2014 Oncor Signature Trails Landscape Project CSP No. 901-14

Agenda Paperwork to Advertise	Thursday, December 5, 2013
Council Authorization to Advertise	Monday, December 9, 2013
Plans/Specs Available for Contractors	Thursday, December 12, 2013
Advertise in Dallas Morning News	Wednesday, December 18, 2013
Advertise in Dallas Morning News	Wednesday, January 8, 2014
Pre Bid Meeting (11:00 am Room 206)	Thursday, January 16, 2014
Bids Received & Opened (by 2:00 open 2:30 pm Room 206)	Thursday, January 23, 2014
Agenda Paperwork to Award Contract	Friday, January 31, 2014
Council to Award Contract	Monday, February 10, 2014
Pre-Construction Meeting	~February 2014
Project Start	~February 2014
Project Completes in 60 Calendar Days	~April 2014

Project Manager: Dan Baker
Engineers Estimate: \$250,000

Funding: Oncor



**PROJECT
LOCATION**

**ONCOR SIGNATURE TRAIL
DECEMBER 2013**



**CITY OF
RICHARDSON
TEXAS**





MEMO

DATE: December 4, 2013
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager 
SUBJECT: Award of Bid #01-14 for the 2014 Neighborhood Pavement Repair Project Areas 1,2 & 3 to Estrada Concrete Company, LLC pursuant to unit prices

Proposed Date of Award: December 9, 2013

I concur with the recommendation of Jim Lockart – Assistant Director of Engineering, and request permission to issue a requirements contract for pavement repair to Estrada Concrete Company, LLC pursuant to unit prices, as outlined in Mr. Lockart's attached memorandum.

As outlined in the specifications, the term of the contract is for 180 days from the construction start date as indicated in the notice to proceed letter to the vendor; the intent is to schedule approximately \$750,000 worth of work in the designated areas outlined in the bid; the award of the contract allows the city to use the services as the requirements and needs of the city arise; and payment will be made pursuant to the unit prices bid.

Funding is provided from the 2013-2014 Street Rehabilitation fund.

The bid was advertised in *The Dallas Morning News* on October 16 & 23, 2013. The bid was posted on Bidsync.com and a total of 829 electronic solicitations were sent and 35 vendors viewed the bid. A prebid conference was held on October 24, 2013 and five bids were received.

Concur:



Kent Pfeil

Attachments

Xc: Bill Keffler
Dan Johnson
Michelle Thames
David Morgan
Cliff Miller



MEMO

TO: Dan Johnson, City Manager
THROUGH: Cliff Miller, Assistant City Manager *CM*
FROM: Jim Lockart, P.E., Assistant Director of Engineering *JHL*
SUBJECT: Award of Bid No. 01-14 for 2014 Neighborhood Pavement Repair
Project Areas 1, 2, & 3 - Estrada Concrete Co., LLC
DATE: November 27, 2013

ACTION REQUESTED:

Council to consider award of Bid No. 01-14 to Estrada Concrete Co., LLC for the 2014 Neighborhood Pavement Repair Project Areas 1, 2, & 3 pursuant to the attached unit prices.

BACKGROUND INFORMATION:

On October 31, 2013 the Capital Projects Department opened bids for the subject project. Selection of the low bidder was based on the lowest unit costs.

References and financials are not required at this time since Estrada Concrete Co., LLC is currently under contract with the city.

This project involves replacing approximately 12,300 square yards of asphalt repairs with reinforced concrete pavement in concrete streets in the area shown on the attached map.

As outlined in the specifications, it is the intent of the City to schedule approximately \$750,000 worth of work for the contractor during a contract period of 180 days. We reserve the right to decrease or increase the amount of work during the contract period, as needed, provided funding is available. The successful bidder agrees to perform all work at the unit prices outlined in their bid.

FUNDING:

Funding is provided from the 2013-2014 Street Rehabilitation.

SCHEDULE:

Capital Projects plans for this project to begin construction January 2014 and be completed by July 2014.

Cc: Brad Bernhard, P.E., Project Engineer *bb*

2014 NEIGHBORHOOD PAVEMENT REPAIR PROJECT AREAS 1, 2, 3

Bid# 01-14

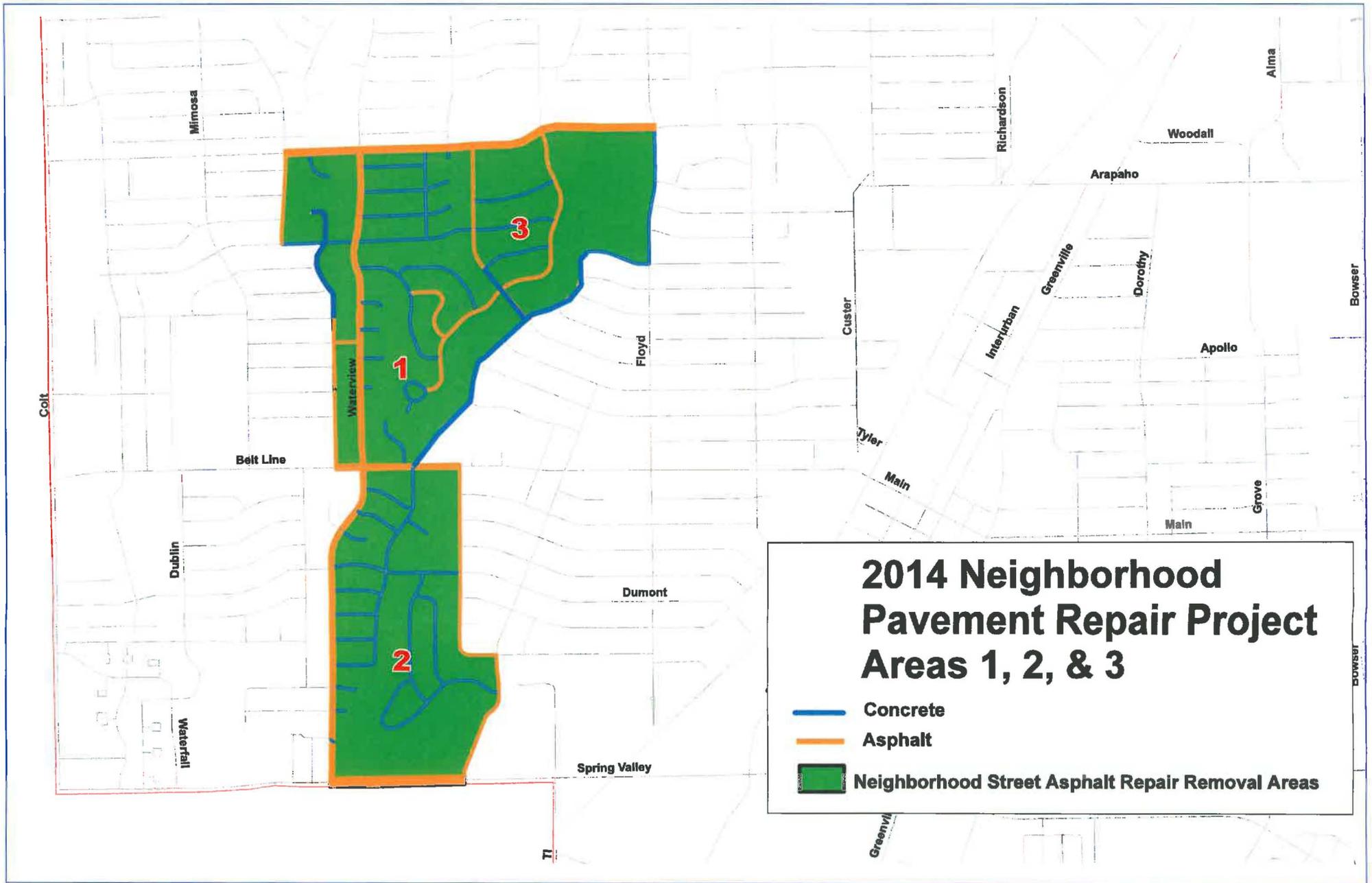
Bid Opening: Thursday, October 31, 2013 @ 2:30 PM

ITEM	DESCRIPTION	QTY.	UNIT	Estrada Concrete		Texas Standard Construction		Nash CM, Inc.		Camino Construction, LP		2CMD Inc.		AVERAGES	
				UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
1	FOR SAWING FULL DEPTH	16800	LF	\$1.00	\$16,800.00	\$4.60	\$77,280.00	\$2.50	\$42,000.00	\$3.00	\$50,400.00	\$5.91	\$99,288.00	\$3.40	\$57,153.60
2	REMOVE UP TO 3-INCH OF ASPHALT OVERLAY	1200	SY	\$9.00	\$10,800.00	\$3.25	\$3,900.00	\$6.00	\$7,200.00	\$10.00	\$12,000.00	\$17.40	\$20,880.00	\$9.13	\$10,956.00
3	REMOVE SIDEWALK	40	SY	\$6.00	\$240.00	\$3.00	\$120.00	\$4.00	\$160.00	\$2.00	\$80.00	\$22.38	\$895.20	\$7.48	\$299.04
4	REMOVE ALLEY PAVING	80	SY	\$18.00	\$1,440.00	\$21.00	\$1,680.00	\$15.00	\$1,200.00	\$15.00	\$1,200.00	\$18.65	\$1,492.00	\$17.53	\$1,402.40
5	REMOVE 6-INCH THICK STREET OR DRIVEWAY PAVING	12300	SY	\$4.50	\$55,350.00	\$18.00	\$221,400.00	\$10.00	\$123,000.00	\$12.00	\$147,600.00	\$14.92	\$183,516.00	\$11.88	\$146,173.20
6	REMOVE 8-INCH THICK STREET OR DRIVEWAY PAVING	10	SY	\$27.00	\$270.00	\$20.00	\$200.00	\$15.00	\$150.00	\$13.00	\$130.00	\$31.08	\$310.80	\$21.22	\$212.16
7	REMOVE 9-INCH THICK STREET OR DRIVEWAY PAVING	10	SY	\$27.00	\$270.00	\$21.00	\$210.00	\$15.00	\$150.00	\$15.00	\$150.00	\$31.08	\$310.80	\$21.82	\$218.16
8	REMOVE 6-INCH CURB WITH 24-INCH WIDE GUTTER	1400	LF	\$5.00	\$7,000.00	\$8.00	\$11,200.00	\$15.00	\$21,000.00	\$9.00	\$12,600.00	\$24.86	\$34,804.00	\$12.37	\$17,320.80
9	REMOVE AN EXISTING 6 FOOT WIDE INLET	1	EA	\$800.00	\$800.00	\$700.00	\$700.00	\$3,500.00	\$3,500.00	\$400.00	\$400.00	\$3,108.00	\$3,108.00	\$1,701.60	\$1,701.60
10	REMOVE AN EXISTING 8 FOOT WIDE INLET	1	EA	\$800.00	\$800.00	\$750.00	\$750.00	\$4,000.00	\$4,000.00	\$500.00	\$500.00	\$3,108.00	\$3,108.00	\$1,831.60	\$1,831.60
11	REMOVE AN EXISTING 10 FOOT WIDE INLET	1	EA	\$800.00	\$800.00	\$800.00	\$800.00	\$4,500.00	\$4,500.00	\$600.00	\$600.00	\$3,729.00	\$3,729.00	\$2,085.80	\$2,085.80
12	REMOVE AND REPLACE TOP FOR A 6 FOOT WIDE INLET	1	EA	\$1,000.00	\$1,000.00	\$1,900.00	\$1,900.00	\$2,500.00	\$2,500.00	\$2,600.00	\$2,600.00	\$6,837.00	\$6,837.00	\$2,967.40	\$2,967.40
13	REMOVE AND REPLACE TOP FOR A 8 FOOT WIDE INLET	1	EA	\$1,200.00	\$1,200.00	\$2,300.00	\$2,300.00	\$3,000.00	\$3,000.00	\$3,100.00	\$3,100.00	\$7,459.00	\$7,459.00	\$3,411.80	\$3,411.80
14	REMOVE AND REPLACE TOP FOR A 10 FOOT WIDE INLET	1	EA	\$1,500.00	\$1,500.00	\$2,600.00	\$2,600.00	\$3,800.00	\$3,800.00	\$3,400.00	\$3,400.00	\$8,080.00	\$8,080.00	\$3,876.00	\$3,876.00
15	REMOVE 6-INCH CONCRETE SIDEWALK	160	SF	\$6.00	\$960.00	\$3.40	\$544.00	\$3.00	\$480.00	\$2.00	\$320.00	\$14.92	\$2,387.20	\$5.86	\$938.24
16	CRUSHED ROCK SUBGRADE	1	TON	\$150.00	\$150.00	\$150.00	\$150.00	\$100.00	\$100.00	\$80.00	\$80.00	\$17.25	\$95.45	\$95.45	\$95.45
17	BERMUDA SOD	40	SY	\$15.00	\$600.00	\$5.50	\$220.00	\$20.00	\$800.00	\$10.00	\$400.00	\$9.95	\$398.00	\$12.09	\$483.60
18	ST. AUGUSTINE SOD	230	SY	\$15.00	\$3,450.00	\$6.00	\$1,380.00	\$15.00	\$3,450.00	\$11.00	\$2,530.00	\$9.95	\$2,288.50	\$11.39	\$2,619.70
19	FOR FOUR INCH (4") TOP SOIL	10	SY	\$60.00	\$600.00	\$10.00	\$100.00	\$35.00	\$350.00	\$5.00	\$50.00	\$62.16	\$621.60	\$34.43	\$344.32
20	CONSTRUCT AN EXPANSION JOINT USING A DOWEL BASKET	520	LF	\$10.00	\$5,200.00	\$32.00	\$16,640.00	\$12.00	\$6,240.00	\$10.00	\$5,200.00	\$18.85	\$9,898.00	\$16.53	\$8,595.60
21	CONSTRUCT 4-INCH THICK CONC SIDEWALK	720	SF	\$4.00	\$2,880.00	\$5.50	\$3,960.00	\$5.00	\$3,600.00	\$6.00	\$4,320.00	\$5.91	\$4,255.20	\$5.28	\$3,803.04
22	CONSTRUCT CONCRETE ALLEY	80	SY	\$54.00	\$4,320.00	\$65.00	\$5,200.00	\$120.00	\$9,600.00	\$55.00	\$4,400.00	\$61.50	\$4,920.00	\$71.10	\$5,688.00
23	CONSTRUCT 6-INCH CONCRETE STREET OR DRIVEWAY	12300	SY	\$45.00	\$553,500.00	\$49.00	\$602,700.00	\$40.00	\$492,000.00	\$48.00	\$585,600.00	\$61.50	\$756,450.00	\$48.30	\$594,090.00
24	CONSTRUCT 6-INCH CLASS "K" CONCRETE STREET OR DRIVEWAY	10	SY	\$120.00	\$1,200.00	\$95.00	\$950.00	\$70.00	\$700.00	\$77.00	\$770.00	\$136.75	\$1,367.50	\$99.75	\$997.50
25	CONSTRUCT 8-INCH CONCRETE STREET OR DRIVEWAY	10	SY	\$63.00	\$630.00	\$59.00	\$590.00	\$70.00	\$700.00	\$52.00	\$520.00	\$150.00	\$1,500.00	\$78.80	\$788.00
26	CONSTRUCT 8-INCH CLASS "K" CONCRETE STREET OR DRIVEWAY	10	SY	\$130.00	\$1,300.00	\$105.00	\$1,050.00	\$70.00	\$700.00	\$92.00	\$920.00	\$161.62	\$1,616.20	\$111.72	\$1,117.24
27	CONSTRUCT 9-INCH CLASS "C" CONCRETE STREET OR DRIVEWAY	10	SY	\$72.00	\$720.00	\$65.00	\$650.00	\$70.00	\$700.00	\$57.00	\$570.00	\$174.05	\$1,740.50	\$87.61	\$876.10
28	CONSTRUCT 9-INCH CLASS "K" CONCRETE STREET OR DRIVEWAY	10	SY	\$140.00	\$1,400.00	\$115.00	\$1,150.00	\$70.00	\$700.00	\$101.00	\$1,010.00	\$174.05	\$1,740.50	\$120.01	\$1,200.10
29	CONSTRUCT 6-INCH CONCRETE CURB WITH 24-INCH WIDE GUTTER	1400	LF	\$20.00	\$28,000.00	\$29.00	\$40,600.00	\$22.00	\$30,800.00	\$37.00	\$51,800.00	\$31.08	\$43,512.00	\$27.82	\$38,942.40
30	CONSTRUCT MOUNTABLE CONCRETE CURB WITH 24-INCH WIDE GUTTER	100	LF	\$25.00	\$2,500.00	\$32.00	\$3,200.00	\$25.00	\$2,500.00	\$38.00	\$3,800.00	\$43.50	\$4,350.00	\$32.70	\$3,270.00
31	CONSTRUCT 6-INCH INTEGRAL CURB ON STREET, ALLEY, SIDEWALK, OR CHANNEL PAVING SECTION	100	LF	\$40.00	\$4,000.00	\$4.00	\$400.00	\$15.00	\$1,500.00	\$5.00	\$500.00	\$62.16	\$6,216.00	\$25.23	\$2,523.20
32	ROUTING, CLEANING, AND SEALING EXISTING CRACKS	100	LF	\$10.00	\$1,000.00	\$10.00	\$1,000.00	\$9.00	\$900.00	\$4.00	\$400.00	\$31.08	\$3,108.00	\$12.82	\$1,281.60
33	FOR INSTALLING A CLASS "C" REINFORCED CONCRETE BARRIER-FREE RAMP TYPE "A"	1	EA	\$1,250.00	\$1,250.00	\$1,500.00	\$1,500.00	\$1,200.00	\$1,200.00	\$1,800.00	\$1,800.00	\$1,243.00	\$1,243.00	\$1,396.60	\$1,396.60
34	FOR INSTALLING A CLASS "C" REINFORCED CONCRETE BARRIER-FREE RAMP TYPE "B"	1	EA	\$1,250.00	\$1,250.00	\$1,700.00	\$1,700.00	\$1,200.00	\$1,200.00	\$1,600.00	\$1,600.00	\$1,367.50	\$1,367.50	\$1,423.50	\$1,423.50
35	FOR INSTALLING A CLASS "C" REINFORCED CONCRETE BARRIER-FREE RAMP TYPE "C"	1	EA	\$1,250.00	\$1,250.00	\$2,000.00	\$2,000.00	\$1,200.00	\$1,200.00	\$1,800.00	\$1,800.00	\$1,492.00	\$1,492.00	\$1,548.40	\$1,548.40
36	FOR INSTALLING A CLASS "C" REINFORCED CONCRETE BARRIER-FREE RAMP TYPE "D"	1	EA	\$1,250.00	\$1,250.00	\$2,100.00	\$2,100.00	\$1,500.00	\$1,500.00	\$1,400.00	\$1,400.00	\$1,616.00	\$1,616.00	\$1,573.20	\$1,573.20

ITEM	DESCRIPTION	QTY.	UNIT	Estrada Concrete		Texas Standard Construction		Nash CM, Inc.		Camino Construction, LP		2CMD Inc.		AVERAGES	
				UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL
37	FOR INSTALLING A CLASS "C" REINFORCED CONCRETE BARRIER-FREE RAMP TYPE "E"	1	EA	\$1,250.00	\$1,250.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,100.00	\$1,100.00	\$1,740.48	\$1,740.48	\$1,418.10	\$1,418.10
38	FOR INSTALLING A CLASS "C" REINFORCED CONCRETE BARRIER-FREE RAMP TYPE "F"	1	EA	\$1,250.00	\$1,250.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,100.00	\$1,100.00	\$1,864.80	\$1,864.80	\$1,442.96	\$1,442.96
39	FOR INSTALLING A 10-WIDE CLASS "C" REINFORCED CONCRETE BARRIER-FREE RAMP TYPE "E"	1	EA	\$1,250.00	\$1,250.00	\$2,200.00	\$2,200.00	\$1,800.00	\$1,800.00	\$1,200.00	\$1,200.00	\$1,864.80	\$1,864.80	\$1,662.96	\$1,662.96
40	CONSTRUCT 4-INCH EXPOSED AGGREGATE CONCRETE SIDEWALK	100	SF	\$12.00	\$1,200.00	\$10.00	\$1,000.00	\$20.00	\$2,000.00	\$10.00	\$1,000.00	\$15.54	\$1,554.00	\$13.51	\$1,350.80
41	CONSTRUCT 6-INCH EXPOSED AGGREGATE CONC DRIVEWAY	10	SY	\$54.00	\$540.00	\$18.00	\$180.00	\$80.00	\$800.00	\$108.00	\$1,080.00	\$167.83	\$1,678.30	\$81.57	\$815.66
42	INSTALL CONCRETE STAIN TO THE CONCRETE SURFACE	40	SY	\$63.00	\$2,520.00	\$58.00	\$2,320.00	\$60.00	\$2,400.00	\$100.00	\$4,000.00	\$31.08	\$1,243.20	\$62.42	\$2,496.64
43	CONSTRUCT 6-INCH CONC SIDEWALK	100	SF	\$8.00	\$800.00	\$7.25	\$725.00	\$60.00	\$6,000.00	\$7.00	\$700.00	\$6.84	\$684.00	\$17.42	\$1,741.80
44	CONSTRUCT 6-FOOT CLASS "A" REINFORCED CONC. STANDARD CURB INLET	1	EA	\$2,000.00	\$2,000.00	\$2,600.00	\$2,600.00	\$60.00	\$60.00	\$3,800.00	\$3,800.00	\$8,837.60	\$8,837.60	\$3,059.52	\$3,059.52
45	CONSTRUCT 8-FOOT CLASS "A" REINFORCED CONC. STANDARD CURB INLET	1	EA	\$2,400.00	\$2,400.00	\$3,100.00	\$3,100.00	\$6,000.00	\$6,000.00	\$4,700.00	\$4,700.00	\$7,459.00	\$7,459.00	\$4,731.80	\$4,731.80
46	CONSTRUCT 10-FOOT CLASS "A" REINFORCED CONC. STANDARD CURB INLET	1	EA	\$3,000.00	\$3,000.00	\$3,500.00	\$3,500.00	\$6,000.00	\$6,000.00	\$5,300.00	\$5,300.00	\$10,567.00	\$10,567.00	\$5,673.40	\$5,673.40
47	CONSTRUCT 6-FOOT CLASS "A" REINFORCED CONC. RECESSED CURB INLET	1	EA	\$2,000.00	\$2,000.00	\$2,900.00	\$2,900.00	\$4,500.00	\$4,500.00	\$3,900.00	\$3,900.00	\$6,837.00	\$6,837.00	\$4,027.40	\$4,027.40
48	CONSTRUCT 8-FOOT CLASS "A" REINFORCED CONC. RECESSED CURB INLET	1	EA	\$2,400.00	\$2,400.00	\$3,500.00	\$3,500.00	\$5,000.00	\$5,000.00	\$4,700.00	\$4,700.00	\$7,459.00	\$7,459.00	\$4,611.80	\$4,611.80
49	CONSTRUCT 10-FOOT CLASS "A" REINFORCED CONC. RECESSED CURB INLET	1	EA	\$3,000.00	\$3,000.00	\$3,900.00	\$3,900.00	\$6,000.00	\$6,000.00	\$5,400.00	\$5,400.00	\$10,567.00	\$10,567.00	\$5,773.40	\$5,773.40
50	REMOVE 15" RCP	20	LF	\$30.00	\$600.00	\$28.00	\$560.00	\$80.00	\$1,200.00	\$8.00	\$160.00	\$62.15	\$1,243.00	\$37.63	\$752.60
51	REMOVE 18" RCP	20	LF	\$40.00	\$800.00	\$29.00	\$580.00	\$80.00	\$1,200.00	\$10.00	\$200.00	\$68.40	\$1,368.00	\$41.48	\$829.60
52	REMOVE 24" RCP	20	LF	\$50.00	\$1,000.00	\$32.00	\$640.00	\$60.00	\$1,200.00	\$12.00	\$240.00	\$74.60	\$1,492.00	\$45.72	\$914.40
53	INSTALL 15" RCP	20	LF	\$70.00	\$1,400.00	\$65.00	\$1,300.00	\$250.00	\$5,000.00	\$55.00	\$1,100.00	\$93.24	\$1,864.80	\$106.65	\$2,132.96
54	INSTALL 18" RCP	20	LF	\$80.00	\$1,600.00	\$70.00	\$1,400.00	\$250.00	\$5,000.00	\$58.00	\$1,160.00	\$99.50	\$1,990.00	\$111.50	\$2,230.00
55	INSTALL 24" RCP	20	LF	\$90.00	\$1,800.00	\$80.00	\$1,600.00	\$450.00	\$9,000.00	\$69.00	\$1,380.00	\$105.70	\$2,114.00	\$158.94	\$3,178.80
56	REPLACE HOUSE ADDRESS ON NEW CURB	14	EA	\$50.00	\$700.00	\$50.00	\$700.00	\$55.00	\$770.00	\$50.00	\$700.00	\$124.30	\$1,740.20	\$65.86	\$922.04
57	ADJUST EXISTING WATER METER BOXES	10	EA	\$200.00	\$2,000.00	\$200.00	\$2,000.00	\$750.00	\$7,500.00	\$110.00	\$1,100.00	\$932.40	\$9,324.00	\$438.48	\$4,384.80
58	IMPLEMENT TRAFFIC CONTROL	6	MO	\$1,000.00	\$6,000.00	\$15,000.00	\$90,000.00	\$3,000.00	\$18,000.00	\$7,000.00	\$42,000.00	\$12,432.00	\$74,592.00	\$7,686.40	\$46,118.40
59	INSTALL AND MAINTAIN CONSTRUCTION SIGNS	4	EA	\$600.00	\$2,400.00	\$450.00	\$1,800.00	\$500.00	\$2,000.00	\$1,000.00	\$4,000.00	621.6	\$2,486.40	\$634.32	\$2,537.28
TOTAL AMOUNT BID					\$757,390.00		\$1,142,329.00		\$871,310.00		\$974,750.00		\$1,384,293.33		\$1,026,014.47
CONTRACTORS BID				SAME		SAME		SAME		SAME		SAME			

Engineer's Estimate: \$750,000

Certified By: 
 Jim Lockart, P.E., Assistant Director of Engineering





MEMO

DATE: December 3, 2013
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager *Pam*
SUBJECT: Award of Bid #23-14 for a sole source procurement of a Portable Siren and Public Address Trailer to Gifford Electric, Inc. in the amount of \$55,500

Proposed Date of Award: December 9, 2013

I concur with the recommendation of Mistie Gardner – Emergency Management Coordinator and request permission to issue a purchase order to Gifford Electric, Inc. for a portable siren and public address trailer in the amount of \$55,500, as per the attached memo.

Gifford Electric, Inc. is the sole supplier and authorized service representative of American Signal Corporation sirens in the State of Texas. The City of Richardson's existing Outdoor Warning System is an American Signal Corporation system and any components of the system must be American Signal products in order to be compatible with our existing system. Captive replacement parts or components for existing equipment qualifies this as a sole source procurement exempt from competitive bidding as allowed by Texas Local Government Code Chapter 252.022 (a)(7)(D).

Funding is available in account 234-0245-581-7401, Project EM1401 for this expenditure.

Concur:


Kent Pfeil

ATTACHMENTS

XC: Dan Johnson
David Morgan
Cliff Miller
Don Wagner
Shanna Sims-Bradish



MEMO

DATE: December 3, 2013
TO: Pam Kirkland, Purchasing Manager
FROM: Mistie Gardner, Emergency Management Coordinator
SUBJECT: Capital Equipment Purchase, Siren Trailer from Sole Source American Signal contractor

We have been approved to purchase a portable siren and PA trailer as a Capital Equipment expenditure via project EM1401 in the FY2013-2014 budget. While another distributor could provide the trailer from somewhere in the United States, the only authorized distributor for the State of Texas is Gifford Electric.

In order for this trailer to work as an integrated, additional siren to our existing Outdoor Warning System, we request approval for Gifford Electric to provide and install the siren as Gifford Electric is the only authorized service provider for the State of Texas to configure the interface and add the additional capability to the City's current system.

Therefore, since the trailer is being added an additional siren to our existing system and we already have a maintenance contract with Gifford Electric as the sole source service contractor and distributor for American Signal Corporation product/services for the State of Texas, we request approval to purchase the trailer from Gifford Electric as a Sole Source purchase.

Attachment: Sole Source letter from American Signal Corporation
Letter from Gifford Electric

CC: Don Magner, Assistant City Manager

GIFFORD ELECTRIC INC

P.O. Box 7441
Fort Worth, Texas 76111
817/834-6308 Fax 817/831-8245
TECL19365



To whom it may concern,

Gifford Electric Inc. is not part of any "buy boards". We are the sole supplier of the American Signal Corporation siren system the trailer will be compatible with for activation and service.

The trailer I bid to supply is manufactured by American Signal Corp. for the purpose of being used with the City Of Richardson's early warning system.

Other people may make a trailer mounted but it will not be compatible with the emergency notification system you have now in case of a public warning event.

A handwritten signature in black ink, appearing to read "D. W. Babcock".

David W. Babcock
President
David@giffordtx.com
cell 817-271-6452
office 817-834-6308



**AMERICAN
SIGNAL CORPORATION**

4801 W. Woolworth Avenue, Milwaukee, WI 53218
(800) 243-2911 (414) 358-8000 FAX (414) 358-8008

www.americansignal.com

Gifford Electric Company
Fort Worth, TX

Attn.; Mr. Gene Gifford

Dear Mr. Gifford,

This letter is to confirm for your client in Texas that Gifford Electric Company is the sole distributor of American Signal Corporation community warning products in the State of Texas.

We certainly appreciate the relationship we have had over the last 26 years and having Gifford Electric Company represent our warning system products. We also look forward to supporting you in the state of Texas.

Thank you and Good Luck. Please let me know if there is any other support that we may provide.

Sincerely,
AMERICAN SIGNAL CORPORATION

Dale A. Moeller
President/CEO



Warning The World Since 1942

November 18, 2008

Gifford Electric Company
Fort Worth, TX

Attn.; Mr. Gene Gifford

Dear Mr. Gifford,

This letter is to confirm for your client in Texas that Gifford Electric Company is an authorized sales service representative of American Signal Corporation community warning products in the State of Texas.

We certainly appreciate the relationship we have had over the last 24 years and having Gifford Electric Company represent our warning system products. We also look forward to supporting you in the state of Texas.

Thank you and Good Luck. Please let me know if there is any other support that we may provide.

Sincerely,

AMERICAN SIGNAL CORPORATION

Dale A. Moeller

Dale A. Moeller
President/CEO



Proposal

GIFFORD ELECTRIC

P.O. Box 7441
 Fort Worth, Texas 76111
 817/834-6308 Fax 817/831-8245
 David@giffordtx.com

TECL19365

Proposal Submitted To City of Richardson Street		Phone	Date 3/13/2012
City State Zip Code		Job Name	
Estimator		E-Mail	
		Job Location	

We hereby submit specifications and estimate for:

Item #	Spec	QTY	DESCRIPTION	UNIT	Total Price
1	1	1	E-class siren trailer.	\$ 55,500.00	\$ 55,500.00
2					
3			This is a complete turn key unit.		
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					
16			Not Included; Tax		
17			Permit fee		
18			Bonds		
19					
20					
21					
22					
23					

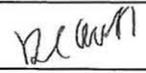
We Propose hereby to furnish material and labor—complete in accordance with above specifications, for the sum of:

Dollars (\$) \$ 55,500.00

Payment to be made as follows: upon receipt

Regulated by The Texas Department of Licensing and Regulation, P. O. Box 12157, Austin, Texas 78711

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications invoking extra cost will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized
Signature

David W. Babcock
 Vice President

Note: This proposal may be withdrawn by us
 if not accepted within thirty days

Acceptance of Proposal - The above prices, specifications
 and conditions are satisfactory and are hereby accepted. You are authorized
 to do the work as specified. Payment will be made as outlined above.

Date of Acceptance _____

Signature _____

Signature _____



MEMO

DATE: December 4, 2013
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager 
SUBJECT: Award of Bid #64-13 for the 2010 Neighborhood Vitality Entry Features to Ratliff Hardscape in the amount of \$392,758.40

Proposed Date of Award: December 9, 2013

I concur with the recommendation of Jim Lockart – Assistant Director of Engineering, and request permission to award a contract to the lowest responsible bidder, Ratliff Hardscape for the above referenced construction in the amount of \$392,758.40, as outlined in the attached memo.

Funding is provided from the Neighborhood Vitality G.O. Bond.

The bid was advertised in *The Dallas Morning News* on August 28, 2013 & September 4, 2013. The bid was posted on Bidsync.com and a total of 3,296 electronic solicitations were sent and 50 vendors viewed the bid. A prebid conference was held on September 5, 2013 and two bids were received.

Concur:


Kent Pfeil

Attachments

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Dan Johnson, City Manager
THROUGH: Cliff Miller, Assistant City Manager
FROM: Jim Lockart, P.E., Assistant Director of Engineering 
SUBJECT: Award of Bid No. 64-13 for 2010 Neighborhood Vitality Entry Features - Ratliff Hardscape
DATE: December 2, 2013

ACTION REQUESTED:

Council to consider award of Bid No. 64-13 to Ratliff Hardscape for the 2010 Neighborhood Vitality Entry Features in the amount of \$392,758.40.

BACKGROUND INFORMATION:

On September 12, 2013 the Capital Projects Department opened bids for the subject project. The attached bid tabulation certifies the lowest base bid was submitted by Nash CM, Inc., in the amount of \$261,536.35. After reviewing the financial statement and similar project references provided by Nash on a previous project staff has determined this contractor is not qualified for this project.

Staff recommends award to the second lowest bidder, Ratliff Hardscape, in the amount of \$392,758.40. The bids received for this project are higher than the cost estimate prior to bidding. Ratliff Hardscape provided options to reduce the project cost that do not change the design or aesthetics of the project. The proposed changes are based on updated material costs, and a change in construction methods at the College Park location. Staff recommends the award of the base bid and approval of a change order to reduce the contingency and reflect the changes proposed by Ratliff Hardscape.

This project includes construction of entry features at pre-selected locations for six different Homeowners Associations. Proposed improvements include landscaping, freestanding masonry signs, screening wall sign enhancements and irrigation.

Ratliff Hardscape recently completed a similar neighborhood vitality project for the city. References and financial statements were reviewed prior to award of the previous project and were determined to be satisfactory.

FUNDING:

Funding is provided from Neighborhood Vitality G.O. Bonds.

SCHEDULE:

Capital Projects plans for this project to begin construction January 2014 and be completed by May 2014.

Cc: Brad Bernhard, P.E., Project Engineer

2010 HOA ENTRANCES - NEIGHBORHOOD VITALITY PROGRAM
The Pinery, Canyon Creek Ridge, Estates of Prairie Creek, Woodhaven, Town North Park, College Park
BID # 64-13

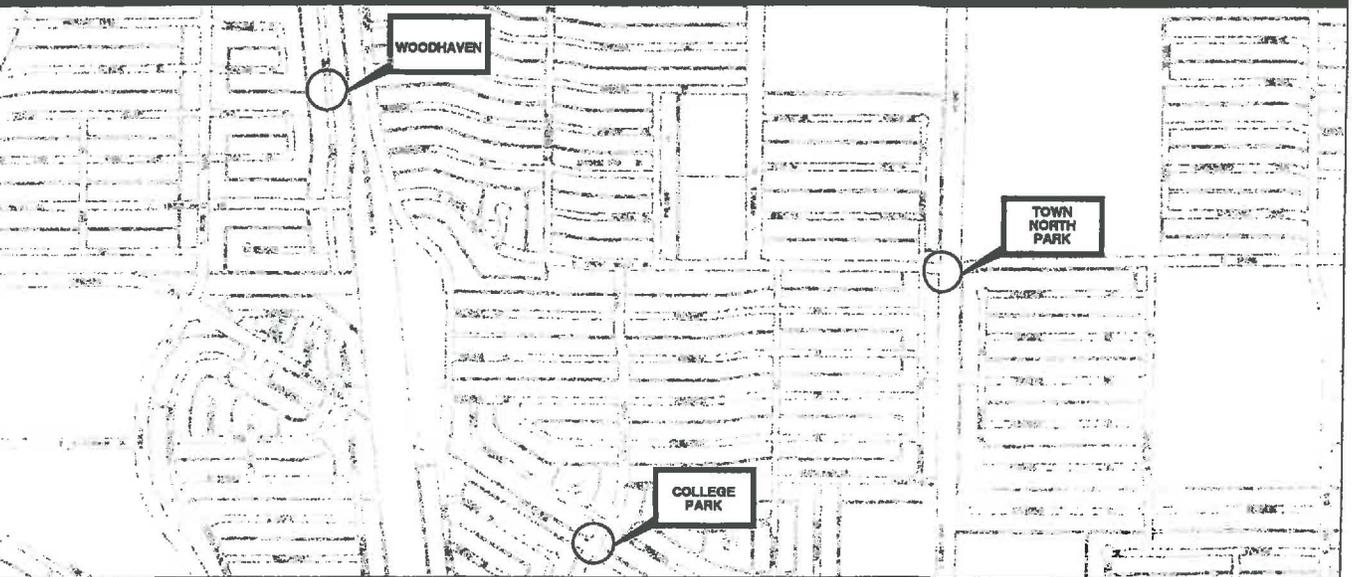
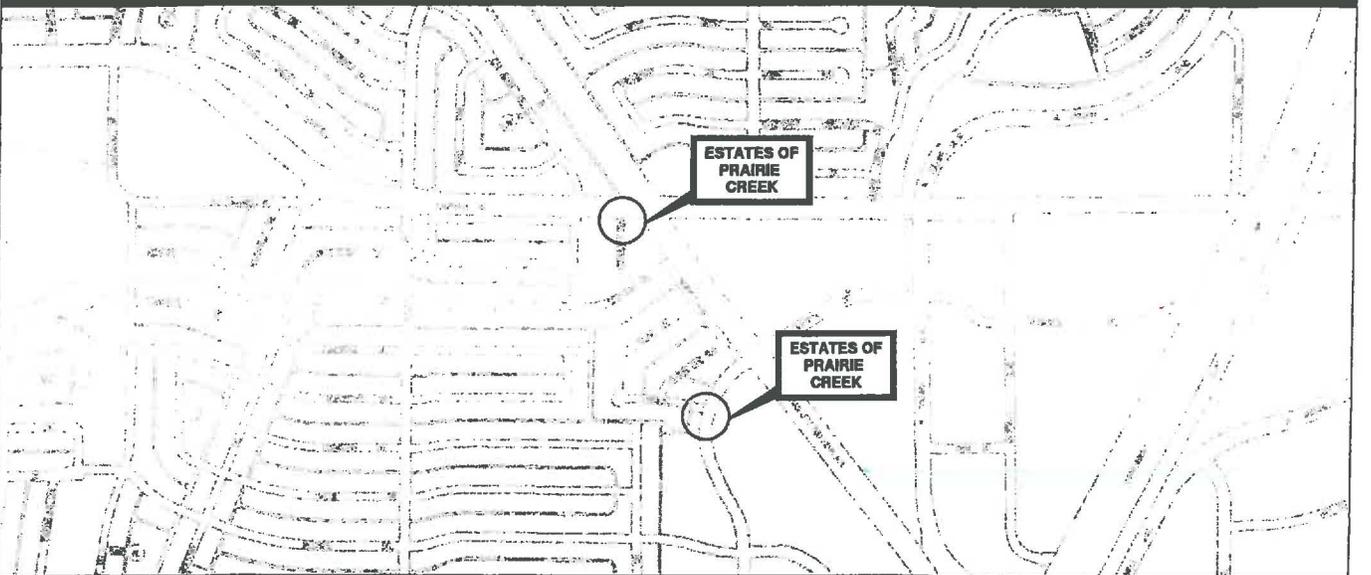
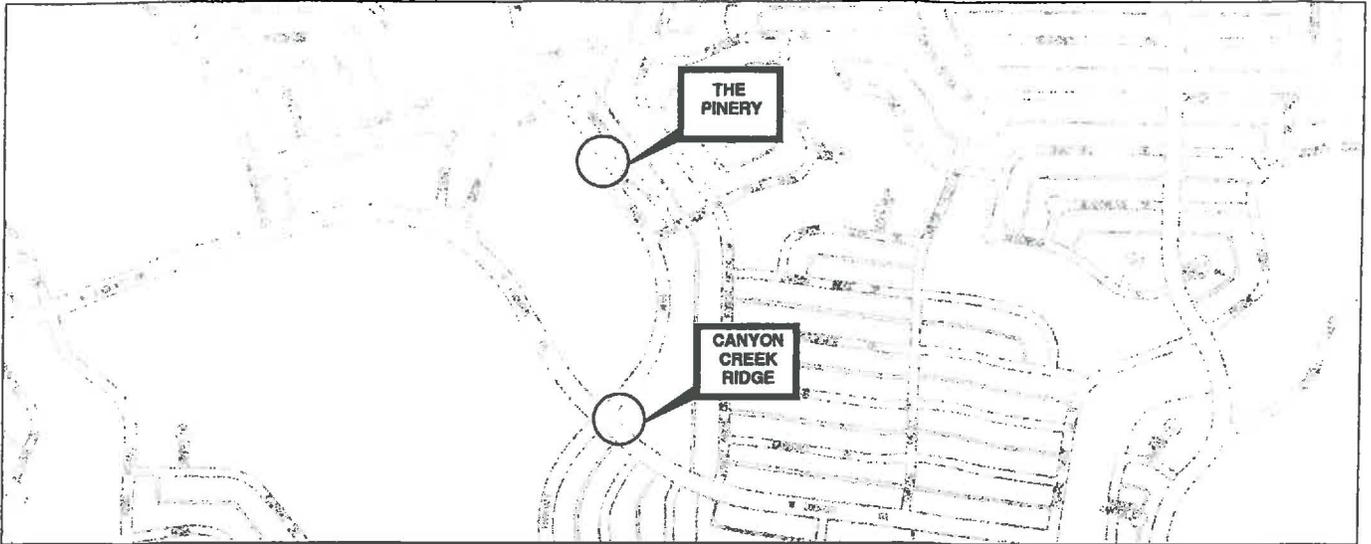
Bid Opening: September 12, 2013

ITEM NO.	DESCRIPTION	EST QTY	UNIT	NASH CM, INC.		RATLIFF HARDSCAPE		ENGINEER'S ESTIMATE		AVERAGE	
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
1	MOBILIZATION	1	LS	\$15,000.00	\$15,000.00	\$37,500.00	\$37,500.00	\$12,000.00	\$12,000.00	\$26,250.00	\$26,250.00
2	UNCLASSIFIED EXCAVATION	119	CY	\$30.00	\$3,570.00	\$67.50	\$8,032.50	\$25.00	\$2,975.00	\$48.75	\$5,801.25
3	FULL DEPTH SAWCUT	18	LF	\$4.00	\$72.00	\$150.00	\$2,700.00	\$2.00	\$36.00	\$77.00	\$1,386.00
4	REMOVE & DISPOSE EX. STONE WALL & 24" CONCRETE FOOTING	48	LF	\$15.00	\$720.00	\$150.00	\$7,200.00	\$20.00	\$960.00	\$82.50	\$3,960.00
5	REMOVE & DISPOSE EX. CONC. SIDEWALK/RIPRAP	568	SF	\$4.00	\$2,272.00	\$3.75	\$2,130.00	\$2.50	\$1,420.00	\$3.88	\$2,201.00
6	REMOVE & DISPOSE EX. CONC. EDGE	4	SF	\$10.00	\$40.00	\$150.00	\$600.00	\$2.50	\$10.00	\$80.00	\$320.00
7	REMOVE & DISPOSE EX. BRICK PLANTER	36	LF	\$10.00	\$360.00	\$150.00	\$5,400.00	\$20.00	\$720.00	\$80.00	\$2,880.00
8	REMOVE & DISPOSE EX. CONCRETE FOUNDATION/MOWSTRIP	7	LF	\$10.00	\$70.00	\$150.00	\$1,050.00	\$100.00	\$700.00	\$80.00	\$560.00
9	REMOVE STEEL EDGING	109	LF	\$15.00	\$1,635.00	\$7.50	\$817.50	\$2.00	\$218.00	\$11.25	\$1,226.25
10	TRANSPLANT EX. TREE	7	EA	\$300.00	\$2,100.00	\$2,250.00	\$15,750.00	\$750.00	\$5,250.00	\$1,275.00	\$8,925.00
11	CONCRETE FOOTING	12.1	CY	\$300.00	\$3,630.00	\$1,275.00	\$15,427.50	\$600.00	\$7,260.00	\$787.50	\$9,528.75
12	CONCRETE DRILL SHAFT (18")	40	LF	\$180.00	\$7,200.00	\$150.00	\$6,000.00	\$40.00	\$1,600.00	\$165.00	\$6,600.00
13	CONCRETE DRILL SHAFT (12")	20	LF	\$200.00	\$4,000.00	\$150.00	\$3,000.00	\$40.00	\$800.00	\$175.00	\$3,500.00
14	STONE MASONRY SIGN WALL (3'-3"H) W/ CAST STONE CAP	10	LF	\$80.00	\$800.00	\$720.38	\$7,203.80	\$350.00	\$3,500.00	\$400.19	\$4,001.90
15	STONE MASONRY SIGN WALL (4'-6 1/2"H) W/ STONE CAP	13.5	LF	\$65.00	\$877.50	\$495.00	\$6,682.50	\$300.00	\$4,050.00	\$280.00	\$3,780.00
16	STONE MASONRY SIGN WALL (2'-7"H) W. STONE CAP	11.67	LF	\$55.00	\$641.85	\$229.50	\$2,678.27	\$250.00	\$2,917.50	\$142.25	\$1,660.06
17	STONE MASONRY SIGN WALL (1'-3 1/2"H) W/ STONE CAP	41.5	LF	\$60.00	\$2,490.00	\$123.00	\$5,104.50	\$200.00	\$8,300.00	\$91.50	\$3,797.25
18	BRICK MONUMENT SIGN WALL (2'-3"H) W/ CAST STONE CAP	9.5	LF	\$60.00	\$570.00	\$618.38	\$5,874.61	\$200.00	\$1,900.00	\$339.19	\$3,222.31
19	BRICK MONUMENT SIGN WALL (3'-8"H) W/ CAST STONE CAP	12	LF	\$400.00	\$4,800.00	\$498.00	\$5,976.00	\$250.00	\$3,000.00	\$449.00	\$5,388.00
20	BRICK COLUMN (4'-1 1/2" X 2" X 2") W/ CAST STONE CAP	2	EA	\$1,500.00	\$3,000.00	\$930.00	\$1,860.00	\$1,400.00	\$2,800.00	\$1,215.00	\$2,430.00
21	BRICK COLUMN (6" X 4" X 2") W/ CAST STONE LEDGE & CAP	1	EA	\$750.00	\$750.00	\$4,728.00	\$4,728.00	\$3,000.00	\$3,000.00	\$2,739.00	\$2,739.00
22	BRICK WALL (2'-3"H X 1'-4" W) W/ CAST STONE CAP	27	LF	\$75.00	\$2,025.00	\$336.00	\$9,072.00	\$180.00	\$4,860.00	\$205.50	\$5,548.50
23	STONE CLAD WALL (6"H) W/ CAST STONE COPING	178	FSF	\$80.00	\$14,240.00	\$97.50	\$17,355.00	\$20.00	\$3,560.00	\$38.75	\$15,797.50
24	STONE CLAD WALL (2"H) W/ CAST STONE COPING	203	FSF	\$40.00	\$8,120.00	\$67.50	\$13,702.50	\$20.00	\$4,060.00	\$53.75	\$10,911.25
25	STONE CLAD COLUMN (6'-7" X 3'-4" L) W/ CAST STONE CAP	2	EA	\$200.00	\$400.00	\$6,292.50	\$12,585.00	\$3,000.00	\$6,000.00	\$3,246.25	\$6,492.50
26	STONE EDGE ON CONCRETE	64	LF	\$75.00	\$4,800.00	\$60.00	\$3,840.00	\$32.00	\$2,048.00	\$67.50	\$4,320.00
27	REMOVE, SALVAGE & REPLACE BRICK	1	LS	\$4,000.00	\$4,000.00	\$1,500.00	\$1,500.00	\$1,300.00	\$1,300.00	\$2,750.00	\$2,750.00
28	CAST STONE CAP/COPING (12" WIDE)	12	LF	\$260.00	\$3,120.00	\$78.00	\$936.00	\$80.00	\$960.00	\$169.00	\$2,028.00
29	CAST STONE SIGN PANEL (2' X 9 3/4")	1	EA	\$1,500.00	\$1,500.00	\$4,500.00	\$4,500.00	\$2,300.00	\$2,300.00	\$3,000.00	\$3,000.00
30	CAST STONE SIGN PANEL (1'-6" X 1'-9")	1	EA	\$1,700.00	\$1,700.00	\$5,250.00	\$5,250.00	\$2,300.00	\$2,300.00	\$3,475.00	\$3,475.00
31	CAST STONE SIGN PANEL (2' X 9")	1	EA	\$1,650.00	\$1,650.00	\$4,200.00	\$4,200.00	\$2,300.00	\$2,300.00	\$2,925.00	\$2,925.00
32	CAST STONE SIGN PANEL (1'-6" X 7'-6")	1	EA	\$1,450.00	\$1,450.00	\$3,750.00	\$3,750.00	\$2,000.00	\$2,000.00	\$2,600.00	\$2,600.00
33	CAST STONE SIGN PANEL (1'-6" X 10")	1	EA	\$1,450.00	\$1,450.00	\$4,500.00	\$4,500.00	\$2,200.00	\$2,200.00	\$2,975.00	\$2,975.00
34	CAST STONE SIGN PANEL (1'-6" X 13'-4")	1	EA	\$1,850.00	\$1,850.00	\$6,000.00	\$6,000.00	\$2,300.00	\$2,300.00	\$3,925.00	\$3,925.00
35	CAST STONE SIGN PANEL (1'-5 1/2" X 6'-11 1/2")	2	EA	\$650.00	\$1,300.00	\$3,750.00	\$7,500.00	\$2,000.00	\$4,000.00	\$2,200.00	\$4,400.00
36	CAST STONE LEDGE @ SIGN PANEL	16	LF	\$85.00	\$1,360.00	\$78.00	\$1,248.00	\$20.00	\$320.00	\$81.50	\$1,304.00
37	CONCRETE EDGE (1" X 6"H)	195	LF	\$50.00	\$9,750.00	\$8.25	\$1,608.75	\$15.00	\$2,925.00	\$29.13	\$5,679.38
38	CONCRETE EDGE (6" W X 6"H)	30	LF	\$50.00	\$1,500.00	\$8.25	\$247.50	\$10.00	\$300.00	\$29.13	\$873.75
39	CONCRETE SIDEWALK	515	SF	\$6.00	\$3,090.00	\$5.25	\$2,707.75	\$5.00	\$2,575.00	\$5.63	\$2,896.88
40	BRICK EDGE R. LISED PLANTER EDGE ON CONCRETE BASE (HT VARIES)	23	LF	\$250.00	\$5,750.00	\$225.00	\$5,175.00	\$40.00	\$920.00	\$237.50	\$5,462.50
41	ADJUST WATER METER BOX TO GRADE	5	EA	\$350.00	\$1,750.00	\$150.00	\$750.00	\$100.00	\$500.00	\$250.00	\$1,250.00
42	TRIM TREES	2	EA	\$300.00	\$600.00	\$162.50	\$325.00	\$250.00	\$500.00	\$231.25	\$462.50
43	BED PREPARATION AND TOPSOIL	3000	SF	\$3.00	\$9,000.00	\$1.89	\$5,670.00	\$3.00	\$9,000.00	\$2.45	\$7,335.00
44	BLOCK SODDING	62	SY	\$6.00	\$372.00	\$10.51	\$651.62	\$10.00	\$620.00	\$8.26	\$511.81
45	SILVER DRAGON LIRIOPE (1 GAL)	656	EA	\$20.00	\$13,120.00	\$6.50	\$4,264.00	\$9.00	\$5,904.00	\$13.25	\$8,692.00
46	ASIAN JASMINE (1 GAL)	371	EA	\$20.00	\$7,420.00	\$9.10	\$3,376.10	\$9.00	\$3,339.00	\$14.55	\$5,398.05
47	DWARF FOUNTAIN GRASS (5 GAL)	15	EA	\$55.00	\$825.00	\$58.50	\$877.50	\$30.00	\$450.00	\$56.75	\$851.25
48	DWARF YAUPON HOLLY (5 GAL)	7	EA	\$48.00	\$336.00	\$54.60	\$382.20	\$30.00	\$210.00	\$51.30	\$359.10
49	JAPANESE BARBERRY (5 GAL)	42	EA	\$35.00	\$1,470.00	\$36.40	\$1,528.80	\$30.00	\$1,260.00	\$35.70	\$1,499.40
50	KNOCKOUT ROSE (5 GAL)	5	EA	\$38.00	\$190.00	\$42.90	\$214.50	\$30.00	\$150.00	\$40.45	\$202.25
51	NELLIE R. STEVENS HOLLY (15 GAL)	10	EA	\$130.00	\$1,300.00	\$140.40	\$1,404.00	\$275.00	\$2,750.00	\$135.20	\$1,352.00
52	INDIAN HAWTHORNE (7 GAL)	16	EA	\$55.00	\$880.00	\$65.00	\$1,040.00	\$150.00	\$2,400.00	\$60.00	\$960.00
53	MOSS BOULDER	12	EA	\$185.00	\$2,220.00	\$240.50	\$2,886.00	\$200.00	\$2,400.00	\$212.75	\$2,553.00
54	IRRI. DESIGN & INSTALL -THE PINERY	1	LS	\$5,000.00	\$5,000.00	\$5,200.00	\$5,200.00	\$3,000.00	\$3,000.00	\$5,100.00	\$5,100.00
55	IRRI. DESIGN & INSTALL - CANYON CREEK RIDGE	1	LS	\$5,000.00	\$5,000.00	\$5,200.00	\$5,200.00	\$3,000.00	\$3,000.00	\$5,100.00	\$5,100.00
56	IRRI. DESIGN & INSTALL - ESTATES OF PRAIRIE CREEK (CAMPBELL @ SAGEBRUSH)	1	LS	\$5,000.00	\$5,000.00	\$5,200.00	\$5,200.00	\$3,000.00	\$3,000.00	\$5,100.00	\$5,100.00
57	IRRI. DESIGN & INSTALL - ESTATES OF PRAIRIE CREEK (RICHARDSON @ SANDHILL)	1	LS	\$5,000.00	\$5,000.00	\$5,200.00	\$5,200.00	\$3,000.00	\$3,000.00	\$5,100.00	\$5,100.00
58	IRRI. DESIGN & INSTALL - WOODHAVEN	1	LS	\$5,000.00	\$5,000.00	\$5,200.00	\$5,200.00	\$3,000.00	\$3,000.00	\$5,100.00	\$5,100.00
59	IRRI. DESIGN & INSTALL - TOWN NORTH PARK	1	LS	\$5,000.00	\$5,000.00	\$5,200.00	\$5,200.00	\$3,000.00	\$3,000.00	\$5,100.00	\$5,100.00
60	IRRI. DESIGN & INSTALL - COLLEGE PARK	2	LS	\$5,000.00	\$10,000.00	\$5,200.00	\$10,400.00	\$3,000.00	\$6,000.00	\$5,100.00	\$10,200.00
61	CONSTRUCTION CONTINGENCY	1	LS	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00	\$50,000.00
62	INSTALL PROJECT SIGN	2	EA	\$700.00	\$1,400.00	\$825.00	\$1,650.00	\$350.00	\$700.00	\$762.50	\$1,525.00
63	BARRICADES & TRAFFIC CONTROL	1	LS	\$4,000.00	\$4,000.00	\$15,000.00	\$15,000.00	\$3,000.00	\$3,000.00	\$9,500.00	\$9,500.00
64	SWPPP & IMPLEMENTATION, INCLUDING EROSION CONTROL	1	LS	\$3,000.00	\$3,000.00	\$9,750.00	\$9,750.00	\$2,000.00	\$2,000.00	\$6,375.00	\$6,375.00
TOTAL BASE BID					\$261,536.35		\$392,758.40		\$219,827.50		\$327,147.37
CONTRACTOR'S BID											

ENGINEERS ESTIMATE FOR BASE BID:
\$219,330

CERTIFIED BY:

Steve Spanos
Steve Spanos, P.E., Director of Engineering



2010 NEIGHBORHOOD VITALITY ENTRY FEATURES
EAST: COLLEGE PARK, TOWN NORTH, WOODHAVEN
WEST: PINERY, CANYON CREEK CONDO, EAST PRAIRIE CREEK
FALL 2013



**CITY OF
RICHARDSON
TEXAS**





MEMO

DATE: December 4, 2013
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager *Pam*
SUBJECT: Change Order to decrease the original awarded amount of Bid #64-13 to Ratliff Hardscape for the 2010 Neighborhood Vitality Entry Features

Proposed Date of Award: December 9, 2013

I concur with the recommendation of Jim Lockart – Assistant Director of Engineering, and request permission to decrease the above referenced bid award in the amount of \$90,263.55, as outlined in Mr. Lockart's attached memo.

Texas Local Government Code Chapter 252 allows for change orders to contracts if plans or specifications are necessary after or during the performance of the contract to decrease or increase the quantity of work to be performed or of materials, equipment or supplies to be furnished. The contract may not be increased by more than 25% of the original contract amount or decreased more than 25% without the consent of the contractor and any change order over \$50,000 must be approved by the governing body of the municipality.

This change order requires the approval by the governing body because it is over \$50,000. The contractor has approved the requested decrease.

Concur:


Kent Pfeil

Approved:

Dan Johnson

Attachments

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Pam Kirkland, Purchasing Manager

FROM: Jim Lockart, P.E., Assistant Director of Engineering *SLCQM*

SUBJECT: Change Order to Decrease award amount to Ratliff Hardscape for the 2010 Neighborhood Vitality Entry Features Project

DATE: December 9, 2013

ACTION REQUESTED

Process change order to DECREASE award of 2010 Neighborhood Vitality Entry Features Project.

ACCOUNT SUMMARY

Award Amount	\$392,758.40
Change Order	(\$90,263.55)
Total Authorized Contract Amount	\$302,494.85

BACKGROUND INFORMATION:

Deductive change order based on reduced contingency, updated material costs, and a change in construction methods at the College Park location from the original contract. The contractor, Ratliff Hardscape, has agreed to the change order.

FUNDING INFORMATION:

Funding is provided from Neighborhood Vitality G.O. Bonds

SCHEDULE:

Capital Projects plans for this project to begin construction January 2014 and be completed by May 2014.

CC: Brad Bernhard, P.E., Project Engineer *klb*
Carolyn Kaplan Capital Projects Accountant

2010 HOA ENTRANCES - NEIGHBORHOOD VITALITY PROGRAM
The Pinery, Canyon Creek Ridge, Estates of Prairie Creek, Woodhaven, Town North Park, College Park
CHANGE ORDER #1

CHANGE THE UNIT PRICE FOR THE FOLLOWING ITEMS

ITEM NO.	DESCRIPTION	EST QTY	UNIT	C.O. UNIT PRICE	BID UNIT PRICE	CHANGE IN AMOUNT
1	MOBILIZATION	1	LS	\$31,500.00	\$37,500.00	-\$6,000.00
11	CONCRETE FOOTING	12.1	CY	\$975.00	\$1,275.00	-\$3,630.00
14	STONE MASONRY SIGN WALL (3'-3"H) W/ CAST STONE CAP	10	LF	\$375.00	\$720.38	-\$3,453.80
15	STONE MASONRY SIGN WALL (4'-6 1/2"H) W/ STONE CAP	13.5	LF	\$375.00	\$495.00	-\$1,620.00
16	STONE MASONRY SIGN WALL (2'-7"H) W/ STONE CAP	11.67	LF	\$187.50	\$229.50	-\$490.14
17	STONE MASONRY SIGN WALL (1'-3 1/2"H) W/ STONE CAP	41.5	LF	\$105.00	\$123.00	-\$747.00
18	BRICK MONUMENT SIGN WALL (2'-3"H) W/ CAST STONE CAP	9.5	LF	\$375.00	\$618.38	-\$2,312.11
19	BRICK MOUMNENT SIGN WALL (3'-8"H) W/ CAST STONE CAP	12	LF	\$300.00	\$498.00	-\$2,376.00
20	BRICK COLUMN (4'-1 1/2"H X 2'L X 2"W) W/ CAST STONE CAP	2	EA	\$675.00	\$930.00	-\$510.00
21	BRICK COLUMN (6'H X 4'L X 2"W) W/ CAST STONE LEDGE & CAP	1	EA	\$3,750.00	\$4,728.00	-\$978.00
22	BRICK WALL (2'-3"H X 1'-4" W) W/ CAST STONE CAP	27	LF	\$262.50	\$336.00	-\$1,984.50
29	CAST STONE SIGN PANEL (2' X 9 3/4")	1	EA	\$3,000.00	\$4,500.00	-\$1,500.00
30	CAST STONE SIGN PANEL (1'-6" X 11'-9")	1	EA	\$4,500.00	\$5,250.00	-\$750.00
31	CAST STONE SIGN PANEL (2' X 9')	1	EA	\$3,000.00	\$4,200.00	-\$1,200.00
32	CAST STONE SIGN PANEL (1'-6" X 7'-6")	1	EA	\$3,000.00	\$3,750.00	-\$750.00
33	CAST STONE SIGN PANEL (1'-6" X 10')	1	EA	\$3,750.00	\$4,500.00	-\$750.00
34	CAST STONE SIGN PANEL (1'-6" X 13'-4")	1	EA	\$5,250.00	\$6,000.00	-\$750.00
35	CAST STONE SIGN PANEL (1'-5 1/2" X 6'-11 1/2")	2	EA	\$3,375.00	\$3,750.00	-\$750.00
55	IRRI. DESIGN & INSTALL - CANYON CREEK RIDGE	1	LS	\$5,000.00	\$5,200.00	-\$200.00
56	IRRI. DESIGN & INSTALL - ESTATES OF PRAIRE CREEK (CAMPBELL @ SAGEBRUSH)	1	LS	\$5,000.00	\$5,200.00	-\$200.00
57	IRRI. DESIGN & INSTALL - ESTATES OF PRAIRIE CREEK (RICHARDSON @ SANDHILL)	1	LS	\$5,000.00	\$5,200.00	-\$200.00
58	IRRI. DESIGN & INSTALL - WOODHAVEN	1	LS	\$5,000.00	\$5,200.00	-\$200.00
59	IRRI. DESIGN & INSTALL - TOWN NORTH PARK	1	LS	\$5,000.00	\$5,200.00	-\$200.00
60	IRRI. DESIGN & INSTALL - COLLEGE PARK	2	LS	\$5,000.00	\$5,200.00	-\$400.00
61	CONSTRUCTION CONTINGENCY	1	LS	\$25,000.00	\$50,000.00	-\$25,000.00
63	BARRICADES & TRAFFIC CONTROL	1	LS	\$8,250.00	\$15,000.00	-\$6,750.00
64	SWPPP & IMPLEMENTATION, INCLUDING EROSION CONTROL	1	LS	\$5,250.00	\$9,750.00	-\$4,500.00
REVISED ITEM TOTAL						-\$68,201.55

ADD THE FOLLOWING ITEMS

ITEM NO.	DESCRIPTION	C.O. QTY	UNIT	C.O. UNIT PRICE	C.O. AMOUNT
10A	NEW CREPE MERTLE	7	EA	\$525.00	\$3,675.00
23A	DEMO EX WALL AND CONSTRUCT NEW STONE CLAD WALL (6'H) W/ CAST STONE COPING	28	LF	\$315.00	\$8,820.00
24A	DEMO EX WALL AND CONSTRUCT NEW STONE CLAD WALL (2'H) W/ CAST STONE COPING	50	LF	\$315.00	\$15,750.00
25A	DEMO EX WALL AND CONSTRUCT NEW STONE CLAD COLUMN (6'-7"H X 3'-4"L) W/ CAST STONE CAP	2	EA	\$4,542.75	\$9,085.50
ADDED ITEM TOTAL					\$37,330.50

DELETE THE FOLLOWING ITEMS

ITEM NO.	DESCRIPTION	BID QTY	UNIT	BID UNIT PRICE	CHANGE IN AMOUNT
10	TRANSPLANT EX. TREE	7	EA	\$2,250.00	-\$15,750.00
23	STONE CLAD WALL (6'H) W/ CAST STONE COPING	178	FSF	\$97.50	-\$17,355.00
24	STONE CLAD WALL (2'H) W/ CAST STONE COPING	203	FSF	\$67.50	-\$13,702.50
25	STONE CLAD COLUMN (6'-7"H X 3'-4"L) W/ CAST STONE CAP	2	EA	\$6,292.50	-\$12,585.00
ADDED ITEM TOTAL					-\$59,392.50

CHANGE ORDER #1 TOTAL

-\$90,263.55



MEMO

DATE: December 2, 2013
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager *Pam*
SUBJECT: Change Order to increase purchase order 130994 to Ed Bell Construction Company, Inc. for the Central Trail in the amount of \$157,457.90

Proposed Date of Award: December 9, 2013

I concur with the recommendation of Michael Massey – Director of Parks and Recreation, and request permission to increase the above referenced purchase order in the amount of \$157,457.90, as outlined in Mr. Massey's attached memo.

Texas Local Government Code Chapter 252.048 allows for change orders to contracts if plans or specifications are necessary after or during the performance of the contract to decrease or increase the quantity of work to be performed or of materials, equipment or supplies to be furnished. The contract may not be increased by more than 25% of the original contract amount or decreased more than 25% without the consent of the contractor. Per state law, all change orders over \$50,000 must be approved by the governing body of the municipality.

Concur:

Kent Pfeil

Kent Pfeil

Approved:

Dan Johnson

ATTACHMENTS

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



MEMO

TO: Pam Kirkland, Purchasing Manager
FROM: Michael Massey, Director of Parks and Recreation *mic*
SUBJECT: Change Order No. 1 to INCREASE Purchase Order No. 130994
Ed Bell Construction Co., Inc. – Central Trail
DATE: November 26, 2013

ACTION REQUESTED

Process Change Order No. 1 to INCREASE Purchase Order No. 130994 to Ed Bell Construction Co., Inc., for the Central Trail.

ACCOUNT SUMMARY

Award Amount	\$3,393,536.50
Change Order	\$ 157,457.90
Total Authorized Contract Amount	\$3,550,994.40

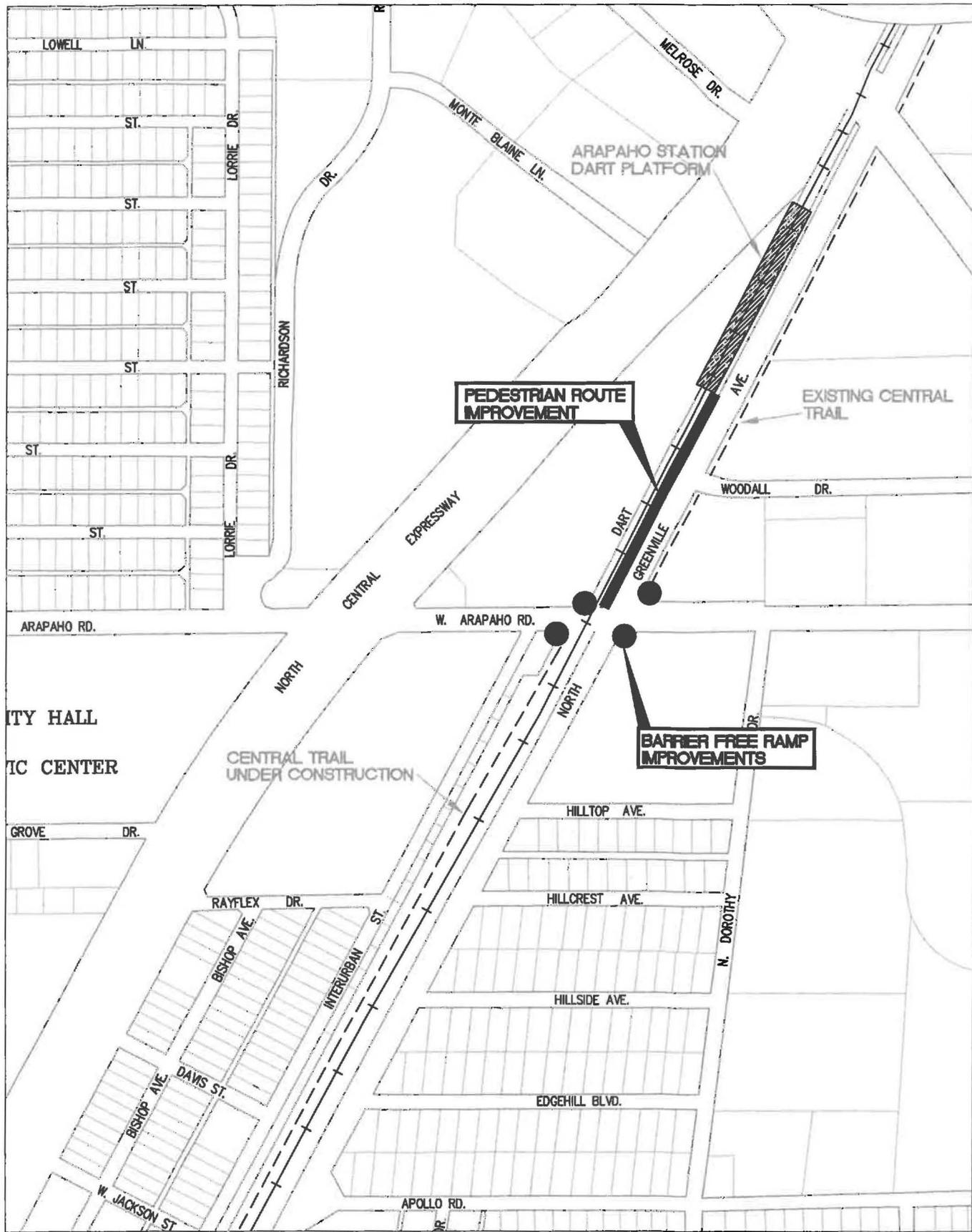
BACKGROUND INFORMATION:

This Change Order is to add an 8-foot wide concrete sidewalk about 900 feet long with a bridge platform to provide a pedestrian route along the west side of North Greenville Avenue from Arapaho Road to the Arapaho DART Station Platform. Barrier free ramp improvements at the Arapaho Road and North Greenville Avenue intersection is also included in this Change Order. The project schedule will be adjusted for the additional work.

FUNDING INFORMATION:

Funding is provided from Account No. 378-8704-585-7524 Project No. PK1008.

CC: Tom Blagg, Park Planner
Edward Witkowski, P.E., Project Engineer
Carolyn Kaplan Capital Projects Accountant



**ARAPAHO STATION PEDESTRIAN CONNECTION
CENTRAL TRAIL PROJECT
JANUARY 2014**

SCALE: 1" = 500'



CITY OF
RICHARDSON
TEXAS



RICHARDSON CENTRAL TRAIL



PHASE 2

IMPROVEMENTS

UNIT PRICE BID SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
SECTION A, GENERAL					
A01.1	FOR MOBILIZATION AND MOVE-IN 5% MAX-ADDITIONAL,	1.00	LS	7,400.00	7,400.00
A02.1	IMPLEMENT TRAFFIC CONTROL PLAN - ADDITIONAL, FOR T	1.00	LS	6,600.00	6,600.00
A03.1	DEVELOP STORMWATER POLLUTION PREVENTION PLAN - ADD	1.00	LS	3,300.00	3,300.00
A04.1	FURNISH AND INSTALL SEDIMENT CONTROL FENCE FOR THE	520.00	LF	1.50	780.00
A05.1	FURNISH AND INSTALL STORM DRAIN INLET PROTECTION F	2.00	EA	125.00	250.00
A06.1	CONSTRUCTION CONTINGENCY		LS		
A06.1M	CONSTRUCTION CONTINGENCY - MOD	1.00	LS	1,000.00	1,000.00
A07.1	FURNISH AND INSTALL VARIOUS SPECIFIED PROJECT SIGN	1.00	EA	400.00	400.00
	SUBTOTAL - SECTION A - GENERAL PROPOSAL AMOUNT				\$19,730.00
SECTION C, PAVING					
C01.1	REMOVE AND DISPOSE OF UNCLASSIFIED EXCAVATION FOR	160.00	CY	20.00	3,200.00
C05.1	FOR SAWING, REMOVAL AND DISPOSAL OF EXISTING CONCR	140.00	SY	15.00	2,100.00
C07.1	CONSTRUCT 6" CURB AND GUTTER AND INCIDENTALS FOR T	69.00	LF	30.00	2,070.00
C08.1	FOR REMOVAL AND DISPOSAL OF EXISTING CURB AND GUTT	69.00	LF	10.00	690.00
C12.1	SALVAGE AND REMOUNT SIGN FOR THE SUM OF		EA		
C13.1	FURNISH AND INSTALL SIGN ASSEMBLY FOR THE SUM OF	2.00	EA	450.00	900.00
C13.1M	REMOVE EXISTING SMALL ROADSIDE GROUND-MTD SIGN	3.00	EA	250.00	750.00
C20.1	CONSTRUCT 6 INCH THICK, REINFORCED CLASS A CONCRET	800.00	SY	45.00	36,000.00
C20.2	CONSTRUCT 6 INCH THICK, REINFORCED CLASS A CONCRET	41.00	SY	67.50	2,767.50

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
C21.1	CONSTRUCT 6 INCH THICK, REINFORCED CLASS A CONCRET	66.00	SY	50.00	3,300.00
C22.1	FURNISH AND INSTALL SURFACE APPLIED TRUNCATED DOME	12.00	EA	400.00	4,800.00
C23.1	CONSTRUCT REINFORCED CONCRETE MONOLITHIC MEDIAN NO	1.00	EA	1,200.00	1,200.00
C24.1	ELIMINATE EXISTING PAVEMENT MARKINGS BY WATER, WAT	1.00	LS	3,000.00	3,000.00
	SUBTOTAL - SECTION C - PAVING PROPOSAL AMOUNT				\$60,777.50
	SECTION E, ELECT.				
E05.1	FURNISH AND INSTALL PEDESTRIAN POLE BASE FOUNDATIO	2.00	EA	1,000.00	2,000.00
E06.1	FURNISH AND INSTALL BY TRENCHING 2" PVC TRAFFIC SI	60.00	LF	10.00	600.00
	SUBTOTAL - SECTION E - ELECT. PROPOSAL AMOUNT				\$2,600.00
	SECTION F, LANDSCAPE				
F05.1	FURNISH AND INSTALL TOPSOIL FOR THE SUM OF	48.00	CY	25.00	1,200.00
F14.1	FURNISH AND INSTALL BLOCK SOD TO MATCH EXISTING, F	4,578.00	SF	0.80	3,662.40
F24.1	FURNISH AND INSTALL STRUCTURAL STEEL PEDESTRIAN GU	322.00	LF	70.00	22,540.00
F38.1	REMOVE AND RELOCATE EXISTING IRRIGATION SYSTEM INC	1.00	LS	3,000.00	3,000.00
F39.1	REMOVE AND DISPOSE OF MISCELLANEOUS LANDSCAPING IN	800.00	SF	0.75	600.00
F40.1	FURNISH AND INSTALL MISCELLANEOUS LANDSCAPING INCL	800.00	SF	2.50	2,000.00
F41.1	RELOCATE 2" CLASS 200 PVC IRRIGATION FORCE MAIN AL	240.00	LF	8.00	1,920.00
	SUBTOTAL - SECTION F - LANDSCAPE PROPOSAL AMOUNT				\$34,922.40
	SECTION G, DART PLATFORM MODIFICATIONS				
G01.1	FOR SAWING, REMOVAL AND DISPOSAL OF VARIABLE HEIGH	54.00	SF	292.50	15,795.00
G02.1	FOR REMOVAL, DISPOSAL AND REPLACEMENT OF BARRIER W	9.00	LF	95.00	855.00
G03.1	FOR SAWING, REMOVAL AND DISPOSAL OF EXISTING PLATF	8.00	LF	50.00	400.00
G04.1	FOR 4000 PSI PRECAST OR SITE CAST REINFORCED CONCR	68.00	SF	166.00	11,288.00
G05.1	FOR CLASS C REINFORCED CONCRETE TRANSITION CAP WIT	1.90	CY	5,100.00	9,690.00
G06.1	FURNISH AND INSTALL STRUCTURAL STEEL PEDESTRIAN HA	20.00	LF	70.00	1,400.00
	SUBTOTAL - SECTION G - DART PLATFORM IMPROVEMENTS				\$39,428.00

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
	SUBTOTAL - SECTION A - GENERAL PROPOSAL AMOUNT:				\$19,730.00
	SUBTOTAL - SECTION C - PAVING PROPOSAL AMOUNT:				\$60,777.50
	SUBTOTAL - SECTION E - ELECT. PROPOSAL AMOUNT:				\$2,600.00
	SUBTOTAL - SECTION F - LANDSCAPE PROPOSAL AMOUNT:				\$34,922.40
	SUBTOTAL - SECTION G - DART PLATFORM IMPROVEMENTS				\$39,428.00
	TOTAL BASE PROPOSAL AMOUNT:				\$157,457.90
GRAND TOTAL					\$157,457.90



City of Richardson
City Council Regular Meeting
Agenda Item Summary



Meeting Date: Monday, December 9, 2013

Agenda Item: Consider cancellation of the Monday, December 23, 2013 City Council Meeting, December 30, 2013 Work Session, and the January 20, 2014 Work Session.

Staff Resource: Dan Johnson, City Manager

Summary: These meeting dates fall on the week of the Christmas, New Year, and Martin Luther King, Jr. Holidays.

Board/Commission Action: NA

Action Proposed: Take action to cancel these meeting dates.
