

RICHARDSON CITY COUNCIL
APRIL 23, 2012
7:30 P.M.
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX

1. **INVOCATION – LAURA MACZKA**
 2. **PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – LAURA MACZKA**
 3. **MINUTES OF THE APRIL 9, 2012 MEETING**
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4. VISITORS. (THE CITY COUNCIL INVITES CITIZENS TO ADDRESS THE COUNCIL ON ANY TOPIC NOT ALREADY SCHEDULED FOR PUBLIC HEARING. PRIOR TO THE MEETING, PLEASE COMPLETE A “CITY COUNCIL APPEARANCE CARD” AND PRESENT IT TO THE CITY SECRETARY. THE TIME LIMIT IS FIVE MINUTES PER SPEAKER.)
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PUBLIC HEARING ITEMS:

5. PUBLIC HEARING, ZONING FILE 12-04: A REQUEST BY BO CHAPMAN, REPRESENTING LAKE PARK TOWNHOMES LTD, FOR AMENDMENTS TO THE EXISTING PD PLANNED DEVELOPMENT SPECIAL CONDITIONS ON AN 8.76-ACRE SITE TO REDUCE THE MINIMUM LOT SIZE FOR LOTS ALONG THE NORTHERN PROPERTY LINE, INCREASE THE NUMBER OF UNITS ALLOWED IN A TOWNHOME BUILDING, AND FOR APPROVAL OF BUILDING ELEVATIONS FOR A PROPOSED TOWNHOME DEVELOPMENT LOCATED ON THE NORTH SIDE OF LAKE PARK WAY, EAST OF COIT ROAD.

ACTION TAKEN:

6. PUBLIC HEARING AND CONSIDER ORDINANCE NO. 3863, ADOPTING STANDARDS OF CARE FOR YOUTH PROGRAMS OFFERED BY THE RICHARDSON PARKS AND RECREATION DEPARTMENT.

ACTION TAKEN:

ACTION ITEMS:

7. CONSIDER THE REQUEST OF THE CVS CORPORATION FOR A VARIANCE TO THE CITY OF RICHARDSON CODE OF ORDINANCES, CHAPTER 18, ARTICLE I, SECTION 18-5(4) TO ALLOW A DIGITAL DISPLAY DEVICE SIGN SHOWING A PRINTED MESSAGE ON THE PROPERTY LOCATED AT 2129 E BELT LINE RD; AND A VARIANCE TO THE CITY OF RICHARDSON CODE OF ORDINANCES, CHAPTER 18, ARTICLE IV, SECTION 18-125(5) TO ALLOW FOR A 22.65 SQUARE FOOT VARIANCE INCREASE IN THE MAXIMUM 60 SQUARE FEET ALLOWED FOR A MAJOR FREESTANDING SIGN; AND TAKE APPROPRIATE ACTION.

ACTION TAKEN:

ALL ITEMS LISTED UNDER ITEM 8 OF THE CONSENT AGENDA ARE CONSIDERED TO BE ROUTINE BY THE CITY COUNCIL AND WILL BE ENACTED BY ONE MOTION IN THE FORM LISTED BELOW. THERE WILL BE NO SEPARATE DISCUSSIONS OF THESE ITEMS. IF DISCUSSION IS DESIRED, THAT ITEM WILL BE REMOVED FROM THE CONSENT AGENDA AND WILL BE CONSIDERED SEPARATELY:

8. **CONSENT AGENDA:**

A. CONSIDER THE FOLLOWING ORDINANCES:

1. ORDINANCE NO. 3864, RE-APPOINTING A PRESIDING MUNICIPAL JUDGE, ASSISTANT MUNICIPAL JUDGES OF THE MUNICIPAL COURT OF RECORD NO. 1 OF THE CITY OF RICHARDSON.
2. ORDINANCE NO. 3865, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING FROM I-M(1) INDUSTRIAL WITH SPECIAL CONDITIONS TO PD PLANNED DEVELOPMENT FOR I-M(1) INDUSTRIAL WITH A SPECIAL PERMIT FOR A HOSPITAL WITH SPECIAL CONDITIONS.

B. A REQUEST FOR APPROVAL OF BUILDING ELEVATIONS FOR BRICK ROW MULTI-FAMILY BUILDINGS "D" AND "E" WITH EXCEPTIONS TO THE MAXIMUM PERCENTAGE OF ONE-BEDROOM UNITS MINIMUM FLOOR AREA FOR BUILDING "D", AND THE MINIMUM MASONRY PERCENTAGE FOR BUILDINGS "D" AND "E".

C. CONSIDER AWARD OF THE FOLLOWING BIDS:

1. BID #24-12 – WE RECOMMEND THE AWARD TO HD SUPPLY WATERWORKS FOR A SOLE SOURCE PROCUREMENT OF RADIO FREQUENCY ENCODERS FOR EXISTING NEPTUNE WATER METERS IN THE AMOUNT OF \$58,675.
2. BID #41-12 – WE RECOMMEND THE AWARD TO AUGUST INDUSTRIES, INC., FOR THE 6000 PSI BREATHING AIR COMPRESSOR STATION FOR THE FIRE DEPARTMENT IN THE AMOUNT OF \$52,488.

THE RICHARDSON CITY COUNCIL WILL MEET AT 5:30 P.M. ON MONDAY, APRIL 23, 2012, IN THE RICHARDSON ROOM OF THE CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TEXAS. AS AUTHORIZED BY SECTION 551.071(2) OF THE TEXAS GOVERNMENT CODE, THIS MEETING MAY BE CONVENED INTO CLOSED EXECUTIVE SESSION FOR THE PURPOSE OF SEEKING CONFIDENTIAL LEGAL ADVICE FROM THE CITY ATTORNEY ON ANY AGENDA ITEM LISTED HEREIN. THIS BUILDING IS WHEELCHAIR ACCESSIBLE. ANY REQUESTS FOR SIGN INTERPRETIVE SERVICES MUST BE MADE 48 HOURS AHEAD OF THE MEETING. TO MAKE ARRANGEMENTS, CALL 972-744-4000 VIA TDD OR CALL 1-800-735-2989 TO REACH 972-744-4000.

WORK SESSION – 6:00 P.M.:

- Call to Order
- A. Review and Discuss Items Listed on the City Council Meeting Agenda
- B. Review and Discuss the 2012 Summer Camp Preview
- C. Review and Discuss the 2011 – 2012 Second Quarter Financial Report
- D. Review and Discuss the West Spring Valley Road Rehab Project
- E. Review and Discuss the Water and Sewer Revenue Review
- F. Report on Items of Community Interest

EXECUTIVE SESSION

- In compliance with Section 551.074 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Personnel
 - Regional Transportation Council Appointment
- Council will reconvene into open session, and take action, if any, on matters discussed in executive session.

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE CIVIC CENTER/CITY HALL ON FRIDAY, APRIL 20, 2012, BY 5:00 P.M.

CITY SECRETARY

MINUTES OF A REGULAR MEETING OF THE CITY COUNCIL
April 9, 2012
City of Richardson, Texas

A Regular Meeting of the City Council was held at 7:30 p.m., Monday, April 9, 2012 with a quorum of said Council present, to-wit:

Bob Townsend	Mayor
Laura Maczka	Mayor Pro Tem
Mark Solomon	Council member
Scott Dunn	Council member
Kendal Hartley	Council member
Steve Mitchell	Council member
Amir Omar	Council member

City staff present:

Bill Keffler	City Manager
Dan Johnson	Deputy City Manager
Michelle Thames	Assistant City Manager Administrative Services
David Morgan	Assistant City Manager Community Services
Cliff Miller	Assistant City Manager Development Services
Samantha Woodmancy	Management Analyst
Pamela Schmidt	City Secretary
Michael Spicer	Director of Development Services
Don Magner	Director of Community Services

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1. **INVOCATION – SCOTT DUNN**
 2. **PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – DAKOTA MORGAN BIRDSONG, TROOP 57, FIRST UNITED METHODIST CHURCH OF GARLAND.**
 3. **MINUTES OF THE MARCH 26, 2012 MEETING**

ACTION TAKEN: Mr. Omar moved approval of the minutes as submitted; second by Mr. Hartley and the motion was approved with a unanimous vote.

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4. **VISITORS.** (The City Council invites citizens to address the Council on any topic not already scheduled for public hearing. Prior to the meeting, please complete a "City Council Appearance Card" and present it to the City Secretary. The time limit is five minutes per speaker.)

Scott Whitwer, 107 Suncreek Drive, Allen, representing CB Jeni Homes, stated he was available to respond to questions regarding Item 7 on the agenda. Mayor Townsend stated they may call him back up at that time.

PUBLIC HEARING ITEMS:

5. **PUBLIC HEARING, ZONING FILE 12-03: A REQUEST BY KEN HUTCHENRIDER, REPRESENTING METHODIST RICHARDSON MEDICAL CENTER, TO REZONE A 20.4-ACRE LOT FROM I-M(1) INDUSTRIAL WITH A SPECIAL PERMIT FOR A HOSPITAL TO PD**

PLANNED DEVELOPMENT WITH A SPECIAL PERMIT FOR A HOSPITAL WITH SPECIAL CONDITIONS FOR THE EXPANSION OF THE EXISTING HOSPITAL CAMPUS LOCATED AT THE SOUTHEAST CORNER OF PRESIDENT GEORGE BUSH TURNPIKE AND RENNER ROAD. THE PROPERTY IS CURRENTLY ZONED I-M(1) INDUSTRIAL WITH A SPECIAL PERMIT FOR A HOSPITAL.

Mr. Keffler advised that the zoning for the 20 acre hospital campus was approved in 2007 and recognized President of Methodist Richardson Medical Center who was prepared to review the plans for expansion of the campus. He stated that the Plan Commission reviewed the request on March 20, 2012 and recommended approval with a vote of 7-0. He asked Mr. Spicer to brief the Council.

Mr. Spicer stated the subject property is an approximately 25 acre tract of land located east of the President George Bush Turnpike and south of Renner Road. He noted the zoning on the properties adjoining the hospital campus. The proposed expansion would occur in two phases with the first phase including a 266,250 sq ft hospital expansion and associated parking; and the second phase including an additional 310,480 sq ft expansion of the hospital; a 21,937 sq ft expansion of the existing cancer center, a new 123,199 sq ft medical office building; and three parking structures. With regard to traffic mitigation, the first phase would include right-turn deceleration lanes at the PGBT entrance and at the southernmost Shiloh Road entrance; and the second phase would include extension of existing left turn bays on Renner Road and Shiloh Road as well as signalization of the Renner Road and Wyngate Boulevard intersection. He reported that the City Plan Commission had a unanimous vote for approval of the request with an additional condition to allow for parapet walls up to a maximum height of six feet. Lastly he noted that there were no speakers regarding the request during the Plan Commission public hearing and staff received no correspondence.

Mayor Townsend opened the public hearing and invited the applicant to present the request to the Council.

Ken Hutchenrider, President of Methodist Richardson Medical Center, 401 W. Campbell Road, provided an artists rendition of the planned facility and stated it was important to them for the facility to have both sides looking like the front. There would be two entrances to the site, the facility would offer 125 beds, and the main services would remain in the main structure of the hospital. He described the design features of the hospital and stated the women's services would move to the Bush/Renner campus.

Mr. Mitchell felt the application demonstrates the hospital's dedication to the area and asked about the timing of the phases. He also asked about the plans for the Campbell location. Mr. Hutchenrider stated that, assuming approval this evening, they would go to the planning and financing meeting of the Methodist Board in May and the full Methodist Board in June. Assuming approval by Methodist, ground breaking would occur later in 2012 and a 20-month construction time. The expected completion of the first phase is the last quarter of 2014. The plan is to keep a full service emergency room there, maintain and expand the psychiatric services and have and expand geriatric services. Additionally all outpatient, diagnostic lab and diagnostic radiology services would remain there. He advised that they have non-binding letters of intent from an in-patient hospice company and have been talking to an in-patient rehabilitation company as well as a long-term acute care provider. He stated that many of the primary care physicians would remain on site and some specialist would have an office at both sites. He noted that in the future, they may expand to ancillary health care services such as dentists and ophthalmologists.

Mr. Omar stated his appreciation for the quality of the proposed development and foresight shown by the applicant in the design and structure of the campus.

There were no other speakers regarding the request.

Mr. Solomon moved to close the public hearing; second by Mr. Dunn and the motion was approved with a unanimous vote.

Ms. Maczka stated that Methodist has been a great partner and expressed her excitement that the current facility would continue to be prominent in the community.

ACTION TAKEN: Ms. Maczka moved approval of ZF 12-03; second by Mr. Dunn and the motion was approved with a unanimous vote.

Mr. Keffler noted that Mr. Don Simmons, long time contributor to the hospital, and felt it was appropriate for Mr. Simmons to hear the accolades.

ALL ITEMS LISTED UNDER ITEM 6 OF THE CONSENT AGENDA ARE CONSIDERED TO BE ROUTINE BY THE CITY COUNCIL AND WILL BE ENACTED BY ONE MOTION IN THE FORM LISTED BELOW. THERE WILL BE NO SEPARATE DISCUSSIONS OF THESE ITEMS. IF DISCUSSION IS DESIRED, THAT ITEM WILL BE REMOVED FROM THE CONSENT AGENDA AND WILL BE CONSIDERED SEPARATELY:

6. CONSENT AGENDA:

ACTION TAKEN: Mr. Mitchell moved approval; second by Mr. Hartley and the motion was approved with a unanimous vote.

- A. Approve Ordinance No. 3862, amending the Comprehensive Zoning Ordinance and Zoning Map to grant a change in zoning to grant major modifications to the West Spring Valley Corridor PD Planned Development District for Lot 2, Block A of Spring Valley Village Addition.
- B. Authorize the city manager to execute the first amendment to the Glenville Trail Project Supplemental Agreement.
- C. Approve Advertisement of Bid #39-12 – Dumont Drive rehabilitation paving, waterline and drainage. Bids to be received by Thursday, April 26, 2012 at 2:00 P.M.
- D. Award of the following bids:
 - 1. Bid #26-12 – award to LDM Design and Construction for the wash bay rehabilitation project in the amount of \$81,524.50.
 - 2. Bid #33-12 – award to Estrada Concrete Company, LLC, for the 2010 alley rehabilitation project Phase III (400 Block of Malden & 1400 Block of Lorrie) in the amount of \$162,936.50.
 - 3. Bid #35-12 – award to Integrity Texas Construction for the HVAC improvements at the Richardson Communications Building in the amount of \$50,500.
- E. Award of Competitive Sealed Proposal #901-12 – award to North Texas Contracting, Inc. for the Floyd Branch storm drain improvements (Greer to Kaufman outfall & Phillips bridge replacement) in the amount of \$6,790,888.00.

7. RECEIVE THE CITY PLAN COMMISSION MINUTES OF THE MARCH 20, 2012 MEETING CONCERNING SIGN VARIANCES GRANTED FOR TEMPORARY PROMOTIONAL SIGNS ADVERTISING NEW TOWNHOME SALES AND APARTMENT LEASING IN THE BRICK ROW DEVELOPMENT.

ACTION TAKEN: Mr. Solomon moved to receive the Plan Commission minutes of March 20; second by Mr. Dunn.

Mr. Omar voiced concern with the amount of signs for the area. Mr. Mitchell questioned if the signs were needed and asked about past allowances such as in the Breckinridge area. Mr. Magner stated there were multiple builder signs in the Breckinridge area as it was developing and felt the proposed signs were similar. He noted that two of the signs would be no larger than a sheet of plywood, which is a little smaller than requested. He also noted that the signs would be reviewed and permitted each year. He noted that the regulations in Chapter 18 of the Code of Ordinances are different from the regulations in the Spring Valley PD. He explained stated that the Code provides that homebuilder/developer signs be approved on a six-month basis and traditionally, as long as a builder had a vacant lot or was working on completing the last lot, the permit would be extended.

The motion was approved with a unanimous vote.

8. RECEIVE THE SIGN CONTROL BOARD MINUTES OF THE APRIL 4, 2012, MEETING.

ACTION TAKEN: Mr. Solomon moved receipt of the Sign Control Board meeting minutes of April 4, 2012 except for the CVS application, #12-05, and call it up for Council review; second by Mr. Omar. Discussion. Mr. Omar requested that the applicant provide images of current signs. Mr. Mitchell stated he would like to know how many electronic signs are in Richardson and felt regulations were needed regarding the signs. Mr. Keffler stated staff is close to completing work regarding recommendations to amend the sign ordinance. Ms. Maczka voiced a desire to have a joint meeting with the Sign Control Board and perhaps the Plan Commission. Mr. Keffler suggested the leadership of the Sign Control Board could be available to present the recommendations to Council. The motion was approved with a 6-1 with Mr. Townsend voting in opposition.

Mayor Townsend adjourned the meeting at 8:26 p.m.

MAYOR

ATTEST:

CITY SECRETARY



City of Richardson
City Council Meeting
Agenda Item Summary



Meeting Date:

Monday, April 23, 2012

Agenda Item:

Visitors *(The City Council invites citizens to address the Council on any topic not already scheduled for public hearing.)*

Staff Resource:

Pamela Schmidt, City Secretary

Summary:

Members of the public are welcome to address the City Council on any topic not already scheduled for public hearing. Speaker Appearance Cards should be submitted to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should avoid personal attacks, accusations, and characterizations.

In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However your concerns will be addressed by City staff, may be placed on a future agenda, or by some other course of resolution.

Board/Commission Action:

N/A

Action Proposed:

Receive comments by visitors.



MEMO

DATE: April 19, 2012
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 12-04 – Parkside Towns – Lake Park Townhomes Phase 2

REQUEST

Bo Chapman, representing Lake Park Townhomes LTD, is requesting approval of amendments to the development standards of the PD Planned Development to reduce the minimum lot area for eight (8) “estate” townhome lots, to allow a single 7-unit townhome building, and to provide for approval of building elevations for Phase 2 of the development. The requested amendment is for an 8.76-acre tract located on the north side of Lake Park Way, east of Coit Road.

BACKGROUND

In 2005, the subject property and Phase 1, located on the south side of Lake Park Way, were zoned PD Planned Development to provide for development of 253 townhomes with “estate” and “urban” type townhome buildings. The PD Planned Development references the RA-1100-M Residential Attached (Townhome) District. Phase 1 was completed in 2007 and comprises 118 townhomes. Proposed Phase 2 will comprise 135 townhomes.

The PD requires a minimum lot area of 1,920 square feet, having minimum dimensions of 24’ in width and 80’ in depth. However, the minimum lot depth for the eight “estate” townhome lots located adjacent to the northeast corner of the site was reduced to 75 feet yielding a minimum lot area of only 1,800 square feet (i.e., 24’ x 75’).

Earlier this year, as the development plans for Phase 2 were being reviewed, staff discovered that a proposed 7-unit urban building exceeded the maximum number of units allowed per townhome building (i.e., six units) and that the eight estate lots at the northeast corner of the site did not comply with the required minimum lot area of 1,920 square feet. Although the approved concept plan indicated a 7-unit building, the PD ordinance text did not provide for the proposed 7-unit building and no exceptions were granted to the minimum lot area to account for the reduced lot depths of 75 feet.

Additionally, staff advised the applicant to include building elevations for approval through the zoning process in order to reduce the development plan approval process by approximately two (2) months. Approval of the PD zoning in 2005 did not include approval of the building elevations, but stipulated that elevations be approved prior to subdivision plat approval - a requirement unique to this PD. The proposed elevations comply with the elevation standards set forth in the PD and if approved at this time, would enable the applicant to proceed directly to plat and development plan approval.

Three (3) letters of correspondence regarding issues with visitor parking and driveway length in Phase 1 have been received.

PLAN COMMISSION RECOMMENDATION

On April 3, 2012 the City Plan Commission voted 6-0 to recommend approval of the request as presented.

ATTACHMENTS

Special Conditions	Zoning Exhibit (Exhibit “C”)
CC Public Hearing Notice	Lake Park Phase 1 Site Photos (Exhibits “D-1” through “D-3”)
City Plan Commission Minutes 04-03-2012	Applicant’s Statement
Staff Report	Notice of Public Hearing
Zoning Map	Notification List
Aerial Map	Correspondence
Oblique Aerial Looking South	Ordinance 3505
Elevations (Exhibits “B-1” through “B-14”)	

SPECIAL CONDITIONS ZF 12-04

1. All conditions stated in Ordinance No. 3505 shall remain in full force and effect except as otherwise noted.
2. The minimum lot area for eight (8) of the twelve (12) estate townhome lots located at the northeast corner of the site, adjacent to the Richardson/Dallas city limit line shall be 1,800 square feet.
3. A maximum of one (1) townhome building shall be allowed seven (7) units.
4. The townhome buildings and amenity building shall be constructed in substantial conformance with the attached building elevations (Exhibits "B-1" through "B-14"). Elevation variation shall be achieved through the use of varying masonry colors; excluding white, and through the interchangeable use of brick or stone meeting the City's masonry construction definition.

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:30 p.m. on Monday, April 23, 2012, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

Zoning File 12-04

A request by Bo Chapman, representing Lake Park Townhomes LTD, for amendments to the existing PD Planned Development special conditions on an 8.76-acre site to reduce the minimum lot size for lots along the northern property line, increase the number of units allowed in a townhome building, and for approval of building elevations for a proposed townhome development located on the north side of Lake Park Way, east of Coit Road.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

CITY OF RICHARDSON
Pamela Schmidt, City Secretary

EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – April 3, 2012

PUBLIC HEARING

Zoning File 12:04: Consider and take necessary action on a request by Bo Chapman, representing Lake Park Townhomes, LTD, for approval of amendments to the existing PD Planned Development special conditions to reduce the minimum lot size for lots along the northern property line, increase the number of units allowed in a townhome building and for approval of building elevations for a proposed townhome development. The 8.76-acre site is located on the north side of Lake Park Way, east of Coit Road and is zoned PD Planned Development for the RA-1100-M Residential Attached (Townhome) District with special conditions.

Mr. Shacklett advised that the request involved three (3) amendments to the existing PD that was approved in 2005 under Ordinance Number 3505.

The first amendment pertained to the minimum lot area of eight (8) lots located along the northern property line. The request was to allow the lot area to be 1,800 square feet in lieu of 1,920 square feet. The PD allowed the depth of the subject lots to be reduced to 75 feet in lieu of 80 feet, but did not specifically reduce the lot area to correspond with the reduced lot depth. The remaining lots would be 24 feet by 80 feet (1,920 square feet).

The second request pertained to the maximum number of units allowed in a townhome building. The PD stated that development should be accordance with the R-1100-M Townhome regulations which limits the number of units in a building to six units; however, the approved Concept Plan reflects a 7-unit building. The amendment would clear up any discrepancies between the Concept Plan and the base regulations the PD references.

The third and final request would allow for building elevation approval in Phase II including three estate style buildings, six urban style buildings, as well as an amenity building. The PD ordinance did not require elevations with the PD; however, it did state that prior to approval of the subdivision plat for the property, building elevations would have to be approved by the City Council upon recommendation by the Commission. Staff suggested that since the applicant was already going through amendments to the PD, it would be beneficial and save time to get the building elevations approved with their request.

In closing, Mr. Shacklett presented graphics of the elevations and noted that three pieces of correspondence had been received, all of which were from owners in Phase I and expressed concerns with visitor parking and driveways in Phase I rather than the proposed amendments.

Commissioner DePuy asked if the letters were from residents in the Estate area of Phase I.

Mr. Shacklett replied yes. A large number of visitor parking spaces are located along the west property line of Phase I opposite of where the Estate area is located; however, in Phase II they have spread the visitor parking areas throughout the development.

Chairman Gantt asked if there was any difference in the length and width of the driveways in Phase II as opposed to those in Phase I.

Mr. Shacklett replied they should be the same and noted that a townhome development was only required to have two enclosed parking spaces, which meant the driveway lengths could vary depending on the building's placement on the lot and the style of the home.

With no further questions, Chairman Gantt opened the public hearing.

Mr. Harley Rice, representing Humphries and Partners, 5339 Alpha Road, Dallas, Texas, stated he was available to answer any questions the Commission might have.

No questions were asked of the applicant and Chairman Gantt called for any comments in opposition. None were made and the public hearing was closed.

Chairman Gantt noted that the first two requests appeared to be administrative errors and the intent of the ordinance was to allow those items. He added that the buildings seemed to be the same size, and the lots in question were a little smaller, but that did not detract from the overall development. In addition, the 7-unit request was acceptable, and the elevations appeared to be very similar in material and design to Phase I.

Commissioner Hand stated that he was generally in agreement with Mr. Gantt, but had concerns about the distribution of visitor parking, similar to the apprehension expressed by the correspondence received. He added that the Commission was charged with being stewards of available land in the City and if a project was allowed that did not have enough guest parking, or it was not distributed correctly within the development, it might ultimately affect the value of the property.

Mr. Shacklett stated that Phase II conformed with the number of guest parking spaces required in the PD.

Chairman Gantt stated that he counted 21 visitor parking spaces for the proposed 42 Estate units, all either close by or within one-half block. He agreed that the Commission needed to pay attention to parking, and the applicant could have done a better job distributing it through the eastern end of the development, but it was adequate.

Commissioner DePuy commented that she did not have as much concern about the guest parking, but the width and length of each driveway could prove to be an issue.

Mr. Laughlin stated that while he appreciated the Commissioner's concerns about the site plan, that item had not been posted on the agenda for discussion. He added that the depth of driveways might be covered under the first two requested amendments, but suggested the Commission was beyond the scope of the posting to continue with the discussion.

Chairman Gantt stated that whether the Commission approved the item or not, the point made by Mr. Hand was that the Commission needed to pay attention for any future development and address the issue at that time.

Motion: Commissioner DePuy made a motion to recommend approval of Zoning File 12-04; second by Commissioner Bright. Motion passed 6-0.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, Assistant Director – Development Services *SC*

DATE: April 19, 2012

RE: **Zoning File 12-04:** Parkside Towns – Lake Park Townhomes Phase 2

REQUEST:

Amend the development standards of the PD Planned Development to reduce the minimum lot area for eight (8) estate lots located adjacent to the Richardson/Dallas city limit line, allowing a 7-unit townhome building and remove the requirement for building elevation approval prior to the subdivision plat approval and approval of building elevations for Phase 2 of the development. The 8.76-acre tract is located east of Coit Road, at the northwest intersection of Lake Park Boulevard and Lake Park Way.

APPLICANT / PROPERTY OWNER:

Bo Chapman – HP Civil Engineering / Mark Humphreys – Lake Park Townhomes LTD

EXISTING DEVELOPMENT:

The property is undeveloped.

ADJACENT ROADWAYS:

Coit Road: Six-lane, divided arterial; 39,800 vehicles per day on all lanes, northbound and southbound, south of Campbell Road (May 2011).

Lake Park Way: Four-lane, divided minor collector; No traffic counts available. Minor collectors typically carry between 2,500 and 8,000 vehicles per day.

SURROUNDING LAND USE AND ZONING:

North: Texas A&M research, test, and extension facilities; City of Dallas

South: Single Family & Vacant; PD Planned Development & RP-1500-M Patio Home

East: Office; O-M Office

West: Retail/Commercial; LR-M(2) Local Retail

FUTURE LAND USE PLAN:

Neighborhood Residential

The most prevalent land use classification in Richardson, and includes a variety of single-family housing types available for ownership, from detached single-family homes and patio homes to duplexes and single-family attached homes (townhomes).

Future Land Uses of Surrounding Area:

North: City of Dallas; Commercial Center or Corridor

South: Neighborhood Residential

East: Community Commercial

West: Community Commercial

EXISTING ZONING:

PD Planned Development (Ordinance No. 3505).

TRAFFIC/ INFRASTRUCTURE IMPACTS:

The requested zoning amendment will not have any significant impacts on the planned surrounding infrastructure. No significant changes are proposed from the original layout approved in 2005 (Ordinance No. 3505).

APPLICANT'S STATEMENT

(Please refer to the complete Applicant's Statement.)

STAFF COMMENTS:

Background:

In 2005, the property was rezoned from LR-M(2) Local Retail and O-M Office to PD Planned Development for the RA-1100-M Residential Attached (Townhome) Home District with modified development standards. The original PD (Ordinance No. 3505) allowed a maximum 253 townhomes to be constructed in Phase 1 and Phase 2. Phase 1, which is located south of the subject site (see attached aerial) was constructed in 2006 and 2007. This phase included the construction of 118 townhome units and thus leaves a balance of 135 townhome units.

Earlier this year, the applicant moved forward with development plans for Phase 2 of the Lake Park Townhome project. At that time the applicant discovered the proposed lots along the city limit line on the east side of the development did not meet the minimum lot area for estate townhome lots and the applicant was not able to reconfigure the lots to meet the minimum lot area requirement and still maintain the individual unit design. In addition, a 7-unit building was approved on the zoning conceptual plan, which does not conform with the maximum number of units per building allowed for the RA-1100-M Residential Attached (Townhome) District.

As a result, the applicant is requesting to reduce the minimum lot area for the estate lots along the city limit line and allow a 7-unit townhome building. In addition, the PD requires that building elevations of representative building types to be reviewed and approved by the City Plan Commission and City Council prior to review of the subdivision plat. For the sake of efficiency and since the applicant is requesting an amendment to the development standards of the PD, the applicant is also requesting approval of building elevations for Phase 2 as part of their request.

Phase 2 includes nine (9) different townhome building types composed of three (3) estate buildings and six (6) urban buildings for a total of 135 units. An amenity building adjacent to the pool is also part of Phase 2. As proposed, the number of existing units in Phase 1 and proposed units in Phase 2 conform with the maximum number of total units (253 units) for the PD Planned Development.

Applicant’s Request:

The applicant’s request includes the following three (3) amendments to the PD Planned Development District:

- A reduction in the minimum lot area for only eight (8) of the twelve (12) estate townhome lots located along the city limit line. The subject lots are highlighted in the attached Zoning Exhibit (Exhibit “C”).
- Allow a townhome building to contain a maximum of seven (7) units (See Building Type 9 highlighted on Exhibit “C”).
- Delete the requirement for building elevations to be approved prior to subdivision plat review for Phase 2 and approve the attached elevations for the townhome buildings and amenity building (Exhibits “B-1” through “B-14”) for Phase 2.

Requested Amendments:

Reduce minimum lot area – Ordinance No. 3505 requires the minimum lot area for estate townhome lots to be 1,920 square feet (24-foot wide by 80-foot deep lots) and also allows the subject lot depth to be reduced to seventy-five (75) feet for the lots adjacent to the Richardson/Dallas city limit line (northern property line of the tract) which creates an 1,800-square foot lot.

It is not uncommon for zoning district regulations to provide minimum lot widths and lot depths that do not meet the minimum lot area requirement; however, the base RA-1100-M Residential Attached (Townhome) District regulations provide minimum lot width and lot depth that equal the minimum lot area.

Although there are other PD townhome developments, such as Brick Row, where a similar regulatory standard applies, the reduction in lot width or lot depth allows development flexibility while still providing for minimum area standards to be met; therefore, if constrained by narrow lot widths, the issue could be resolved by increasing lot depth or vice versa.

Although the PD did not reduce the minimum lot area for the subject lots, it appears that 1,800 square feet may have been implied, as the 80-foot deep estate townhome lots and the 52-foot deep urban townhome equal the required 1,920 square foot and 1,092 square foot minimum lot areas, respectively. As proposed, the lot area reduction would only apply to eight (8) of the twelve (12) proposed estate lots.

Allow a 7-unit townhome building – In Phase 2, the applicant is proposing one (1) 7-unit building which is noted as Type 9 on Exhibit “C”. Ordinance No. 3505 included a concept plan that depicted this building; however, the ordinance also states that development shall be in accordance with the RA-1100-M Residential Attached (Townhome) District, which limits the maximum number of units in a building to six (6) units.

Since it is unclear whether a 7-unit building is allowed, staff suggested the applicant request this amendment as part of their request to remove any question regarding whether a 7-unit building is allowed. Building Inspection has stated there are no building code issues related to a 7-unit building.

Approval of building elevations – Ordinance No. 3505 requires building elevations of representative building types for new construction to be approved by the City Council upon recommendation of the City Plan Commission prior to the subdivision plat of the property. This process lengthens the typical development plan approval process by approximately two (2) months and is unique to this PD Planned Development. Typically, if elevation approval were required, the elevations would be processed along with the subdivision plat, site plan, and common area landscape plan.

Ordinance No. 3505 included building elevation standards for front façade, building materials, and design of garage doors. Although the PD provided regulations regarding building design; the building elevations were not attached nor approved at the time of zoning.

In 2005, Lake Park Townhomes, Phase 1 received building elevation approval in accordance with the regulations stated in Ordinance No. 3505. In addition, Phase 1 building elevations were approved with the condition that any material that conforms to the City’s masonry construction definition could be applied in the forms and proportions as shown on the elevations and that variations in masonry color selections, excluding white, be required.

Staff suggested that since the applicant was processing a zoning request for amendments to the PD development standards: the building elevations could be submitted for approval of Lake Park Townhomes, Phase 2 as part of the zoning request.

The proposed amendment would remove the requirement for the building elevations to be reviewed by the City Plan Commission and City Council prior to the time of the subdivision plat approval and would allow the Commission and Council to review and approve the building elevations as part of the current zoning amendment request. If the PD amendment was approved, the applicant would proceed directly to development plan approval for the plat, site plan, and common area landscape plans.

The applicant is proposing nine (9) different building types which include three (3) estate buildings and six (6) urban buildings and are attached for consideration. In addition, an amenity building elevation is also attached for consideration. Estate buildings include four (4) unit, five (5) unit, and six (6) unit buildings, which are similar to the building types in Phase 1. Urban buildings include one (1) to four (4) unit buildings, six (6) unit buildings, and a seven (7) unit building. Phase 1 did not include any urban buildings with more than three (3) units per building nor did it include an amenity building.

The proposed building elevations, attached as Exhibits “B-1” through “B-14” meet the requirements for building elevations stated in Ordinance 3505 and which are listed below:

- **Front Façade:** Front façade designs for buildings with 6 units shall provide two different façade plans, with no two adjacent buildings having the same façade. Adjacent urban buildings shall vary in design and attached units shall be allowed to have mirrored façade elevations.
 - **Where the same 6-unit buildings and same urban buildings are located adjacent to one another, the applicant will provide differing brick colors to provide a varied façade plan. This is similar to how adjacent buildings of the same type in Phase 1 were addressed.**
 - **Attached units in urban buildings provide either varied facades for adjacent units or mirrored facades for attached units. Either option conforms to the front façade requirement in Ordinance No. 3505.**
- **Building Materials:** All buildings shall be constructed in accordance with Article XXII-F Exterior Construction Standards of the City of Richardson CZO. Any portion of a building not requiring masonry construction shall be constructed of cementitious hardboard siding.
 - **Article XXII-F requires building facades, excluding doors, windows, breezeways and courtyards to have at least 75% of the total exterior walls to be constructed of masonry. The proposed elevations for all building types comply with the minimum 75% masonry requirement, and all non-masonry materials being used are fiber cement panel (hardboard siding).**
- **Garage Door Design:** Garage materials and elevations shall vary in design so that a variety of architecture detailing is provided and no two adjacent lots shall have the same design.
 - **Exhibits “B-1” through “B-12” depict the varying design of garage doors proposed by the applicant and which conform with the requirement.**

Conclusion:

The proposed amendments to the minimum lot area and maximum number of units allowed in a building will clarify the conditions originally stated in Ordinance 3505. It is unclear whether the lot area was meant to be reduced for the estate lots along the city limit line; however, it appears the reduction in lot area for those lots was the intention of the applicant from the beginning.

The concept plan indicated a 7-unit building so it would seem that the applicant’s intent was for a 7-unit building to be allowed.

Although similar building elevations were approved for Phase 1 in 2005, minor changes in the elevations and the addition of additional urban type buildings and amenity building require approval for Phase 2. The elevations are not required to be approved through this zoning process; however, since the applicant is requesting amendments to the minimum lot area and maximum number of units in a building, they have requested the elevations be approved through the process to reduce the development plan approval timeframe.

Correspondence: As of this date, three (3) letters have been received and are attached.

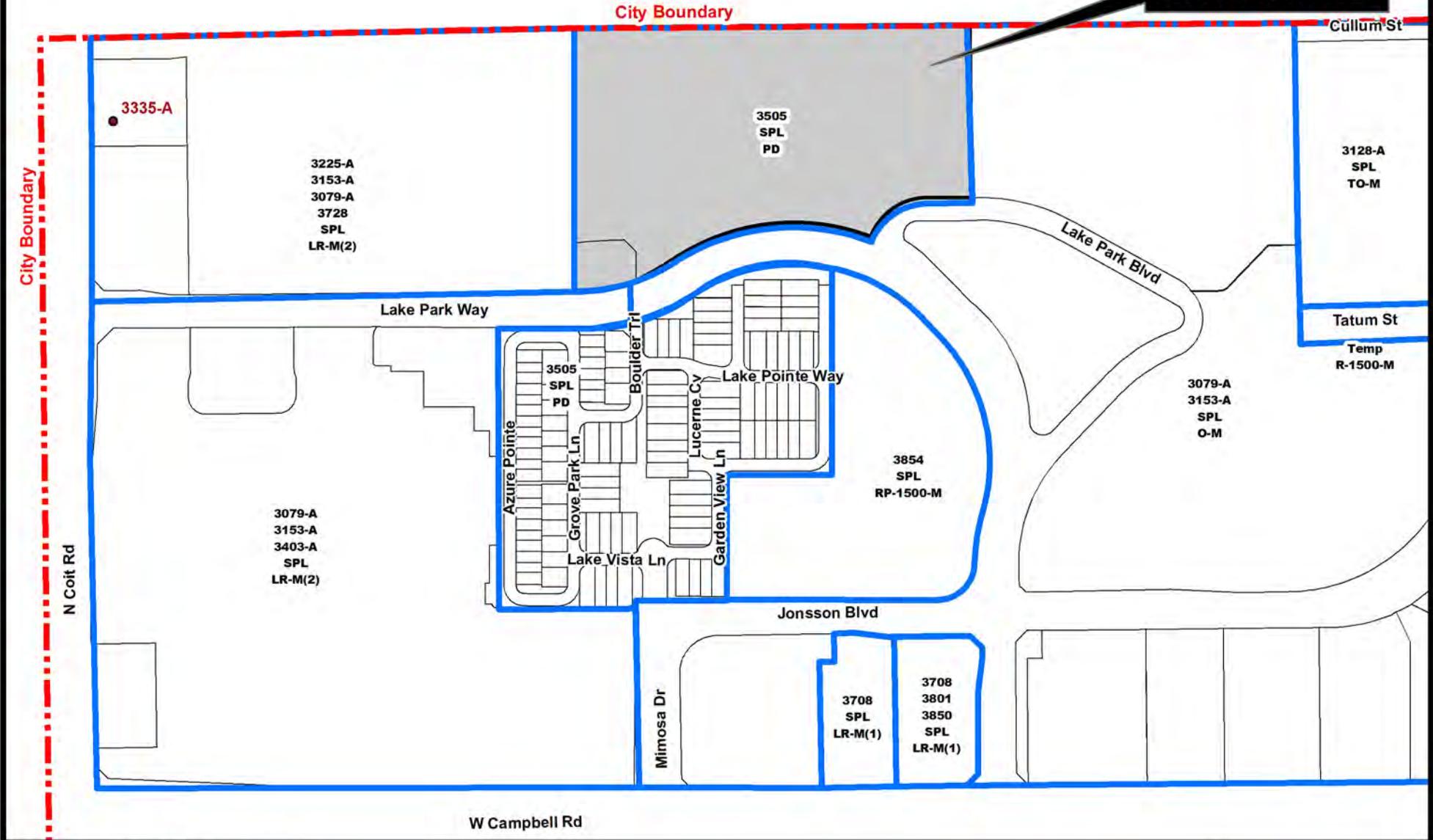
Motion: The Commission will be making a recommendation to the City Council regarding this request. The Commission may approve the request, add or amend conditions, or recommend denial of the request.

Should the CPC accept the applicant's request as presented, the motion should include the following:

1. All conditions stated in Ordinance No. 3505 shall remain in full force and effect except as otherwise noted.
2. The minimum lot area for eight (8) of the twelve (12) estate townhome lots located at the northeast corner of the site, adjacent to the Richardson/Dallas city limit line shall be 1,800 square feet.
3. A maximum of one (1) townhome building shall be allowed seven (7) units.
4. The townhome buildings and amenity building shall be constructed in substantial conformance with the attached building elevations (Exhibits "B-1" through "B-14"). Elevation variation shall be achieved through the use of varying masonry colors; excluding white, and through the interchangeable use of brick or stone meeting the City's masonry construction definition.

ZF 12-04

SUBJECT PROPERTY FOR ZONE CHANGE



ZF 12-04 Zoning Map

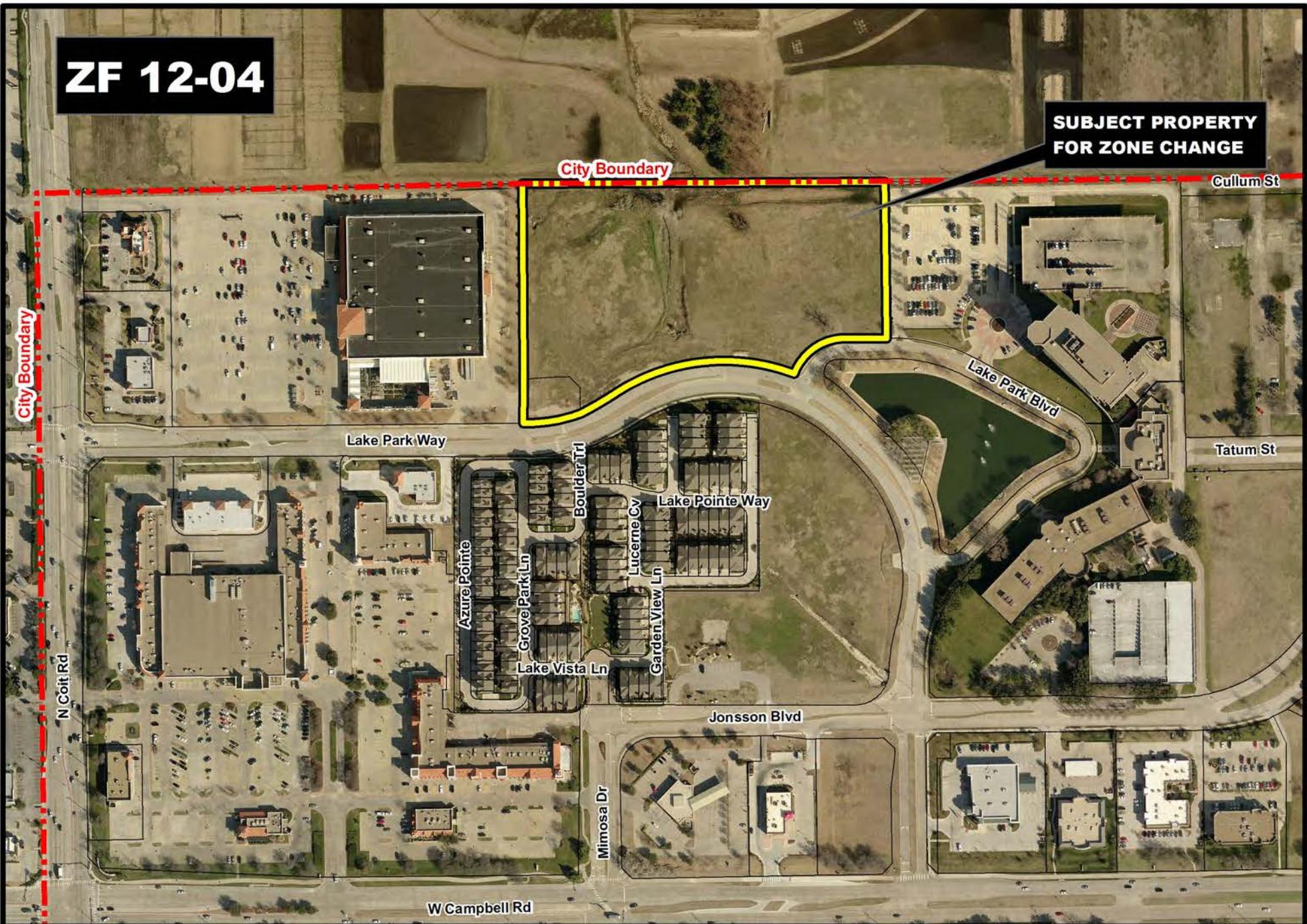
Updated By: shacklett, Update Date: March 23, 2012
File: DSI\mapping\Cases\Z\2012\ZF1204\ZF1204 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



ZF 12-04

**SUBJECT PROPERTY
FOR ZONE CHANGE**



ZF 12-04 Aerial Map

Updated By: shacklett, Update Date: March 23, 2012
File: DSI\Mapping\Cases\Z\2012\ZF1204\ZF1204_ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



Jonsson Blvd

**Lake Park
Phase 1**

**Home
Depot**

Lake Park Way

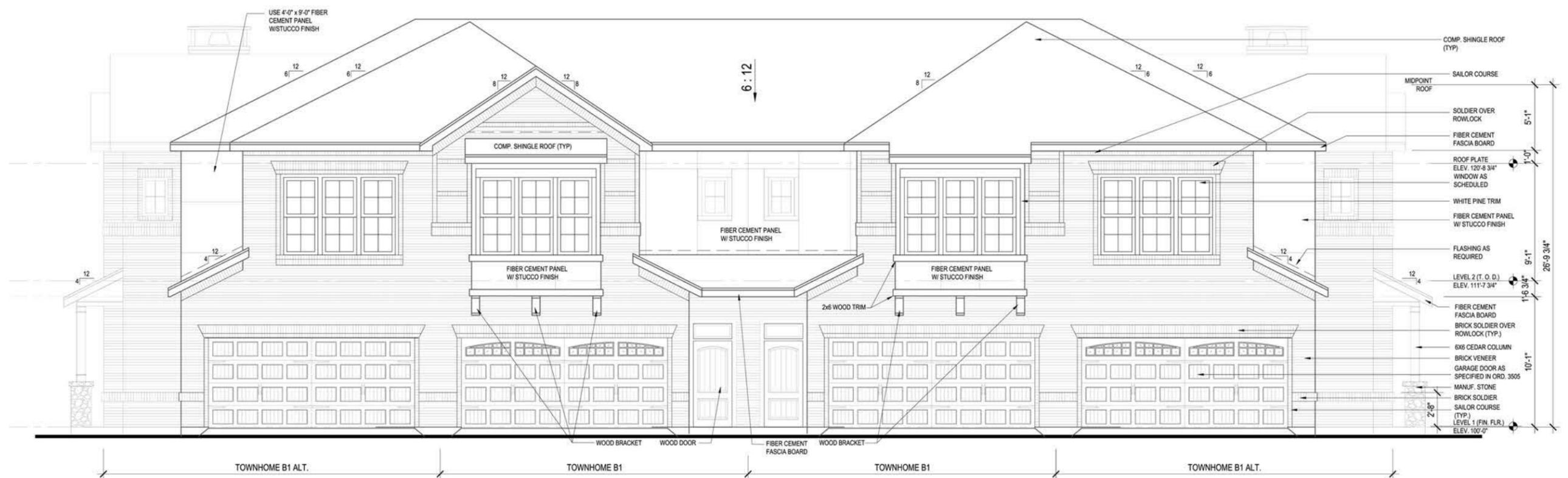
Lennox

Lake Park Blvd

Subject Property



**Oblique Aerial
Looking South**



1 BUILDING ESTATE TYPE I - FRONT/STREET ELEVATION
SCALE: 1/4" = 1'-0"

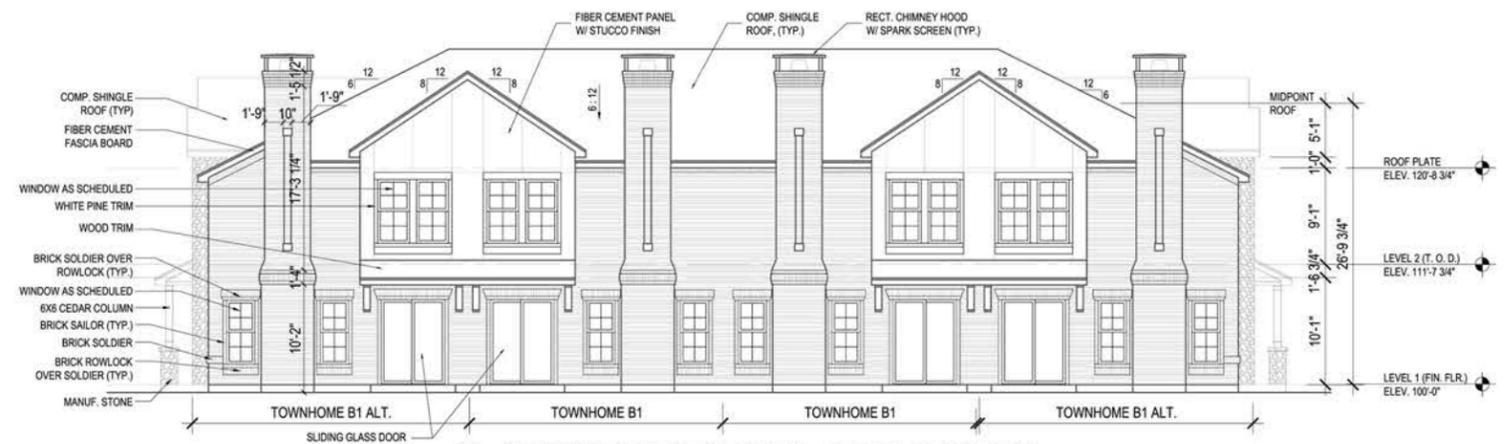
MATERIAL	SUBTOTAL	TOTAL / BLDG	PERCENTAGE	# BLDGS	TOTAL
BT1 - BRICK VENEER	4,553.35		72%		9,106.70
BT1 - MANUF. STONE	416.54	6,299.03	7%	2	833.08
BT1 - FIBER CEM. PANEL	1,329.14		21%		2,658.28

*NOTE: MEASUREMENTS IN SQUARE FEET

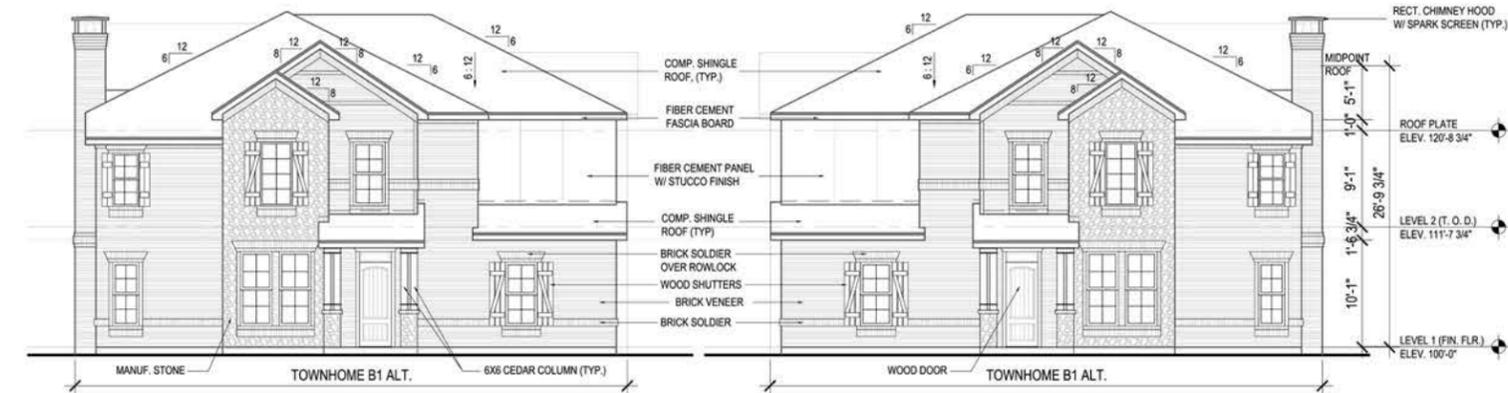
EXTERIOR ELEVATION GENERAL NOTES:

- ALL LOWER SHED ROOFS TO HAVE SLOPED SOFFITS UNLESS NOTED OTHERWISE.
- ALL BRICK PROJECTIONS OR RECESSES TO BE 3/4" FROM FACE OF RUNNING BOND FACE BRICK.
- ALL MORTAR SHALL BE WHITE. USE WHITE SAND AND WHITE PORT. CEMENT.
- ALL SPECIAL COURSING MUST ALIGN AS IT TURNS ANY CORNER WITH BOTH WALLS.
- ALL MASONRY WORK MUST BE DONE IN A CRAFTSMAN LIKE WAY BY EXPERIENCED MASONS.
- CUT BRICK AND STONES WITH WET SAWS AS REQUIRED TO PROVIDE UNIFORM MASONRY JOINT WIDTHS.
- ALL SOLDIER AND ROWLOCK COURSES ARE PROJECTED OR RECESSES UNLESS NOTED OTHERWISE.
- USE FULL SHEETS OF FIBER CEMENT PANELS WITH STUCCO FINISH WHENEVER POSSIBLE - MINIMIZE ALL JOINTS.
- ALL BRACKETS NEED TO BE STAINED DARK BROWN, AS SELECTED BY ARCHITECT.

NOTE:
1. BUILDINGS #4, 7 TO HAVE A BRICK TYPE "2"



3 BUILDING ESTATE TYPE I - REAR ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING ESTATE TYPE I - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

2 BUILDING ESTATE TYPE I - LEFT ELEVATION
SCALE: 1/8" = 1'-0"

Exhibit B-1 - Part of Ordinance

Designed by: **GL**
 Drawn by: **S.L.**
 Architect of Record: **-**
 Date Plotted: **3/27/12**
 Issue for Pricing / Bidding: **12/14/11**
 Issue for Permit Application: **-**
 Issue for Construction: **-**

Revisions:

#	DATE	COMMENTS

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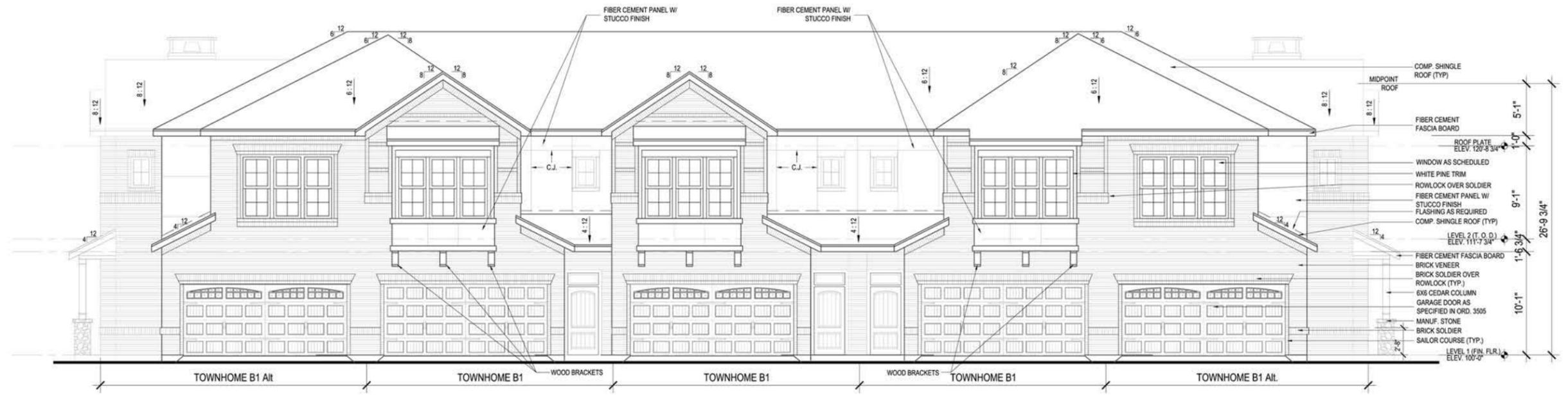
SHEET CONTENTS:
BUILDING TYPE 1 ELEVATIONS

SHEET NO. **A4.12**

2010078

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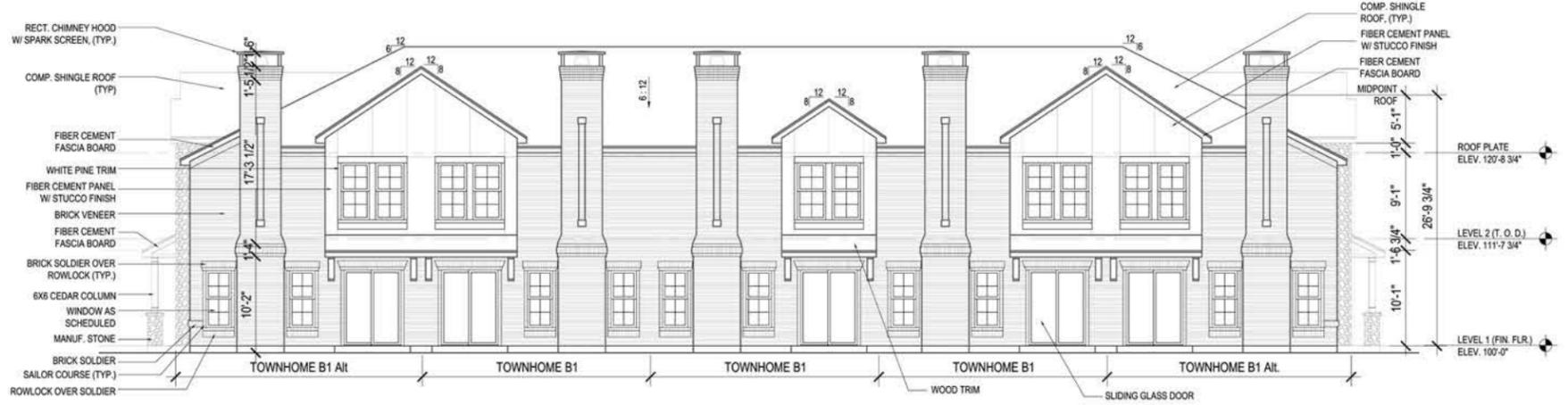
1 BUILDING ESTATE TYPE 2 - FRONT/STREET ELEVATION
 SCALE: 3/16" = 1'-0"

MATERIAL	SUBTOTAL	TOTAL / BLDG	PERCENTAGE	# BLDGS	TOTAL
BT II - BRICK VENEER	5,357.69		70%		10,715.38
BT II - MANUF. STONE	416.54	7,666.65	5%	2	833.08
BT II - FIBER CEM. PANEL	1,892.42		25%		3,784.84

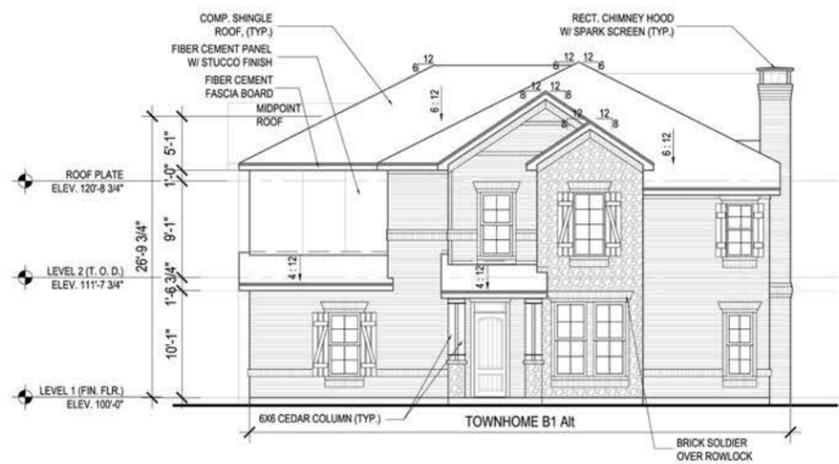
*NOTE: MEASUREMENTS IN SQUARE FEET

EXTERIOR ELEVATION
 GENERAL NOTES:
 1. ALL LOWER SHED ROOFS TO HAVE SLOPED SOFFITS UNLESS NOTED OTHERWISE.
 2. ALL BRICK PROJECTIONS OR RECESSES TO BE 3/4" FROM FACE OF RUNNING BOND FACE BRICK.
 3. ALL MORTAR SHALL BE WHITE. USE WHITE SAND AND WHITE PORT. CEMENT.
 4. ALL SPECIAL COURSING MUST ALIGN AS IT TURNS ANY CORNER WITH BOTH WALLS.
 5. ALL MASONRY WORK MUST BE DONE IN A CRAFTSMAN LIKE WAY BY EXPERIENCED MASONS.
 6. CUT BRICK AND STONES WITH WET SAWS AS REQUIRED TO PROVIDE UNIFORM MASONRY JOINT WIDTHS.
 7. ALL SOLDIER AND ROWLOCK COURSES ARE PROJECTED OR RECESSES UNLESS NOTED OTHERWISE.
 8. USE FULL SHEETS OF FIBER CEMENT PANELS WITH STUCCO FINISH WHENEVER POSSIBLE - MINIMIZE ALL JOINTS.
 9. ALL BRACKETS NEED TO BE STAINED DARK BROWN, AS SELECTED BY ARCHITECT.

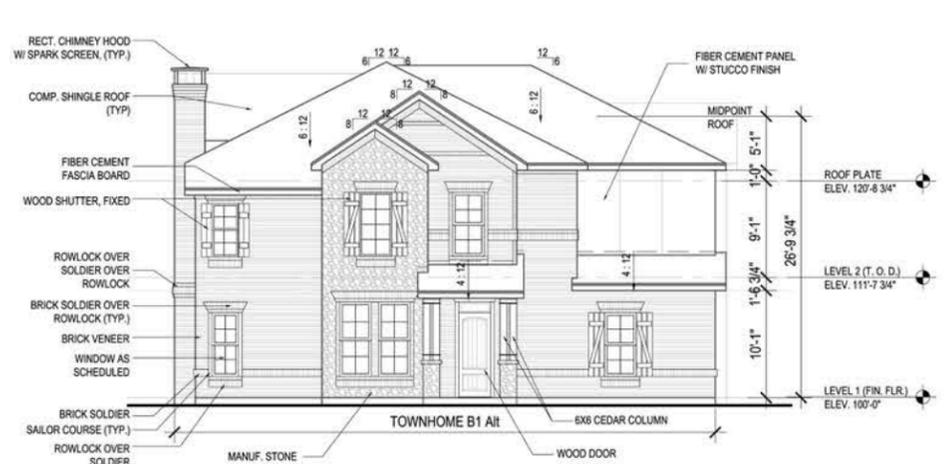
NOTE:
 1. BUILDINGS #2, 5 TO HAVE A BRICK TYPE "2"



3 BUILDING ESTATE TYPE 2 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"



4 BUILDING ESTATE TYPE 2 - RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



2 BUILDING ESTATE TYPE 2 - LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

Exhibit B-2 - Part of Ordinance

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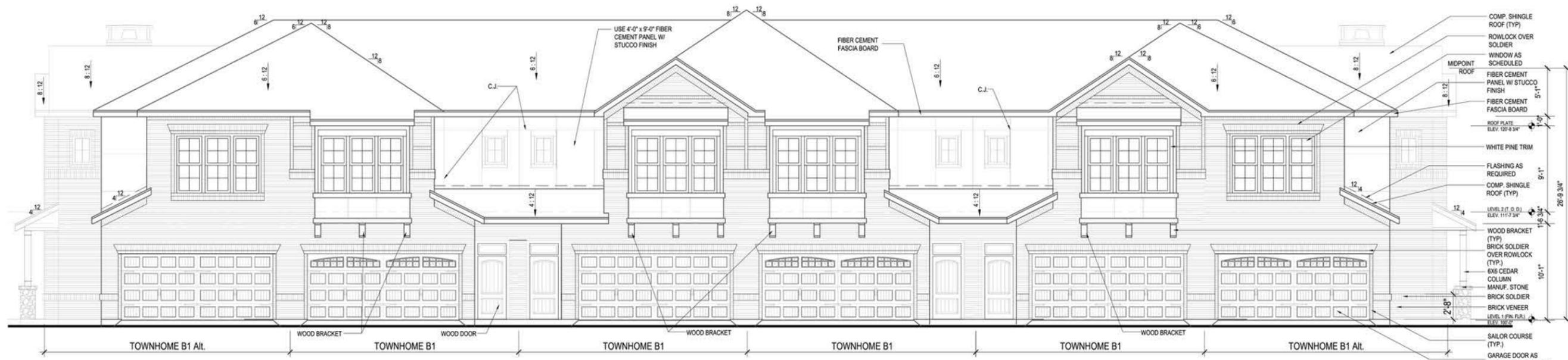
SHEET CONTENTS:
 BUILDING TYPE 2 ELEVATIONS
 SHEET NO.

A4.23
 2010078

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Revisions:
 # DATE COMMENTS

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1 BUILDING TYPE 3 - FRONT/STREET ELEVATION
 SCALE: 3/16" = 1'-0"

MATERIAL	SUBTOTAL	TOTAL / BLDG	PERCENTAGE	# BLDGS	TOTAL
BT III - BRICK VENEER	6,226.85		71%		24,907.40
BT III - MANUF. STONE	416.54	8,721.73	5%	4	1,666.16
BT III - FIBER CEM. PANEL	2,078.34		24%		8,313.36

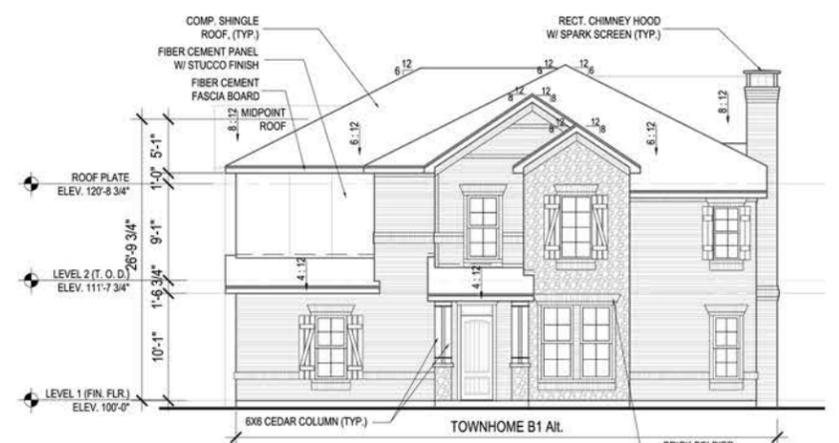
*NOTE: MEASUREMENTS IN SQUARE FEET



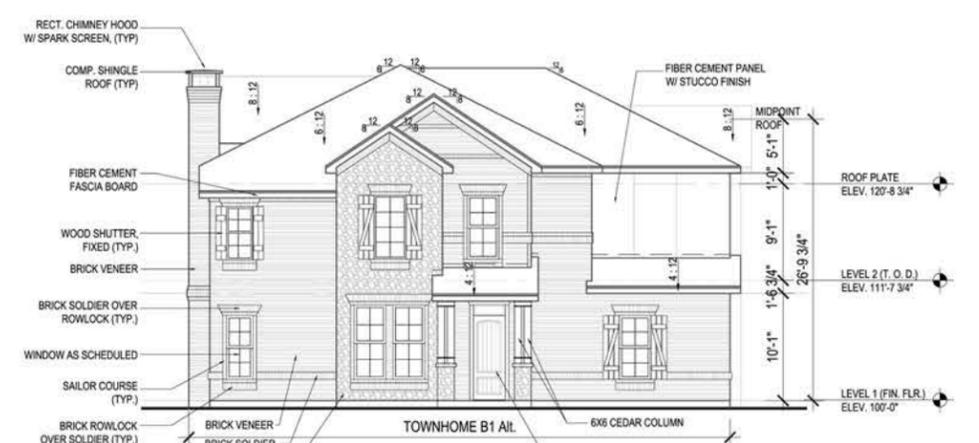
3 BUILDING ESTATE TYPE 3 - REAR ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION
 GENERAL NOTES:
 1. ALL LOWER SHED ROOFS TO HAVE SLOPED SOFFITS UNLESS NOTED OTHERWISE.
 2. ALL BRICK PROJECTIONS OR RECESSES TO BE 3/4" FROM FACE OF RUNNING BOND FACE BRICK.
 3. ALL MORTAR SHALL BE WHITE. USE WHITE SAND AND WHITE PORT. CEMENT.
 4. ALL SPECIAL COURSING MUST ALIGN AS IT TURNS ANY CORNER WITH BOTH WALLS.
 5. ALL MASONRY WORK MUST BE DONE IN A CRAFTSMAN LIKE WAY BY EXPERIENCED MASONS.
 6. CUT BRICK AND STONES WITH WET SAWS AS REQUIRED TO PROVIDE UNIFORM MASONRY JOINT WIDTHS.
 7. ALL SOLDIER AND ROWLOCK COURSES ARE PROJECTED OR RECESSES UNLESS NOTED OTHERWISE.
 8. USE FULL SHEETS OF FIBER CEMENT PANELS WITH STUCCO FINISH WHENEVER POSSIBLE - MINIMIZE ALL JOINTS.
 9. ALL BRACKETS NEED TO BE STAINED DARK BROWN, AS SELECTED BY ARCHITECT.

NOTE:
 1. BUILDINGS #3, 6, 9 TO HAVE A BRICK TYPE "1".
 2. BUILDING #8 TO HAVE A BRICK TYPE "2"



4 BUILDING ESTATE TYPE 3 - RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



2 BUILDING ESTATE TYPE 3 - LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

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SHEET CONTENTS:
 BUILDING TYPE 3 ELEVATIONS

SHEET NO.

A4.33

2010078

- LEGEND - BUILDING/ROOF PLANS**
- 2 (TWO) - 1 (ONE) HOUR FIRE RATED WALLS TO UNDERSIDE OF ROOF DECK AT EACH TOWNHOME TENANT SEPARATION WALL TURN OUT GYP. BD. 4'-0" MIN. EACH SIDE OF WALL UNDER ROOF DECK
 - RIDGE VENT
9 SF NET OPEN EA. SIDE OF DRAFTSTOP
 - 14 1/2" X 14 1/2" GRAVITY VENT,
150 SQ. IN. NET FREE AREA
 - CONT. SOFFIT VENT
 - D.S. DOWNSPOUT
 - 6" GUTTER
 - ADD 1 LAYER 5/8 TYPE "X" GYP. BOARD UNDERNEATH PLYWOOD 4 FEET ON EACH SIDE OF 1 HR WALL
 - INDICATES 3/4" PLYWOOD DECK ON 2X'S PLATFORM FOR HVAC EQUIPMENT AND STORAGE

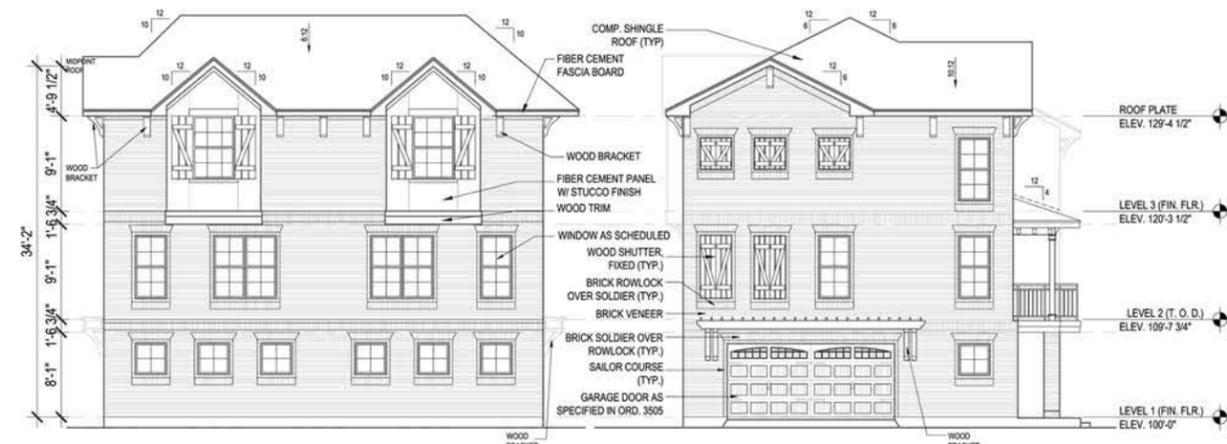
NOTE:
1. BUILDINGS #11, 14, 23, 27, 33, 35 TO HAVE A BRICK TYPE "1"
2. BUILDING #34 TO HAVE A BRICK TYPE "2"

- LEGEND - BUILDING/ROOF PLANS**
- WALL TYPE
REF. A1.03
 - 2(TWO) - 1(ONE) HOUR FIRE RATED WALLS TO UNDERSIDE OF ROOF DECK AT EACH TOWNHOME TENANT SEPARATION WALL
 - WALL SECTION TAG
XX/XX/XX
- NOTES**
- RETURN BRICK VENEER ALONG SIDE WALL. MATCH SOLDIER COURSE

- EXTERIOR ELEVATION GENERAL NOTES:**
- ALL LOWER SHED ROOFS TO HAVE SLOPED SOFFITS UNLESS NOTED OTHERWISE
 - ALL BRICK PROJECTIONS OR RECESSES TO BE 3/4" FROM FACE OF RUNNING BOND FACE BRICK
 - ALL MORTAR SHALL BE WHITE. USE WHITE SAND AND WHITE PORT. CEMENT.
 - ALL SPECIAL COURSING MUST ALIGN AS IT TURNS ANY CORNER WITH BOTH WALLS
 - ALL MASONRY WORK MUST BE DONE IN A CRAFTSMAN LIKE WAY BY EXPERIENCED MASONS.
 - CUT BRICK AND STONES WITH WET SAWS AS REQUIRED TO PROVIDE UNIFORM MASONRY JOINT WIDTHS.
 - ALL SOLDIER AND ROWLOCK COURSES ARE PROJECTED OR RECESSED UNLESS NOTED OTHERWISE
 - USE FULL SHEETS OF FIBER CEMENT PANELS WITH STUCCO FINISH WHENEVER POSSIBLE. MINIMIZE ALL JOINTS.
 - ALL BRACKETS NEED TO BE STAINED DARK BROWN, AS SELECTED BY ARCHITECT.



08 BUILDING URBAN TYPE 5 - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

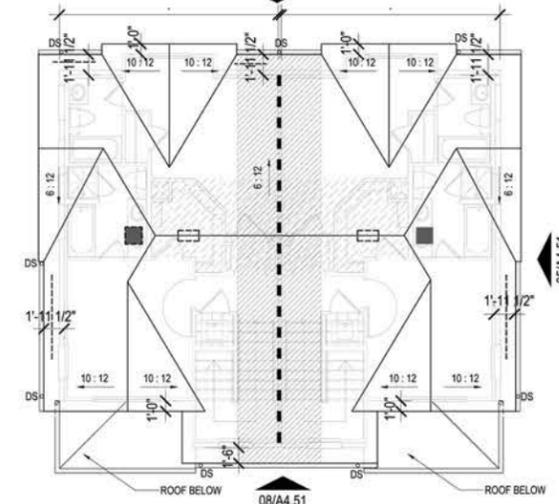


07 BUILDING URBAN TYPE 5 - REAR ELEVATION SCALE: 1/8" = 1'-0"
06 BUILDING URBAN TYPE 5 - LEFT ELEVATION SCALE: 1/8" = 1'-0"



05 BUILDING URBAN TYPE 5 - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

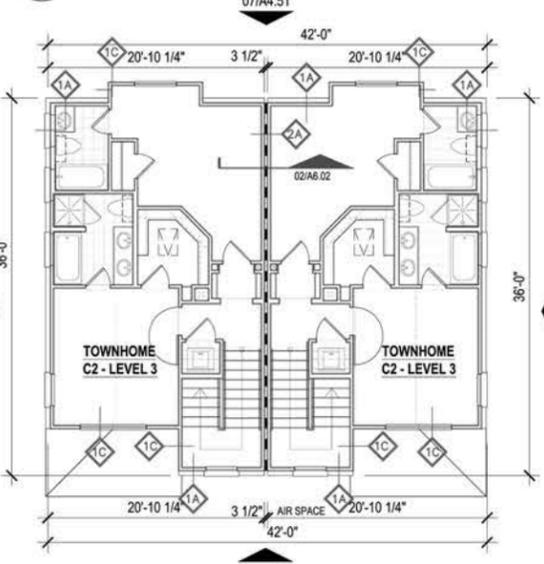
687 SF UNDER ROOF
330 SQ. IN. VENTING REQUIRED
2 LF = 36 SQ. IN. RIDGE VENTING PROVIDED
1 GRAVITY VENTS = 144 SQ. IN. UPPER VENTING PROVIDED
17 LF = 153 SQ. IN. LOWER VENTING PROVIDED
333 SQ. IN. TOTAL VENTING PROVIDED



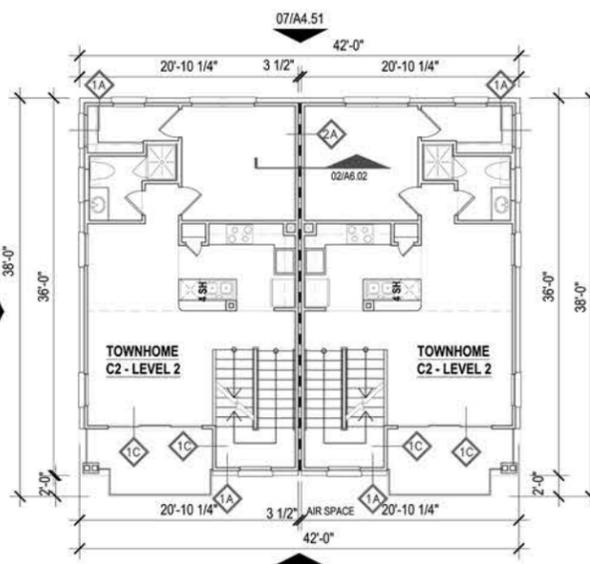
04 BUILDING TYPE 5 - ROOF PLAN
SCALE: 1/8" = 1'-0"

MATERIAL	SUBTOTAL	TOTAL / BLDG	PERCENTAGE	# BLDGS	TOTAL
BT V - BRICK VENEER	2,970.44		80%	7	20,793.08
BT V - FIBER CEM. PANEL	724.50	3,694.94	20%	7	724.50

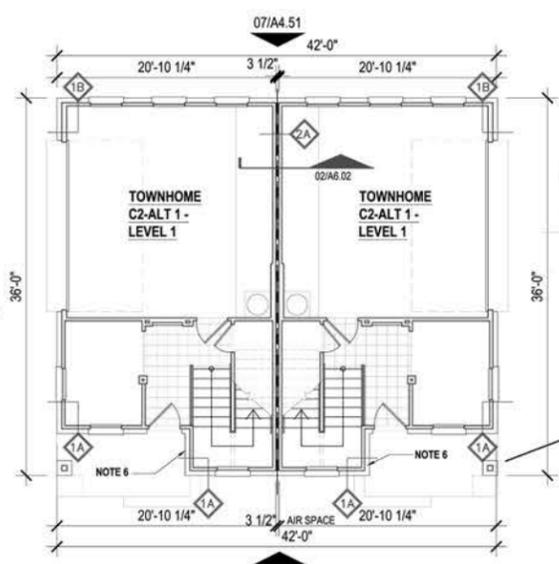
NOTE: MEASUREMENTS IN SQUARE FEET



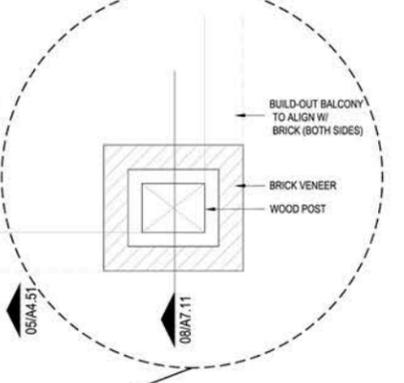
03 BUILDING TYPE 5 - PLAN - LEVEL 3
SCALE: 1/8" = 1'-0"



02 BUILDING TYPE 5 - PLAN - LEVEL 2
SCALE: 1/8" = 1'-0"



01 BUILDING TYPE 5 - PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"



Designed by: G.L.
Drawn by: S.I.
Architect of Record:
Date Plotted: 3/27/12
Issue for Pricing / Bidding: 12/14/11
Issue for Permit Application:
Issue for Construction:

Revisions:

#	DATE	COMMENTS

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PARKSIDE TOWNS
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HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5350 ALPHA ROAD • DALLAS, TEXAS 75240
(972) 701-9636 • (972) 701-9639 FAX
DALLAS IRVINE NEW ORLEANS ORLANDO
www.humphreys.com



SHEET CONTENTS:
BUILDING TYPE 5
FLOOR PLANS & ELEVATIONS
SHEET NO.

A4.51

2010078

FILE: N:\2012\0212\Lake Park\Drawings\10078\A4.51.ctb
SCALE: 1/8" DATE/TIME: Mar 27, 2012, 3:30pm
USER: mrcrow REF: 10078-TBLK.dwg X:\BLDG5-ELEV.dwg X:\BLDG5-L.dwg X:\BLDG5-U.dwg X:\BLDG5-R.dwg X:\BLDG5-U-BIND.dwg X:\C2-G.dwg

EXTERIOR ELEVATION GENERAL NOTES:

1. ALL LOWER ROOFS TO HAVE SLOPED SOFFITS UNLESS NOTED OTHERWISE.
2. ALL BRICK PROTECTIONS OR RECESSES TO BE 3/4" FROM FACE OF RUNNING BOND FACE BRICK.
3. ALL MORTAR SHALL BE WHITE. USE WHITE SAND AND WHITE PORT. CEMENT.
4. ALL SPECIAL COURSING MUST ALIGN AS IT TURNS ANY CORNER WITH BOTH WALLS.
5. ALL MASONRY WORK MUST BE DONE IN A CRAFTSMAN LIKE WAY BY EXPERIENCED MASONS.
6. CUT BRICK AND STONES WITH WET SAWS AS REQUIRED TO PROVIDE UNIFORM MASONRY JOINT WIDTHS.
7. ALL SOLDIER AND ROWLOCK COURSES ARE PROTECTED OR RECESSES UNLESS NOTED OTHERWISE.

NOTE:

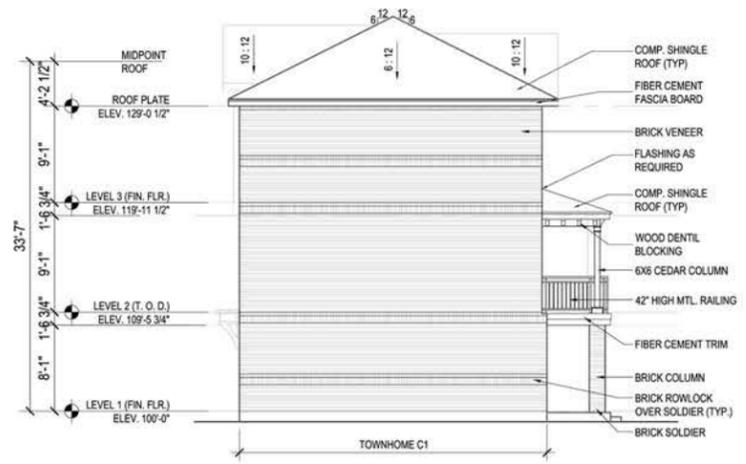
1. BUILDING #39 TO HAVE A BRICK TYPE "1".
2. BUILDING #40 TO HAVE A BRICK TYPE "2".



01 BUILDING URBAN TYPE 6 - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL	SUBTOTAL	TOTAL / BLDG	PERCENTAGE	# BLDGS	TOTAL
BT VI - BRICK VENEER	3,796.05		80%		7,592.10
BT VI - FIBER CEM. PANEL	972.17	4,768.22	20%	2	1,944.34

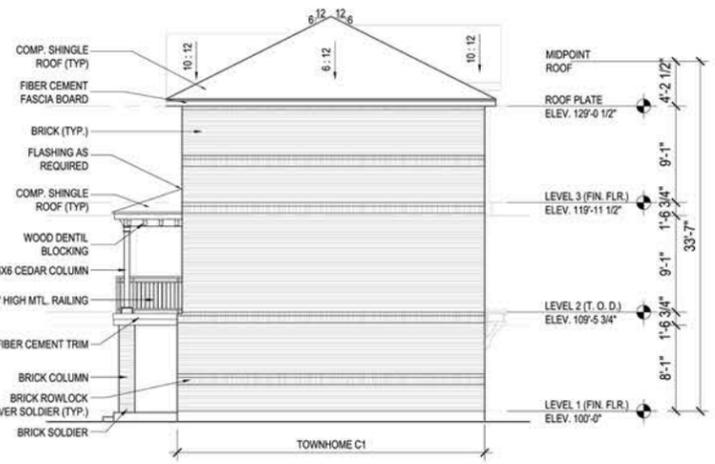
*NOTE: MEASUREMENTS IN SQUARE FEET



04 BUILDING URBAN TYPE 6 - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



03 BUILDING URBAN TYPE 6 - REAR ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING URBAN TYPE 6 - LEFT ELEVATION
SCALE: 1/8" = 1'-0"

FILE: M:\2010\10078 Lake Park Phase II\CD\10078A463_CTY.dwg
 SCALE: 86 DATE/TIME: Mar 27, 2012 3:41pm
 USER: mmonw XREF: 10078-TBL.dwg X-BLOCK: U.dwg X-C: U.dwg X-BLOCK: ELEV.dwg

Designed by: **G.L.**
 Drawn by: **S.I.**
 Architect of Record: **S.I.**
 Date Plotted: 3/27/12
 Issue for Pricing / Bidding: 12/14/11
 Issue for Permit Application:
 Issue for Construction:
 Revisions:

#	DATE	COMMENTS

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 Richardson, TX
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SHEET CONTENTS:
 BUILDING TYPE 6 ELEVATIONS
 SHEET NO.

A4.63
 2010078

EXTERIOR ELEVATION
GENERAL NOTES:
1. ALL LOWER ROOFS TO HAVE SLOPED SOFFITS UNLESS NOTED OTHERWISE.
2. ALL BRICK PROTECTIONS OR RECESSES TO BE 3/4" FROM FACE OF RUNNING BOND FACE BRICK.
3. ALL MORTAR SHALL BE WHITE. USE WHITE SAND AND WHITE PORT CEMENT.
4. ALL SPECIAL COURSING MUST ALIGN AS IT TURNS ANY CORNER WITH BOTH WALLS.
5. ALL MASONRY WORK MUST BE DONE IN A CRAFTSMAN LIKE WAY BY EXPERIENCED MASONS.
6. CUT BRICK AND STONES WITH WET SAWS AS REQUIRED TO PROVIDE UNIFORM MASONRY JOINT WIDTHS.
7. ALL SOLDIER AND ROWLOCK COURSES ARE PROTECTED OR RECESSES UNLESS NOTED OTHERWISE.

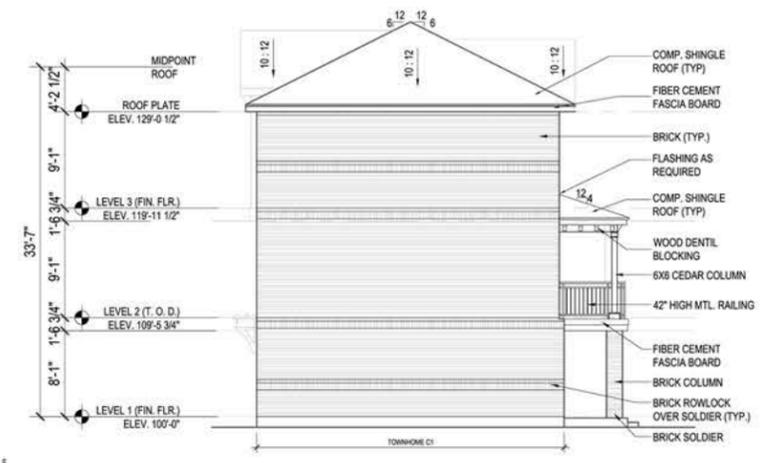
NOTE:
1. BUILDINGS #16, 18, 25, 29, 41 TO HAVE A BRICK TYPE "1".
2. BUILDING #17, 19, 38 TO HAVE A BRICK TYPE "2"



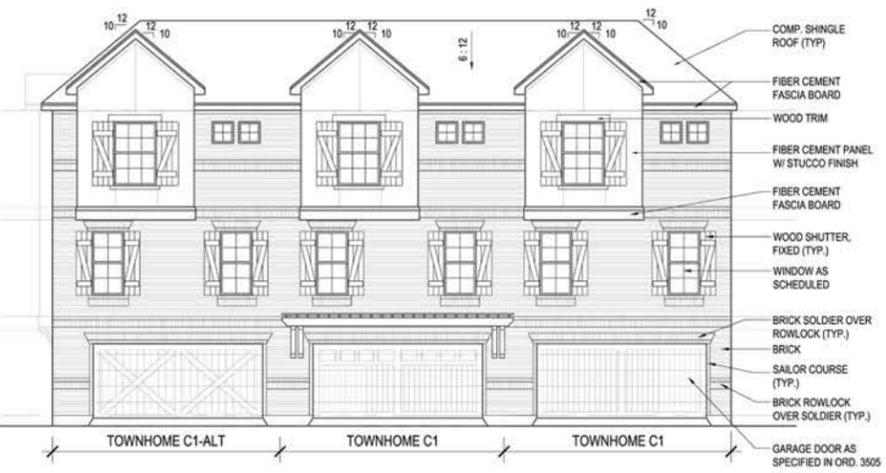
01 BUILDING URBAN TYPE 6 ALT. - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL	SUBTOTAL	TOTAL / BLDG	PERCENTAGE	# BLDGS	TOTAL
BT VI-ALT - BRICK VENEER	3,515.11	4,651.51	76%	8	28,120.88
BT VI-ALT - FIBER CEM. PANEL	1,136.40		24%		9,091.20

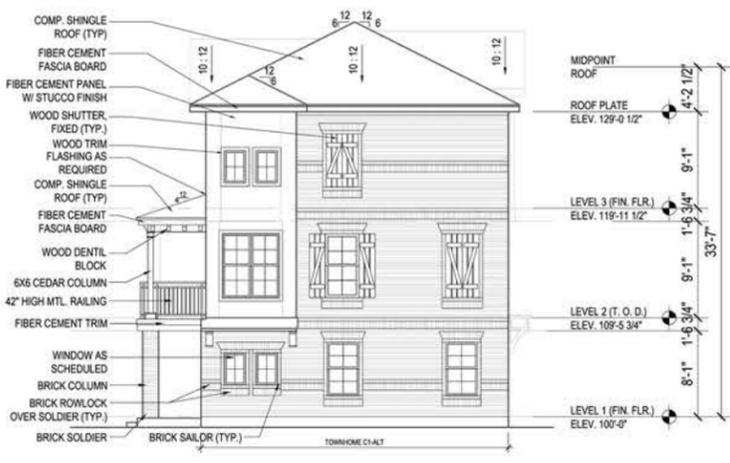
NOTE: MEASUREMENTS IN SQUARE FEET



04 BUILDING URBAN TYPE 6 ALT. - INTERNAL SIDE ELE
SCALE: 1/8" = 1'-0"



03 BUILDING URBAN TYPE 6 ALT. - REAR ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING URBAN TYPE 6 ALT. - EXTERNAL FACING SIDE ELEVATION
SCALE: 1/8" = 1'-0"

Exhibit B-7 - Part of Ordinance

Designed by: G.L.
Architect of Record: S.I.
Date Plotted: 3/27/12
Issue for Pricing / Bidding: 12/14/11
Issue for Permit Application: -
Issue for Construction: -

Revisions:	#	DATE	COMMENTS

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Richardson, TX
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LAKE PARK LIMITED PARTNERSHIP

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DALLAS IRVINE NEW ORLEANS ORLANDO
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SHEET CONTENTS:
BUILDING TYPE 6 ALT. ELEVATIONS
SHEET NO.

A4.64
2010078

FILE: M:\2010\10078 Lake Park Phase I\CD\10078A464_CITY.dwg
SCALE: 96 DATE/TIME: Mar 27, 2012 3:41pm
USER: mchow ARE/F50:10078TRK.dwg V8:CD6-ALT-ELEV.dwg



EXTERIOR ELEVATION GENERAL NOTES:

1. ALL LOWER ROOFS TO HAVE SLOPED SOFFITS UNLESS NOTED OTHERWISE.
2. ALL BRICK PROTECTIONS OR RECESSES TO BE 3/4" FROM FACE OF RUNNING BOND FACE BRICK.
3. ALL MORTAR SHALL BE WHITE. USE WHITE SAND AND WHITE PORT. CEMENT.
4. ALL SPECIAL COURSING MUST ALIGN AS IT TURNS ANY CORNER WITH BOTH WALLS.
5. ALL MASONRY WORK MUST BE DONE IN A CRAFTSMAN LIKE WAY BY EXPERIENCED MASONS.
6. CUT BRICK AND STONES WITH WET SAWS AS REQUIRED TO PROVIDE UNIFORM MASONRY JOINT WIDTHS.
7. ALL SOLDIER AND ROWLOCK COURSES ARE PROTECTED OR RECESSES UNLESS NOTED OTHERWISE.

NOTE:
 1. BUILDING #28 TO HAVE A BRICK TYPE "2".

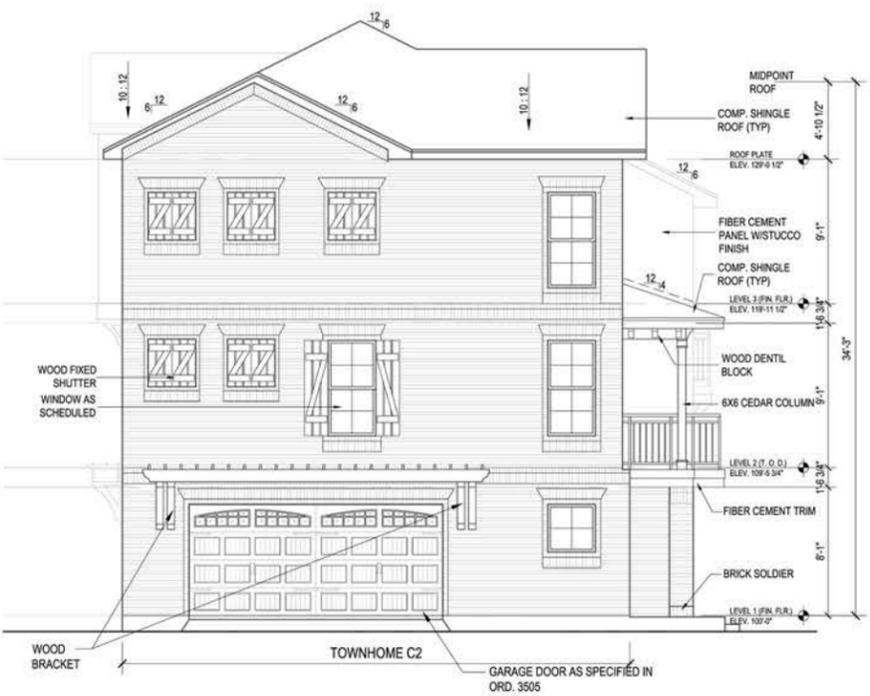


03 BUILDING URBAN TYPE 7 - REAR/STREET ELEVATION
 SCALE: 3/16" = 1'-0"

04 BUILDING URBAN TYPE 7 - INTERNAL SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

MATERIAL	SUBTOTAL	TOTAL / BLDG	PERCENTAGE	# BLDGS	TOTAL
BT VII - BRICK VENEER	4,561.44	5,910.33	77%	1	4,561.44
BT VII - FIBER CEM. PANEL	1,348.89		23%		1,348.89

*NOTE: MEASUREMENTS IN SQUARE FEET



02 BUILDING URBAN TYPE 7 - EXTERNAL SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



01 BUILDING URBAN TYPE 7 - FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

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LEGEND

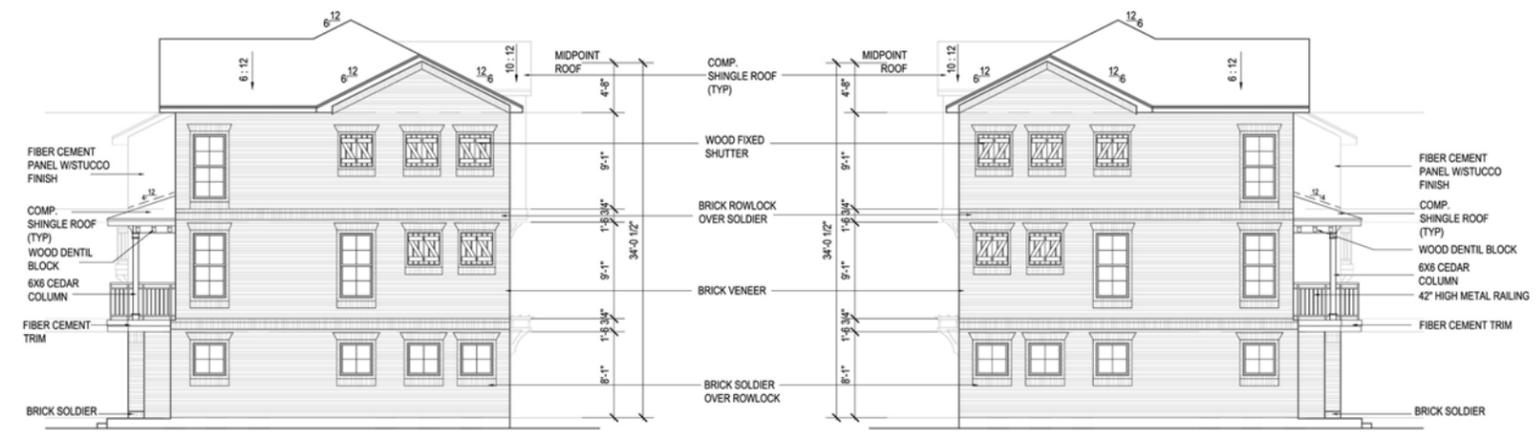
- 2 (TWO) - 1 (ONE) HOUR FIRE RATED WALLS TO UNDERSIDE OF ROOF DECK AT EACH TOWNHOME TENANT SEPARATION WALL TURN OUT GYP. BD. 4'-0" MIN. EACH SIDE OF WALL UNDER ROOF DECK
- RIDGE VENT
9 SF NET OPEN EA. SIDE OF DRAFTSTOP
- 14 1/2" X 14 1/2" GRAVITY VENT,
150 SQ. IN. NET FREE AREA
- CONT. SOFFIT VENT
- D.S. DOWNSPOUT
- 6" GUTTER
- ADD 1 LAYER 5/8 TYPE "X" GYP. BOARD UNDERNEATH PLYWOOD 4 FEET ON EACH SIDE OF 1 HR WALL.
- INDICATES 3/4" PLYWOOD DECK ON 2X'S PLATFORM FOR HVAC EQUIPMENT AND STORAGE

EXTERIOR ELEVATION GENERAL NOTES:

- ALL LOWER ROOFS TO HAVE SLOPED SOFFITS UNLESS NOTED OTHERWISE.
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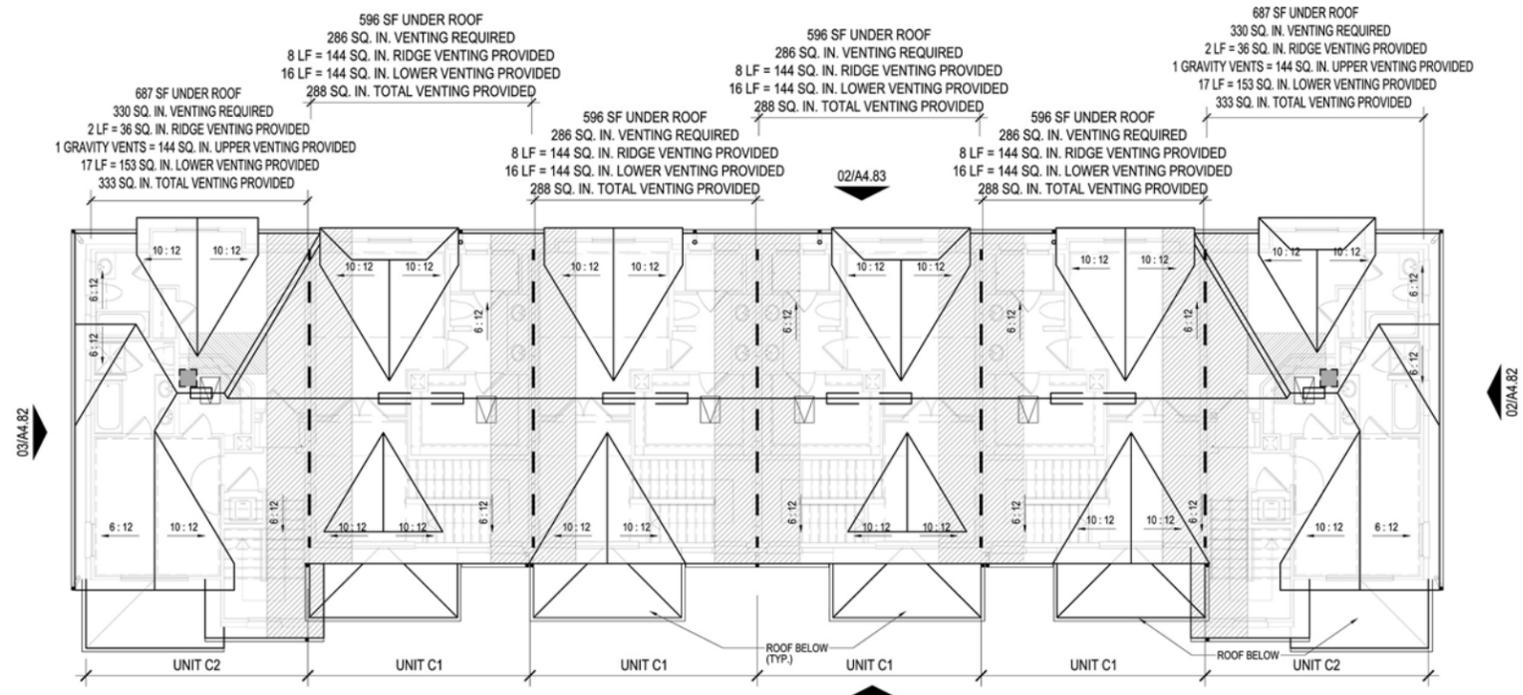
NOTE:

- BUILDINGS #20, 30 TO HAVE A BRICK TYPE "1".
- BUILDINGS #21, 31, 37 TO HAVE A BRICK TYPE "2".



03 BUILDING URBAN TYPE 8 - RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

02 BUILDING URBAN TYPE 8 - LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



01 BUILDING TYPE 8 - ROOF PLANS
 SCALE: 1/8" = 1'-0"

FILE: M:\2010\10078 Lake Park Phase II\CD\10078A482_CTY.dwg
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 Richardson, TX
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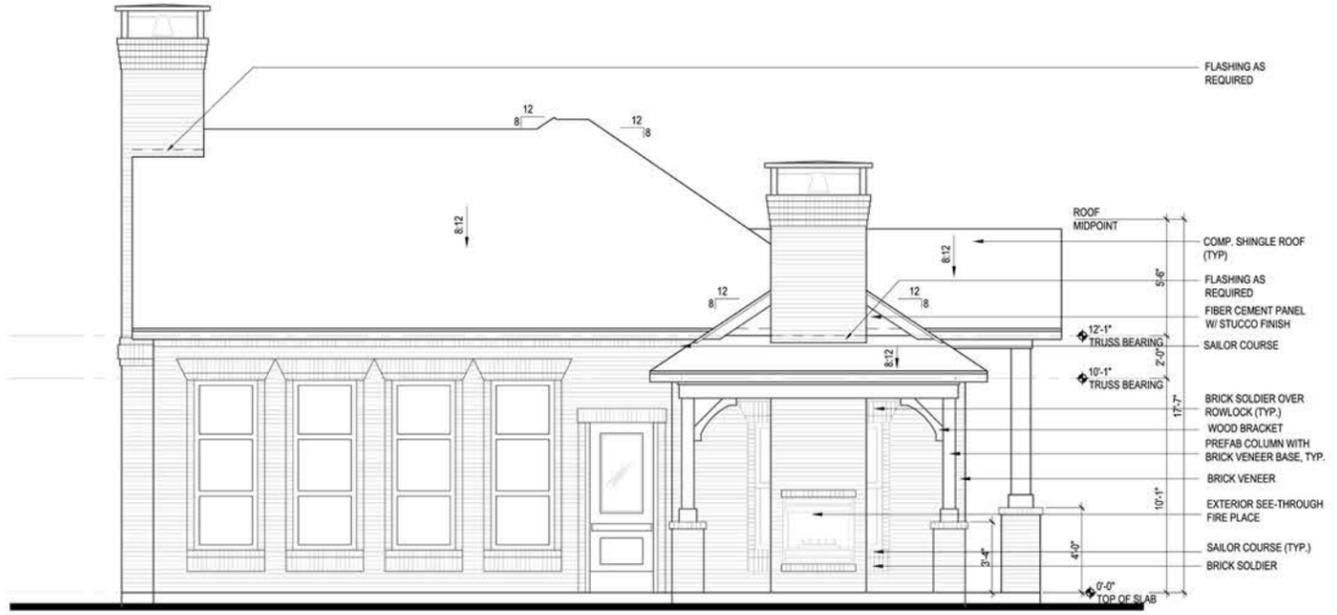


SHEET CONTENTS:
 BUILDING TYPE 8
 ROOF PLAN/SIDE ELEV'S
 SHEET NO.

A4.82

Designed by:	G.L.	
Drawn by:	S.I.	
Architect of Record:	-	
Date Plotted:	3/27/12	
Issue for Pricing / Bidding:	12/14/11	
Issue for Permit Application:	-	
Issue for Construction:	-	
Revisions:		
#	DATE	COMMENTS

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02 AMENITY BUILDING - LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

MATERIAL	SUBTOTAL	TOTAL / BLDG	PERCENTAGE	# BLDGS	TOTAL
AMENITY BT - BRICK V.	2,143.70	2,143.70	100%	1	2,143.70

*NOTE: MEASUREMENTS IN SQUARE FEET



01 AMENITY BUILDING - FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

PARKSIDE TOWNS
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SHEET CONTENTS:
 AMENITY BUILDING
 ELEVATIONS

SHEET NO.

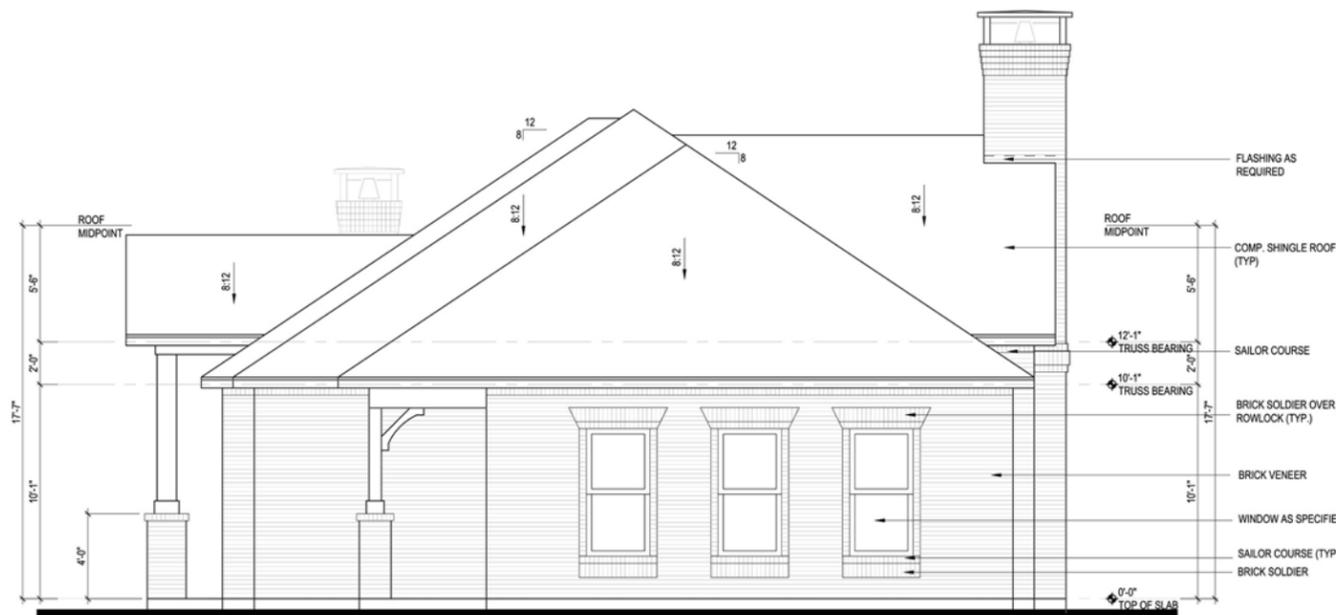
A8.13

2010078

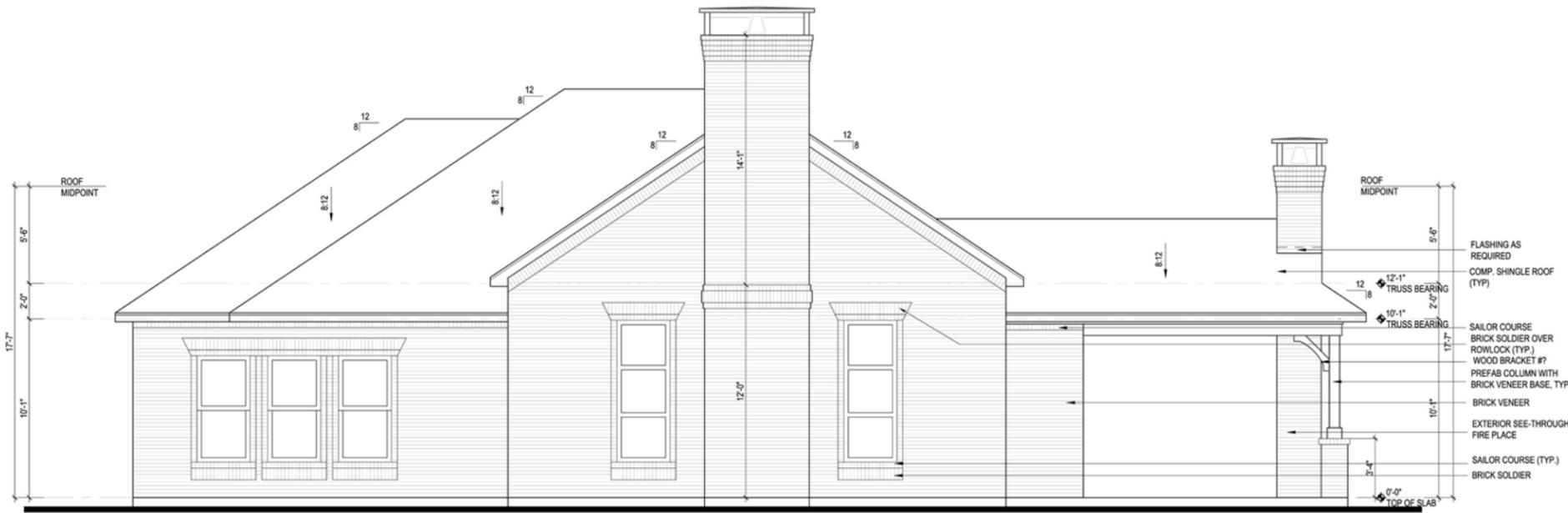
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Designed by:	GL	
Drawn by:	S.I.	
Architect of Record:		
Date Plotted:	3/27/12	
Issue for Pricing / Bidding:	12/14/11	
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

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02 AMENITY BUILDING - RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



01 AMENITY BUILDING - FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

FILE: I:\2010\10078 Lake Park Phase II\CD\10078A\14.dwg
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SHEET CONTENTS:
 AMENITY BUILDING
 ELEVATIONS

SHEET NO.
A8.14
 2010078

Engineer of Record:
Drawn by:
Date Plotted:
DATE PREPARED: MARCH 5, 2012

Revisions:	#	DATE	COMMENTS

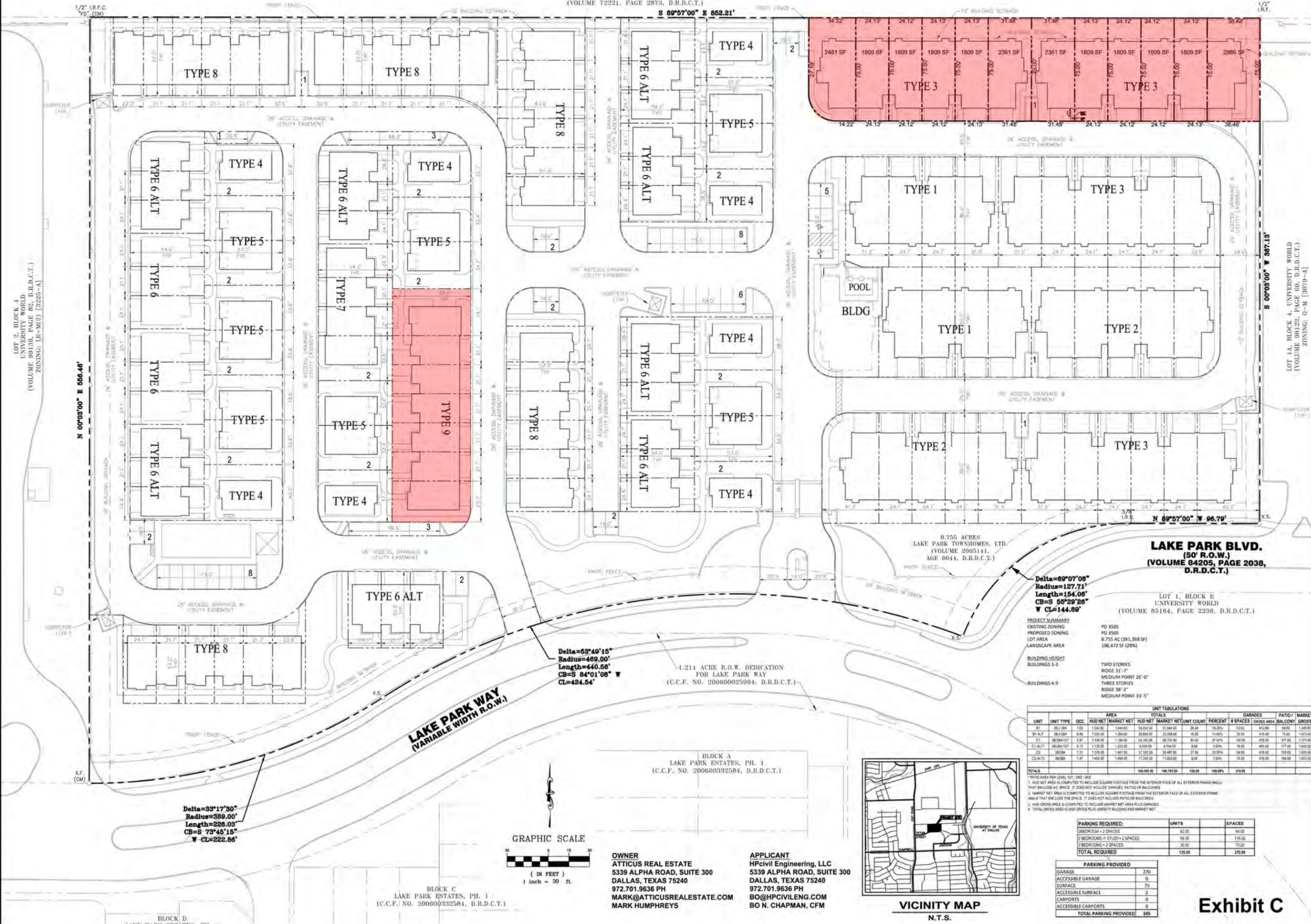
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**PARKSIDE TOWNS
(LAKE PARK PHASE II)**
CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

Hcivil engineering, LLC.
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DALLAS • CHARLOTTE • IRVINE • LAS VEGAS
NEW ORLEANS • ORLANDO • PHOENIX
TX REGISTERED ENGINEERING FIRM F-12600
www.hpcivileng.com

SHEET CONTENTS:
ZONING EXHIBIT
SHEET NO.
EX A
#11-349



LOT 2, BLOCK 4
UNIVERSITY WORLD
(VOLUME 99139, PAGE 82, D.R.D.C.T.)
ZONING: LR-M(2) [3225-A]

N 00°05'00" E 556.46'

LOT 1A, BLOCK 4, UNIVERSITY WORLD
(VOLUME 99139, PAGE 80, D.R.D.C.T.)
ZONING: 0-M [3079-A]

LAKE PARK BLVD.
(50' R.O.W.)
(VOLUME 84205, PAGE 2038,
D.R.D.C.T.)

LOT 1, BLOCK E
UNIVERSITY WORLD
(VOLUME 85164, PAGE 2236, D.R.D.C.T.)

8.755 ACRES
LAKE PARK TOWNHOMES, LTD.
(VOLUME 8005111,
AGE 0044, D.R.D.C.T.)

BLOCK A
LAKE PARK ESTATES, PH. 1
(C.C.F. NO. 200600332504, D.R.D.C.T.)

BLOCK C
LAKE PARK ESTATES, PH. 1
(C.C.F. NO. 200600332504, D.R.D.C.T.)

BLOCK D

Delta=69°07'08"
Radius=127.71'
Length=154.06'
CB=S 55°29'28"
W CL=144.89'

Delta=53°49'15"
Radius=489.00'
Length=440.58'
CB=S 84°01'08" W
CL=424.54'

Delta=33°17'30"
Radius=389.00'
Length=228.03'
CB=S 73°45'15"
W CL=222.86'

1.214 ACRE R.O.W. DEDICATION
FOR LAKE PARK WAY
(C.C.F. NO. 200600025094, D.R.D.C.T.)

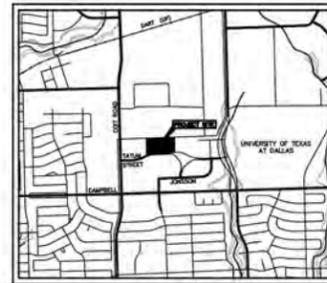
PROJECT SUMMARY
EXISTING ZONING PD 3505
PROPOSED ZONING PD 3505
LOT AREA 8,755 AC (381,368 SF)
LANDSCAPE AREA 106,472 SF (28%)
BUILDING HEIGHT
BUILDINGS 1-3 TWO STORIES
RIDGE 31'-7"
MEDIUM POINT 26'-0"
THREE STORIES
RIDGE 38'-2"
MEDIUM POINT 33'-5"
BUILDINGS 4-9

UNIT	UNIT TYPE	OCC	AREA		MARKET NET		HLD COUNT	PERCENT	# SPACES	GARAGES	PATIO	MARKET GROSS	
			HLD NET	MARKET NET	HLD NET	MARKET NET							
B1-ALT	2B1-2B2	722	1,342.00	1,444.00	34,802.00	31,044.00	26.00	39.20%	52.00	411.00	59.00	5,408.00	
B1-ALT	2B1-2B2	889	1,503.00	1,589.00	25,668.00	22,588.00	18.00	11.61%	32.00	415.00	75.00	1,473.00	
B1	2B1-2B2	537	1,145.00	1,158.00	35,200.00	28,700.00	50.00	27.04%	100.00	415.00	177.00	4,371.00	
C1-ALT	2B1-2B2	812	1,132.00	1,201.00	8,891.00	8,784.00	8.00	4.52%	16.00	415.00	177.00	1,840.00	
C2	2B1-2B2	731	1,279.00	1,481.00	37,152.00	29,447.00	27.00	20.90%	34.00	415.00	159.00	1,800.00	
C2-ALT	2B1-2B2	392	747	1,403.00	1,404.00	11,340.00	11,053.00	8.00	3.95%	16.00	415.00	188.00	1,843.00
TOTALS					168,088.00	168,791.00	133.00	100.00%	270.00				

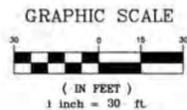
*HLD AREA PER LEVEL 1ST - 2ND - 3RD
1. HLD NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM THE INTERIOR FACE OF ALL EXTERIOR FRAMED WALLS THAT ENCLOSE THE SPACE. IT DOES NOT INCLUDE GARAGES, PATIOS OR BALCONIES.
2. MARKET NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM THE EXTERIOR FACE OF ALL EXTERIOR FRAMED WALLS THAT ENCLOSE THE SPACE. IT DOES NOT INCLUDE PATIOS OR BALCONIES.
3. HLD GROSS AREA IS COMPUTED TO INCLUDE MARKET NET AREA PLUS GARAGES.
4. TOTAL BRGS AREA IS HLD GROSS PLUS AMENITY BUILDING AND MARKET NET.

PARKING REQUIRED:	UNITS	SPACES
2 BEDROOM + 2 SPACES	42.00	84.00
2 BEDROOMS + 1 STUDY + 2 SPACES	58.00	116.00
3 BEDROOMS + 2 SPACES	35.00	70.00
TOTAL REQUIRED	135.00	270.00

PARKING PROVIDED:	UNITS	SPACES
GARAGE	270	270
ACCESSIBLE GARAGE	9	9
SURFACE	73	73
ACCESSIBLE SURFACE	2	2
CARPPOITS	0	0
ACCESSIBLE CARPOITS	0	0
TOTAL PARKING PROVIDED	345	345



VICINITY MAP
N.T.S.



OWNER
ATTICUS REAL ESTATE
5339 ALPHA ROAD, SUITE 300
DALLAS, TEXAS 75240
972.701.9636 PH
MARK@ATTICUSREALESTATE.COM
MARK HUMPHREYS

APPLICANT
HPCivil Engineering, LLC
5339 ALPHA ROAD, SUITE 300
DALLAS, TEXAS 75240
972.701.9636 PH
BO@HPCIVILENG.COM
BO N. CHAPMAN, CFM

FILE: N:\Projects\2011\11-349 TX-Richardson-Lake Park Phase II\AutoCAD\Zoning Concept Plan\Concept 11-349.dwg XREF: 11-349.dwg SURVEY 11-349.dwg STW 11-349.dwg UTI 11-349.dwg
USER: bchman DATE/TIME: Mar 23, 2012 - 12:57pm



Lake Park Estates Phase 1 - March 2012





Lake Park Estates Phase 1 - March 2012





(5)

2-unit
urban building

Lake Park Estates Phase 1 - March 2012



(6)

3-unit
urban building

Exhibit D-3

March 26, 2012

Chris Shacklett
Planner
City of Richardson Development Services
411 West Arapaho Road
Richardson, Texas 75080-4551

Re: Parkside Towns (formerly Lake Park Phase II)
Ordinance No. 3505 Amendment
HPCE #2011-349.CE

Mr. Shacklett,

By submission of the attached zoning application, I am formally requesting the amendment of the area regulations specified in Ordinance No. 3505 to allow for a minimum lot area of 1800 square feet for the estate townhome lots located adjacent to the Richardson/Dallas City limit line. While the current ordinance allows for a reduction in lot depth, reference to the acceptance of a reduction of lot area is only implied, not specified.

Following City Council's initial approval of building elevations, I also request amendment to the above ordinance be made to allow for Development Services' Staff review and approval of changes to the approved building elevations with the development package submittal.

Finally, please amend the General Provisions of the planned development district standards to indicate that the "property shall be developed in accordance with the RA-1100-M Residential Attached (Townhome) Home District regulations, except that buildings shall be allowed to contain up to seven individual townhomes." The remainder of this section shall remain unchanged.

Please feel free to contact me if you have questions.

Thank you,



Bo N. Chapman, CFM
Project Manager
HPcivil Engineering



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

PD AMENDMENT

File No./Name: ZF 12-04 / Parkside Towns (Lake Park Phase II)
Property Owner: Mark Humphreys / Lake Park Townhomes LTD
Applicant: Bo Chapman / HP Civil Engineering
Location: North side of Lake Park Way, east of Coit Road
(See map on reverse side)
Current Zoning: PD Planned Development
Request: A request by Bo Chapman, representing Lake Park Townhomes LTD, for amendments to the existing PD Planned Development special conditions contained in Ordinance 3505 on an 8.76-acre tract to reduce the minimum lot size for lots along the northern property line, increase the number of units allowed in a townhome building, and for approval of building elevations for a proposed townhome development located on the north side of Lake Park Way, east of Coit Road. The property is currently zoned PD Planned Development.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, APRIL 3, 2012
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

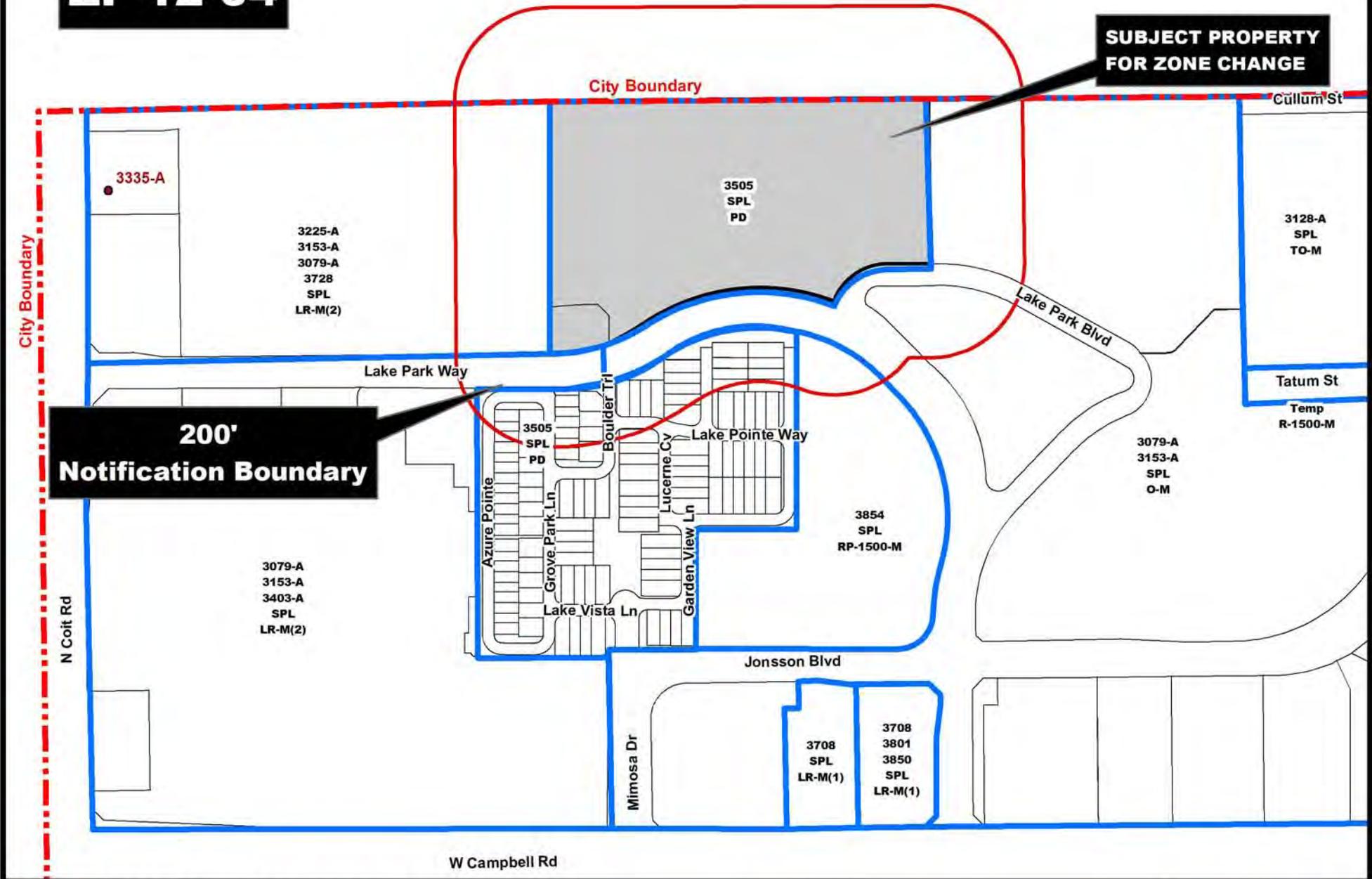
The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/DevelopmentServices.aspx?id=13682>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 12-04.

Date Posted and Mailed: 03/23/12

ZF 12-04



ZF 12-04 Notification Map

Updated By: shacklett, Update Date: March 23, 2012
File: DSI\mapping\Cases\Z\2012\ZF1204\ZF1204 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



UNIVERSITY WORLD OWNERS OC
% EXCEL ASSOC MGMT INC
PO BOX 941169
PLANO 75094-1169

BTMU CAPITAL CORPORATION
111 HUNTINGTON AVE
BOSTON 02199-7610

HD DEVELOPMENT PPTIES LP
PROPERTY TAX DEPT #6504
PO BOX 105842
ATLANTA 30348-5842

A O C LAND INVESTMENT LLC
% SOUTHERN WEALTH MGMT
5005 L B J FWY STE 920
DALLAS 75244-6142

WILLIAMS ROBERT S
1360 W CAMPBELL RD STE 10
RICHARDSON 75080-2828

LAKE PARK TOWNHOMES LTD
1100 PROVIDENCE TOWERS
5001 SPRING VALLEY RD
DALLAS 75244-3946

STADLER KENT & JAN
1220 LAKE POINTE WAY
RICHARDSON 75080-8409

MENDELZON RONALD & JUDY
1222 LAKE POINTE WAY
RICHARDSON 75080-8409

KNABE AUDREY
1224 LAKE POINTE WAY
RICHARDSON 75080-8409

USHER KENNETH P & SUSAN M
1226 LAKE POINTE WAY
RICHARDSON 75080-8409

BEALL LI Q
2115 BOULDER TRL
RICHARDSON 75080-8407

TOWNSEND CHRISTOPHER K
2111 BOULDER TRL
RICHARDSON 75080-8407

TU MELANIE C
1711 MASSACHUSETTS AVE NW
WASHINGTON 20036-2101

YU MIKE JIUN YIH & SHEAU LA
2113 GROVE PARK LN
RICHARDSON 75080-8405

KALAMKAR RUTURAAJ
2413 ARBOR GATE LN
COLLEYVILLE 76034-5069

SETTY JOHN
2203 SHADY VISTA
RICHARDSON 75080-8411

HAI SILVI S & SHAOUL S
2210 SHADY VISTA
RICHARDSON 75080-8412

GAMLIEL GILA
2209 REFLECTION POINTE
RICHARDSON 75080-8413

LOWER STEPHEN L &
KATHERINE G
2206 SHADY VISTA
RICHARDSON 75080-8412

VINZANT JENNIFER SHAY
2207 REFLECTION POINTE
RICHARDSON 75080-8413

LIVELY PAUL L & NANCY D
2204 SHADY VISTA
RICHARDSON 75080-8412

LAI ZEN YOUNG
2205 REFLECTION POINTE
RICHARDSON 75080-8413

KIM SHIN KYUNG HWA
1221 LAKE POINTE WAY
RICHARDSON 75080-8410

BHOWMIK REKHA
2120 GROVE PARK LN
RICHARDSON 75080-8406

CLAXTON DEBORAH A
2116 GROVE PARK LN
RICHARDSON 75080-8406

NGO TUAN Q &
JOYLYNN HUYNII
2118 GROVE PARK LN
RICHARDSON 75080-8406

DAVIS JUDITH W
2209 SHADY VISTA
RICHARDSON 75080-8411

JOHNSON ROBERT GEORGE
2207 SHADY VISTA
RICHARDSON 75080-8411

HERCEG LAUREL B
2121 BOULDER TRL
RICHARDSON 75080-8407

BERMAN EVELYN S
12508 SUNLIGHT DR
DALLAS 75230-1854

DALLAS CITY OF
PLANNING DEPT
1509 MARILLA ST
DALLAS 75201

BO CHAPMAN
HP CIVIL ENGINEERING
5339 ALPHA RD STE 300
DALLAS, TX 75240

MARK HUMPHREYS
LAKE PARK TOWNHOMES LTD
1100 PROVIDENCE TOWERS
5001 SPRING VALLEY RD
DALLAS 75244-3946

ZF 12-04
Notification List



Zoning Change Request Lake Park Blvd.
Ron Mendelzon
to:
chris.shacklett
03/27/2012 03:30 PM
Sent by:
ron@ltscoop.com
Hide Details
From: Ron Mendelzon <ron.mendelzon@sbcglobal.net>

To: chris.shacklett@cor.gov

Sent by: ron@ltscoop.com

As a formal request, I would ask that in consideration of the change in the density for the zoning request that due consideration be made for the length and width of each units driveway out of their garages. The Project done by the developer requesting the zoning change for the project across the street (Lake Park Estates) has had considerable problems with parking and the fact that many of the driveways are insufficient to place a car or even two on the space without encroaching on the fire lanes. Many cars need to be parked horizontally to even fit. Excess parking is all located on the west side of our project which is not accessible or convenient to any resident unless they live on that side. Parking should be homogeneous throughout the project. As a former HOA President for Lake Park Estates I can testify to the problems caused by this deficient development.

Additionally, I would request that access to the new project be through a side road rather than direct gated access to Lake Park Blvd. Having one access from a road extension rather than from a gated entrance would be a safer plan. In that way, a direct access to the east and west lanes could be made rather than forcing illegal turns in the wrong direction and access to both directions.

--

Ron Mendelzon
1222 Lake Pointe Way
Richardson, TX 75080
972-238-5558
Fax 972-238-5559
ron.mendelzon@LTCScoop.com



ZF 12-04/Parkside Towns

Judy Davis to: chris.shacklett@cor.gov

03/28/2012 09:00 AM

In regard to reducing the minimum lot size, I live at Lake Park Estates (Mark's property across the street) and we are very crowded here. There are few driveways here that are long enough for owners and guests to park. There are few guest parking spaces that are equally allotted throughout the complex. The quality of the new complex will suffer if lots are smaller. The plan for upscale living in this unique area of Richardson will suffer. I know that Richardson wants this to be a high-end development. Please do not allow profit (greed) to overshadow the goal of Richardson for luxury living in a prime location. Thank you, Judith Davis. 2209 Shady Vista 972-207-9305.



ZF 12-04/Parkside Towns
Judy Davis to: chris.shacklett@cor.gov

03/29/2012 08:01 AM

These should be luxury townhouses at Parkside Towns. Ten or so years from now, crowding this area would lead to greater crime area, less well-kept area which are more expensive for the city. Let's keep Richardson an upscale low crime area. Don't line the pockets of the developer. Judith Davis 2209 shady Vista 972-207-9305

ORDINANCE NO. 3505

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AS HERETOFORE AMENDED, TO CHANGE THE ZONING FROM LR-M(2) SPL LOCAL RETAIL AND O-M SPL OFFICE TO PD PLANNED DEVELOPMENT DISTRICT FOR A TOWNHOUSE DEVELOPMENT SUBJECT TO SPECIAL CONDITIONS; THE PROPERTY CONSISTS OF TWO TRACTS OF LAND TOTALING 18.02 ACRES, THE NORTHERN TRACT SITUATED APPROXIMATELY 1,035 FEET EAST OF THE EAST RIGHT-OF-WAY LINE OF COIT ROAD AND BOUNDED ON THE NORTH BY THE RICHARDSON CITY LIMIT LINE AND ON THE SOUTH BY TATUM STREET; THE SOUTHERN TRACT SITUATED APPROXIMATELY 865 FEET EAST OF THE EAST RIGHT-OF-WAY LINE OF COIT ROAD AND BOUNDED ON THE NORTH BY TATUM STREET AND ON THE SOUTH BY JONSSON BOULEVARD, AND BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT "C" ATTACHED HERETO; PROVIDING SPECIAL CONDITIONS; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE. (ZONING FILE 0501.)

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion have concluded that the Comprehensive Zoning Ordinance should be amended; **NOW, THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson, Texas on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended so as to grant a change of zoning from LR-M(2) SPL Local Retail and O-M SPL Office Zoning to PD Planned Development District for a Townhouse Development, subject to special conditions; the property consists of two tracts of land totaling 18.02 acres, the northern tract situated approximately 1,035 feet east of the east right-of-way line of Coit Road and bounded on the north by the Richardson

City Limit Line and on the South by Tatum Street; the southern tract situated approximately 865 feet east of the east right-of-way line of Coit Road and bounded on the North by Tatum Street and on the South by Jonsson Boulevard, and being more particularly described in Exhibit "C" attached hereto.

SECTION 2. That the above change of zoning to Planned Development District for a Townhouse Development is approved subject to the following conditions, to-wit:

ZF 0501

PLANNED DEVELOPMENT DISTRICT STANDARDS

Overall Intent and Purpose: The purpose of the PD Planned Development district is to allow for the development of a townhome development generally in accordance with the Concept Plan attached hereto as Exhibit "A".

General Provisions: This district will accommodate the development of a maximum of 253 townhome residential lots. Except as provided herein, the property shall be developed in accordance with the RA-1100-M Residential Attached (Townhome) Home District regulations and the provisions of Chapter 21, Subdivisions, of the Code of Ordinances.

Area Regulations:

Lot Area: The minimum area of the lots shall be 1,920 square feet for estate townhomes and 1,092 square feet for urban townhomes.

Lot Coverage: The lot coverage of all buildings shall not exceed 70 percent of the area of the lot.

Lot Width: The minimum width of estate townhome lots shall be 24' feet at the front building line of the lot, and 21' for urban townhomes.

Lot Depth: The minimum depth of estate townhome lots shall be 80', except 75' shall be provided for the estate lots in the northern tract adjacent to the Richardson/Dallas City limit line, and urban townhome lots shall be 52'.

Density: The number of dwelling units shall not exceed 253 units.

Minimum Dwelling Size: The minimum dwelling size shall be 1,300 square feet, and a minimum of 40% of the homes shall have at least 1,500 square feet, exclusive of garages and breezeways.

Front Setbacks: The minimum front setback from all private streets and drives shall be 8'.

Side Setback: There shall be a side setback of no less than 3'. No windows or building openings shall be allowed for a setback of 3'

Corner Lot Setback: A minimum 5' side setback shall be provided from all private streets with adequate sight visibility determined by the City Traffic Engineer.

Rear Setback: The minimum depth of the rear setback shall be 15' for estate townhomes and 10' for urban townhomes.

Setbacks adjacent to Tatum Street and Jonsson Boulevard: The minimum building setbacks shall be 20'.

Additional Regulations:

Building Height: Buildings shall be a maximum of three (3) stories or 43'.

Open Space: A minimum of 430 square feet of common open space shall be provided per unit

Front Facade: Front facade designs for buildings with 6 units shall provide two different façade plans, with no two adjacent dwellings having the same façade. Adjacent urban buildings shall vary in design and attached units shall be allowed to have mirrored facade elevations.

Building Materials: All buildings shall be constructed in accordance with Article XXII-F Exterior Construction Standards of the City of Richardson Comprehensive Zoning Ordinance. Any portion of a building not requiring masonry construction shall be constructed of cementitious hardboard siding

Garage Door Design: Garage materials, and elevations shall vary in design so that a variety of architecture detailing is provided and no two adjacent lots shall have the same design.

Building Elevations: The City Council shall review and approve, upon recommendation by the City Plan Commission, elevations of representative building types for any new construction prior to the review of the subdivision plat for the property.

Private Fences: Private fences shall not exceed 6' in height and shall be cedar board on board with a consistent color and appearance, or decorative metal. No wood fence shall be allowed adjacent to common areas.

Parking: Two off-street parking spaces, accessible from a driveway constructed of an approved parking surface, shall be provided on each residential lot in an enclosed garage structure located behind the front building line to accommodate two motor vehicles for each dwelling unit.

A minimum of 0.5 visitor parking spaces shall be provided per unit for each of the gated communities. Visitor parking spaces shall be a minimum of nine (9) feet in width and eighteen

(18) feet in length, except parallel parking spaces shall be a minimum of ten (10) feet in width and twenty-two (22) feet in length.

Accessory Buildings: Accessory buildings shall not be allowed on lots containing dwelling units.

Sidewalks: Sidewalks shall not be required within the subdivision. The city standard 5-foot sidewalk shall be constructed along Tatum Street, Lake Park Boulevard and Jonsson Boulevard. Sidewalks shall be provided generally per the concept plan that provides a pedestrian link between the retail development and the townhome development. A pedestrian link shall also be provided between the two-townhome development tracts.

Alleys: Alleys shall not be required within the subdivision.

Streets: Streets interior to the subdivision per the concept plan shall be privately owned and maintained by a Homeowners Association.

Special Paving and Curbing: Enhanced street paving shall be provided per the concept plan and mountable curbs shall be allowed per the concept paving plan, attached hereto and marked Exhibit "B".

Trash Pickup: Trash dumpsters shall be provided to serve the development, as approved by the City Sanitation Department.

Perimeter landscaping: The landscaping along Tatum Street, Lake Park Boulevard and Jonsson Boulevard shall incorporate trees, shrubs and ground cover with an automated irrigation system. The quantity of trees to be installed shall be no less than one tree for every 35 linear feet of street frontage. Some of the required trees may be located on the common areas located on the opposite side of the perimeter fence. Landscaping located within the right-of-way shall be maintained by the Homeowners Association.

Perimeter screening and fencing: A perimeter screen and fence shall be installed utilizing a combination of masonry, decorative metal and landscaping, to include trees and/or shrubs.

The effective height of the perimeter screen/fence shall be as follows:

- 6' along the south property line adjacent to Jonsson Boulevard
- 6' along the eastern property line
- 6' adjacent to Tatum Street
- 6' along the western property line north of Tatum
- 4' along the western property line south of Tatum
- 4' along the northern property line

The design of the perimeter screening and fencing shall be approved by the City Plan Commission at the time of approval of the subdivision plat. Landscape materials which are a

part of the perimeter screening and fencing design may be located on the Home Depot site if permission is obtained

Interior street trees: A minimum of one tree for every two dwelling units shall be planted along streets interior to the subdivision. Type and size shall be determined based on the City of Richardson suggested plant list.

Common area landscaping: The quantity of trees and shrubs to be installed throughout the open space shall equal no less than .5 trees and three 5-gallon shrubs for each dwelling unit exclusive of the living screen and the perimeter landscaping along the western property line.

Plant material: Plant materials and size requirements shall be generally based on the City of Richardson suggested plant material list, except that Photinia shrubs or Bradford Pear trees shall be prohibited.

Landscape Plan approval: A detailed landscape plan shall be provided for City Plan Commission approval at the time of plat approval.

Detention pond design: At the time development plans are prepared, a Drainage Design and Enhancement Plan shall be provided for City Plan Commission approval.

Homeowners Association: There shall be a mandatory Homeowner's Association (HOA) established and incorporated that shall be responsible for maintaining all common planting areas, private streets, entry features, perimeter landscaping, and perimeter fencing. Provisions for the maintenance shall be included in the homeowner's association documents, which shall be presented for review by the city attorney as part of the submittal for the final plat of Phase I of the subdivision. The HOA shall annually prepare a reserve budget for maintenance of the private streets and other improvements to the common properties which takes into account the number and nature of any replaceable assets which the association owns or for which it is otherwise responsible, the expected life of each asset, and the expected repair or replacement cost. The HOA shall set the required capital contribution if any, in an amount sufficient to permit meeting the projected needs of the association, as shown on the budget, with respect both to amount and timing by annual review to be performed by a CPA firm to verify the amount in the reserve fund and shall provide a copy of the review to the City of Richardson. If, at any time the private street is dedicated to the City of Richardson, the city shall be entitled to that portion of monies in the reserve fund allocated to maintenance, repair and replacement of the streets dedicated

Requirements for adjacent non-residential uses: The requirement for masonry screening adjacent to residential uses shall be waived. No height setbacks shall be assessed from this property for development of the adjacent parcel(s).

Tatum Street realignment: Tatum Street shall be realigned and constructed generally per the concept plan as part of this development. At the time of site plan review, city staff shall review plans to ensure adequate sight visibility is provided for all driveways and streets entering Tatum Street.

Exceptions to city street design standards:

1. The design speed for Tatum Street shall be allowed to be reduced to 35 MPH, from the normal 40 MPH design.
2. The median length on Tatum Street located to the east of the main entrance into this development shall be allowed to be reduced from the required 450-foot length to approximately 75 feet.
3. The normal 200 foot driveway setback from a street intersection shall be allowed to be reduced to approximately 80' at the intersection of Tatum Street and Lake Park Boulevard
4. Mimosa Drive and Jonsson Boulevard shall be allowed to dead-end into private roadways.
5. Approval of the revised alignment for Tatum Street shall be subject to the amendment of the Master Transportation Plan to reflect the changes indicated on the Concept Plan.

SECTION 3. That the above-described property shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as herein and heretofore amended.

SECTION 4. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

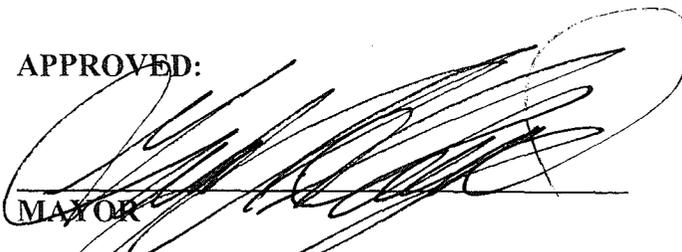
SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the

Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

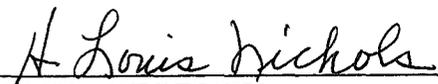
DULY PASSED by the City Council of the City of Richardson, Texas, on the 23rd day of May, 2005.

APPROVED:



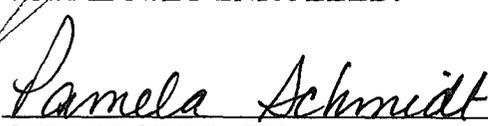
MAYOR

APPROVED AS TO FORM:

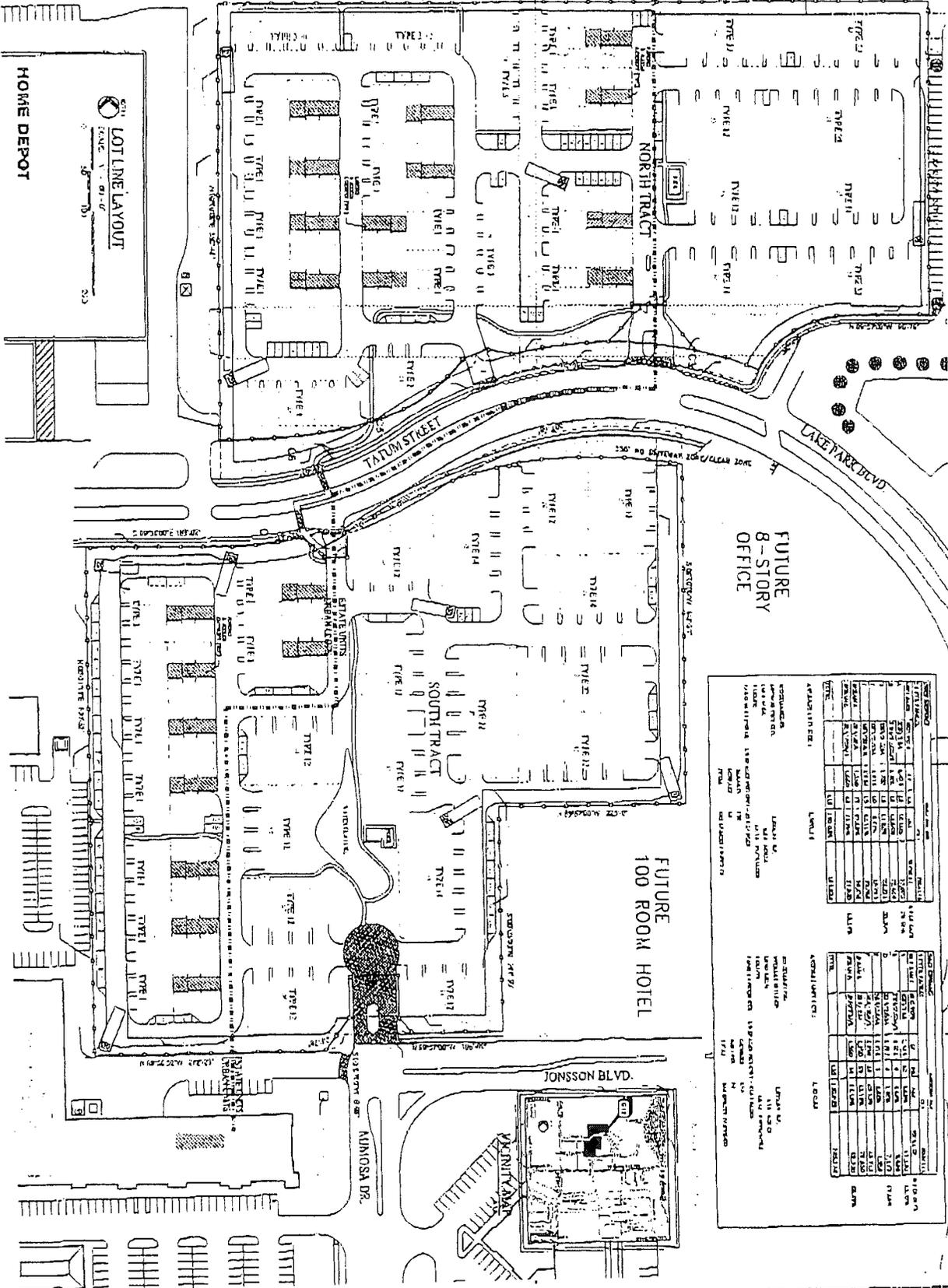


CITY ATTORNEY
(HLN/mew 05/13/05)(74325)

CORRECTLY ENROLLED:



CITY SECRETARY



APPROXIMATE UNIT COUNTS

TRACT	TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI	TYPE VII	TYPE VIII	TYPE IX	TYPE X	TYPE XI	TYPE XII	TYPE XIII	TYPE XIV	TYPE XV	TYPE XVI	TYPE XVII	TYPE XVIII	TYPE XIX	TYPE XX	TYPE XXI	TYPE XXII	TYPE XXIII	TYPE XXIV	TYPE XXV	TYPE XXVI	TYPE XXVII	TYPE XXVIII	TYPE XXIX	TYPE XXX
NORTH TRACT	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
SOUTH TRACT	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60

APPROXIMATE UNIT COUNTS (continued)

TRACT	TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI	TYPE VII	TYPE VIII	TYPE IX	TYPE X	TYPE XI	TYPE XII	TYPE XIII	TYPE XIV	TYPE XV	TYPE XVI	TYPE XVII	TYPE XVIII	TYPE XIX	TYPE XX	TYPE XXI	TYPE XXII	TYPE XXIII	TYPE XXIV	TYPE XXV	TYPE XXVI	TYPE XXVII	TYPE XXVIII	TYPE XXIX	TYPE XXX
STATE UNITS	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90
INDIVIDUAL	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120

A2.02
04/95

TOWNHOMES AT LENNOX POND
RICHARDSON, TEXAS

EXHIBIT
A

**FIELD NOTES
TRACT A**

Being a tract of land situated in the J. W. Curtis Survey, Abstract No. 345, Dallas County, Texas and being located in the City of Richardson, Texas, and being more particularly described as follows:

BEGINNING at a point in the north line of Tatum Street (80 foot right-of-way), said point being the southeast corner of Lot 2 in Block 4 of University World, and addition to the City of Richardson, Texas, as recorded in Volume 99138, Page 92 of the Deed Records of Dallas County, Texas;

THENCE N00°03'00"E along the east line of said Lot 2, 556.46 feet to a ½" iron rod with red FD cap set for corner;

THENCE S89°57'00"E, 852.21 feet to a ½" iron rod found for corner and the northwest corner of Lot 1A in Block 4 of University World, an addition to the City of Richardson as recorded in Volume 98122, Page 60 of the Deed Records of Dallas County, Texas;

THENCE S00°03'00"W along the west line of said Lot 1A, 367.13 feet to a ½" rod found for corner in the north line of Tatum Street:

THENCE N89°57'00"W along said north line, 96.79 feet to a ½" iron rod with red FD cap set for corner;

THENCE in a southwesterly direction with a curve to the left, Chord Bearing S55°29'26"W, chord length 144.89 feet, said curve having a central angle of 69°07'08" and a radius of 127.71 feet, an arc distance of 154.06 feet to a ½" iron rod with red FD cap set for corner;

THENCE in a southwesterly direction with a curve to the left, Chord Bearing S84°01'08"W, chord length 424.54 feet, said curve having a central angle of 53°49'15" and a radius of 469.00 feet, an arc distance of 440.56 feet to a ½" iron rod with red FD cap set for corner;

THENCE in a southwesterly direction with a curve to the right, Chord Bearing S73°45'15"W, chord length 222.86 feet, said curve having a central angle of 33°17'30" and a radius of 389.00 feet, an arc distance of 226.03 feet to an "X" in concrete found for corner and the place of beginning and containing 8.755 acres (381,380 square feet) of land.

EXHIBIT

tabbick

C

TRACT B

Being a tract of land situated in the J. W. Curtis Survey Abstract No. 345, Dallas County, Texas and being located in the City of Richardson, Texas, and being more particularly described as follows:

BEGINNING at a point in the south line of Tatum Street (80 foot right-of-way), said point being $S89^{\circ}36'00''E$ along said south line, 871.86 feet from its intersection with the east line of Coit Road;

THENCE $S89^{\circ}36'00''E$ along said south line, 163.02 feet to a 1/2" iron rod with red FD cap set for corner;
THENCE in a northeasterly direction with a curve to the left, Chord Bearing $N73^{\circ}45'15''E$, chord length 268.69 feet, said curve having a central angle of $33^{\circ}17'30''$ and a radius of 469.00 feet, an arc distance of 272.51 feet to a 1/2" iron rod with red FD cap set for corner;

THENCE in a northeasterly direction with a curve to the right, Chord Bearing $N79^{\circ}45'59''E$, chord length 299.71 feet, said curve having a central angle of $45^{\circ}18'57''$ and a radius of 389.00 feet, an arc distance of 307.66 feet to a 1/2" iron rod with red FD cap set for corner;

THENCE $S00^{\circ}03'00''W$, 442.21 feet to a 1/2" iron rod with red FD cap set for corner;

THENCE $N89^{\circ}57'00''W$, 225.00 feet to a 1/2" iron rod with red FD cap set for corner;

THENCE $S00^{\circ}03'00''W$, 267.50 feet to a 1/2" iron rod with red FD cap set for corner in the north line of Jonsson Road;

THENCE $N89^{\circ}57'00''W$ along said north line, 195.00 feet to a 1/2" iron rod with red FD cap set for corner in the west line of Mimosa Drive (80 foot right-of-way);

THENCE $S00^{\circ}03'00''W$ along said west line, 8.98 feet to an "X" in concrete found for corner;

THENCE in a westerly direction with a curve to the right, Chord Bearing $S66^{\circ}26'24''W$, chord length 24.20 feet, said curve having a central angle of $42^{\circ}16'34''$ and a radius of 33.55 feet, an arc distance of 24.76 feet to a 1/2" iron rod found for corner;

THENCE $N89^{\circ}56'58''W$, 272.23 feet to a 1/2" iron rod found for corner;

THENCE in a westerly direction with a curve to the right, Chord Bearing $S87^{\circ}54'27''W$, chord length 1.11 feet, said curve having a central angle of $04^{\circ}19'57''$ and a radius of 14.73 feet, an arc distance of 1.11 feet to a 1/2" iron rod with red FD cap set for corner;

THENCE $N00^{\circ}01'18''E$, 600.52 feet to a 1/2" iron rod with red FD cap set for corner to the place of beginning and containing 9.260 acres (403,363 square feet) of land.

ORDINANCE NO. 3863

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, ADOPTING STANDARDS OF CARE FOR YOUTH PROGRAMS OFFERED BY THE RICHARDSON PARKS AND RECREATION DEPARTMENT; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Texas Human Resource Code, Section 42.041 (b)(4), establishes requirements to exempt recreational programs operated by municipalities for elementary age (5-13) children from State child care licensing; and

WHEREAS, in order to receive exempt status for a youth recreation program, a municipality must adopt standards of care by ordinance after a public hearing for the program, then submit a copy of program standards, a notice of the public hearing for the program and a copy of the ordinance adopting the standards to the State; and

WHEREAS, the City Council after conducting a public hearing and affording a full and fair hearing to all citizens, and in the exercise of legislative discretion, has concluded that the attached standards of care should be approved.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the standards of care for youth programs offered by the Parks and Recreation Department of the City of Richardson, Texas, attached hereto as Exhibit “A”, are hereby adopted. As required by Texas Human Resource Code, Section 42.041(b)(14), the Standards adopted by this ordinance include staffing ratios; minimum staff qualifications; minimum facility, health, and safety standards; and mechanisms for monitoring and enforcing the adopted local standards.

SECTION 2. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 3. That if any section, paragraph, clause or provision of this Ordinance shall for any reason be held invalid or unenforceable, the invalidity or unenforceability of such section, paragraph, clause, or provision shall not affect any of the remaining provisions of this Ordinance.

SECTION 4. This Ordinance shall take effect upon its passage and the publication of the caption, as the law and charter in such cases provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the ____ day of _____, 2012.

APPROVED:

MAYOR

CORRECTLY ENROLLED:

CITY SECRETARY

APPROVED AS TO FORM:

CITY ATTORNEY
(PGS:04-09-12:TM 54953)

EXHIBIT "A"
CITY OF RICHARDSON YOUTH PROGRAMS
STANDARDS OF CARE

I. GENERAL INFORMATION/ADMINISTRATION

- A. Purpose: To provide basic childcare regulations for recreation activities operated by the Richardson Parks and Recreation Department. This will allow the department to qualify as exempt from requirements of the Texas Human Resources Code.
- B. Implementation: Program will be the responsibility of the Parks & Recreation Department, with a Day Camp Coordinator supervising the overall program and Day Camp Directors and Leaders administering the program on-site.
- C. Programs: Regulations apply to three (3) on-going summer programs:
 - Summer Day Camp (Kinder & Elementary)
 - Summer Playground Program
- D. Other: Each site will make available for the public and staff a current copy of the Standards of Care. Parents of participants will be provided a copy of Standards of Care during the registration process.
- E. Program Sites:
 - *Terrace Elementary School 300 North Dorothy Ave., Richardson, TX 75081
 - *RISD reserves the right to select an alternative site in case of summer repairs or maintenance requirements.
- F. Day Camp Objectives
 - 1. To offer a program wide in scope and varied in activities of different recreational activities: sports, games, arts and crafts, education, drama, special events, field trips, tournaments, etc.
 - 2. To provide a pleasant and memorable experience in a loving atmosphere.
 - 3. To provide a safe environment always promoting good health and welfare for all.
 - 4. To teach children how to spend their leisure time wisely, in an effort to meet several needs: emotional, physical and social.
- G. Exemption Status: Once an exempt status is established, the Licensing Division will not monitor the recreational program. The Licensing Division will be responsible for investigating complaints of unlicensed childcare and for referring other complaints to the municipal authorities or, in the case of abuse/neglect allegation, to the local police authorities.
- H. Standards of Care Review: Standards will be reviewed annually and approved by the City Council after a public hearing is held to pass an ordinance regarding section 42.041(b)(14) of the Human Resources Code.
- I. Child Care Licensing will not regulate these programs nor be involved in any complaint investigation related to the program.
- J. Any parent, visitor or staff may register a complaint by calling Richardson Heights Recreation Center at 972-744-7850, Monday through Friday, 8:00 a.m. to 5:00 p.m.

II. STAFFING

A. Day Camp Director-Job Descriptions and Essential Job Functions

Essential Job Functions:

1. Assists in the planning, budget reporting, scheduling and implementation of the day camp program.
2. Supervise summer staff that includes Day Camp Leaders and Leaders in Training.
3. Implement lesson plans as needed and assist day camp staff with keeping activities on schedule.
4. Plan and lead activities such as sports, games, arts and crafts, music and field trips.
5. Prepare payroll and maintain budget information.
6. Keep attendance records and camper information forms.
7. Communicate courteously and effectively with the other city employees, citizens and program patrons.
8. Implement appropriate discipline procedures when necessary.
9. Attend mandatory staff training session and conduct staff meetings as required.

Qualifications:

1. Must be mature, responsible and able to complete duties with minimal supervision.
2. Must be able to communicate well with the public, and skilled at interacting with children.
3. Must be skilled in supervising children of varying age levels in a group setting.
4. Must have First Aid and CPR certification prior to start of camp.
5. Must have a valid Texas Class C Driver's License.
6. Must complete departmental day camp staff training.
7. Must have previous experience supervising children in a day camp setting.
8. Must have previous experience supervising staff.
9. Must have strong organizational skills and have the ability to adapt easily to change.
10. Must pass city criminal background check prior to hiring.

B. Day Camp Leader-Job Descriptions and Essential Job Functions

Essential Job Functions:

1. Supervise programs and activities of the program during all scheduled hours
2. Maintain supply inventory.
3. Effectively follow lesson plans and instructions from Director.
4. Complete incident and accident reports effectively relating to participating patrons.
5. Communicate courteously and effectively with the other city employees, citizens and program patrons.
6. Attend mandatory staff training session and conduct staff meetings as required.

Minimum Qualifications:

1. Must be mature, responsible and able to complete duties with minimal supervision.
2. Must be able to communicate well with the public, and skilled at interacting with children.
3. Must have experience working with children and the ability to cope with large groups of children and high noise levels.
4. Must have First Aid and CPR certification prior to start of camp.
5. Must be 16 years of age at the time of application.

6. Must complete departmental day camp staff training.
 7. Must pass city criminal background check prior to hiring.
 8. Knowledge or skills in recreational games, sports, crafts and other activities.
- C. Other Requirements
1. Staff must complete the mandatory training program of at least 25 hours, in addition to planning hours with site staff prior to the start of camp. This training includes a departmental orientation, customer service, behavioral issues and discipline, as well as practical skills on activities for children in games, songs and crafts.
 2. Staff must exhibit competency, good judgment and self-control throughout the duration of the camp.
 3. Staff should relate to the children with courtesy, respect, acceptance and patience.
 4. Staff shall not abuse or neglect children.
- D. Criminal Background Checks: Criminal background checks will be conducted on prospective Day Camp employees.
- E. A prospective employee will be subject to a drug test prior to hiring.
- F. Staffing Ratios: The staff ratio will be 1 staff member per 10 children, ages 5-13 while on site and 1 staff member per 6 children off site.

III. FACILITY STANDARDS

- A. Emergency evacuation and relocation plans will be posted at each facility.
- B. Day Camp Directors and Leaders will inspect sites frequently for any sanitation or safety concerns. Those concerns should be passed on to the Camp Supervisor.
- C. Each camp must have a first aid kit. This shall be checked and stocked on a weekly basis by the on site Camp Directors. It shall include at the minimum bandages, first aid cream, rubber gloves, Neosporin, alcohol wipes, hot/cold packs, gauze, tweezers, ace bandages and scissors.
- D. In a situation where evacuation is necessary, the first priority of staff is to make sure all participants are in a safe location.
- E. Program sites will be inspected annually by the Fire Marshall. Each Facility Manager is responsible for compliance with Fire Marshall's directives.
- F. The recommended number of fire extinguishers shall be inspected prior to camp and indicate that they are properly charged.
- G. Medication will only be administered with written parental consent. Prescription medications shall be left with staff in their original container, labeled with the child's name, date, directions and physician's name. Medication shall be dispensed only as stated on the bottle, and not past the expiration date.

- H. Non-prescription medicine with the child's name and date on the medication may be brought if in the original container. Non-prescription medication will only be administered with written parental consent.
- I. Each indoor site shall have adequate indoor toilets and lavatories located such that children can use them independently and program staff can supervise as needed. Outdoor sites shall provide portable toilets based on number of children attending each day. Ratio of toilet to children will be 1:17.
- J. All participants must wear appropriate footwear daily. Sandals and flip flops will be allowed only in the pool area.

IV. SERVICE STANDARDS-Day Camp Staff

This information will be provided to each staff as a part of the day camp manual:

- A. Camp staff shirts, shorts and tennis shoes are to be worn at all times.
- B. City issued employee I.D. should be worn and clearly visible at all times except during swim time.
- C. Camp participants and parents will be treated with respect at all times.
- D. Camp staff will take it upon themselves to resolve complaints. Do not refer a customer to another staff person. If you are unable to resolve the complaint on the spot, take the customer's name and phone number, investigate complaint resolution and then follow up with the customer.
- E. Camp staff will keep parents informed of camp activities. A weekly schedule will be distributed on the Monday of each week and extra copies will be kept with the sign in log daily.
- F. Camp staff will note details of behavior of campers (accomplishments, discipline problems, general activities, etc.) and update parents on a daily basis if there is a problem.
- G. Camp staff will monitor the sign in/out log at all times.
- H. Camp staff will clean rooms after each activity. Floors will be swept/vacuumed, tables and chairs stacked, supplies put away. This is extremely important due to the fact that rooms are used throughout the day by other groups.
- I. Camp staff will spend 100% of their time actively involved with campers and/or parents.

V. OPERATIONAL ISSUES

- A. Emergency Phone numbers are kept with the Day Camp Director on field trips. Those numbers include fire, police, and ambulance services.

- B. A Day Camp Manual is given to every Day Camp Director and Leader. An additional manual will be located at each site where all staff can have access to the manual, which outlines the following:
 - 1. Discipline Issues
 - 2. City Rules and Regulations
 - 3. Forms that must be filled out
 - 4. Service Standards
 - 5. Game/activity leadership
 - 6. Ways to interact with children

- C. Sign in-sign out sheets will be used every day. Only adults listed on sign-in/out release will be allowed to pick up children. An authorized person must enter the building, present appropriate identification and sign the sheet in order for staff to release the child.

- D. Emergency evacuation and relocation plans will be posted at each facility.

- E. Parents will be notified regarding planned field trips and provided the required release forms.

- F. Enrollment information will be kept and maintained on each child and shall include:
 - 1. Child's name, birth date, home address, home telephone number, physician's phone number and address and phone numbers where parents may be reached during the day.
 - 2. Names and telephone numbers of persons to whom the child can be released.
 - 3. Field trip release form as needed.
 - 4. Liability waiver.
 - 5. Parental consent to administer medication, medical information and release on participant.

- G. Staff shall immediately notify the parent or other person authorized by the parent when the child is injured or has been involved in any situation that placed the child at risk.

- H. Staff shall notify parents or authorized persons of children in the facility when there is an outbreak of a communicable disease in the facility that is required to be reported to the County Department of Health. Staff must notify parents of children in a group when there is an outbreak of lice or other infestation in the group.

- I. Discipline:
 - 1. Discipline and guidance of children will be implemented in a consistent manner based on the Richardson Parks & Recreation Behavior Modification and Re-Enforcement Policy:
 - a. **First Offense** – warning
 - b. **Second Offense** – separation/time out (5 min.)
 - c. **Third Offense** – removal from activity (10 min.)
 - d. **Fourth Offense** – removal from activity and sent to Director (20 min.)
 - e. **Fifth Offense** – severe clause; removal of child from program
 - 2. Under no circumstances will there be cruel or harsh punishment or treatment.
 - 3. Incident reports will be filled out on any disciplinary cases, and information is to be shared with parents when picking up the child or sooner, when extreme cases occur. Continued disciplinary problems will result in the participant being asked to leave the program.

4. A deliberate action of harm to any camper or leader, vandalism, possession of a concealed weapon or controlled substance, emotional outbursts or tantrums, uncooperative attitude or any severe discipline problem disruptive to the program will result in immediate measures to remove the child from camp.

J. Illness or Injury

1. Parents shall be notified in cases of illness or injury.
2. An ill child will not be allowed to participate if the child is suspected of having a temperature and/or accompanied by behavior changes or other signs or symptoms until medical evaluation indicates that the child can be included in the activities. In the event an injury cannot be administered through basic first aid, staff will call 911.
3. When an injury occurs, an incident report shall be filled out immediately. The form shall be filled out completely with the original sent to the Community Events Supervisor's office and a copy kept in the Day Camp files.

VI. GENERAL GUIDELINES FOR CHILDREN

As a part of the Day Camp Manual, staff will be given the following information:

- A. Children must stay off of tables, counter tops, ping pong tables, etc.
- B. Children should walk in the building. Running is permitted only in designated areas.
- C. Bouncing and throwing balls is permitted only in the gym.
- D. Active games using equipment that can cause damage to window, shades, lights, and ceilings must be played only in the gym.
- E. Children must show respect for staff and each other.
- F. Children must wear shoes at all times.
- G. Children must be contained and not allowed to filter in with the general public. You must know where each and every child is AT ALL TIMES.

VII. ACTIVITIES

- A. Activities for each group will be planned according to the participant age, interest and ability. The activities should be flexible and promote social and educational advancement.
- B. A weekly calendar of activities will be posted for parents the Monday of that week of camp.
- C. When taking field trips, staff will:
 1. Count everyone before they leave the program site as well as prior to leaving the field trip site.
 2. Carry medical information on each child and necessary medications with them on the trip.
 3. Carry a first aid kit.

4. Carry a cell phone for emergency use.
5. Encourage participants to wear camp shirts so that children are easily identified.

VIII. MONITORING AND ENFORCEMENT

Standards of care established by the City of Richardson will be monitored and enforced by City of Richardson Departments responsible for their respective areas as identified:

- A. Health and safety standards will be monitored and enforced by the City's Police, Fire, Health and Code Enforcement Departments.
- B. Staff and program issues will be monitored and enforced by the Richardson Parks and Recreation Department. The Day Camp Coordinator shall visit each site on a daily basis. Camp Directors are responsible for visually checking the camp activities on a daily basis. When this staff is not available, another full-time staff person is responsible for the daily check.



City of Richardson
City Council Worksession
Agenda Item Summary



City Council Meeting Date: April 23, 2012

Agenda Item: Sign Control Board Case 12-05

Staff Resource: Don Magner, Director of Community Services

Summary: Consider the request of the CVS Corporation for a variance to the City of Richardson Code of Ordinances, Chapter 18, Article I, Section 18-5(4) to allow a digital display device sign to show a printed message at the property located at 2129 E Belt Line Rd; and a variance to the City of Richardson Code of Ordinances, Chapter 18, Article IV, Section 18-125(5) to allow for a 22.65 square foot variance increase in the maximum 60 square feet allowed for a major freestanding sign; and take appropriate action.

Board/Commission Action: Sign Control Board approved the request unanimously.

Action Proposed: Approve, Approve with conditions, or Deny the request

ORDINANCE NO. 3864

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, RE-APPOINTING A PRESIDING MUNICIPAL JUDGE AND ASSISTANT MUNICIPAL JUDGES OF THE MUNICIPAL COURT OF RECORD NO. 1 OF THE CITY OF RICHARDSON; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Richardson, Texas, previously appointed a Presiding Municipal Judge and Assistant Municipal Judges to the Municipal Court of Record No. 1; and

WHEREAS, the Section 7.04 of the Home Rule Charter of the City of Richardson authorizes the City Council to appoint assistant judges of the municipal court; and

WHEREAS, the City Council finds that the judges of the Municipal Court of Record No. 1 should be re-appointed; **NOW, THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the City Council specifically finds and determines that Raymond D. Noah shall be and is hereby re-appointed as the Presiding Municipal Judge of the Municipal Court of Record No. 1 of the City of Richardson, and that William E. Geyer, Chrissi W. Gumbert and George S. McKearin shall be and are hereby re-appointed as the Assistant Municipal Judges of the Municipal Court of Record No. 1 of the City of Richardson, each to serve a term of office of two (2) years commencing on April 27, 2012 and ending April 27, 2014.

SECTION 2. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be invalid, void or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinance which shall remain in full force and effect.

SECTION 3. That all provisions of the ordinances of the City of Richardson, Texas, in conflict with the provisions of this Ordinance be, and the same are hereby repealed, and all other provisions not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 4. This Ordinance shall take effect immediately upon its passage as the law and charter provide in such cases.

DULY PASSED by the City Council of the City of Richardson, Texas, on the _____ day of April 2012.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CITY ATTORNEY
(PGS:04-11-12:TM 54993)

CORRECTLY ENROLLED:

CITY SECRETARY

ORDINANCE NO. 3865

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING FROM I-M(1) INDUSTRIAL WITH SPECIAL CONDITIONS TO PD PLANNED DEVELOPMENT FOR I-M(1) INDUSTRIAL WITH A SPECIAL PERMIT FOR A HOSPITAL WITH SPECIAL CONDITIONS, SAID TRACT BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 12-03).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That Ordinance 2395-A, adopted on January 9, 1984, and Ordinance 3672, adopted on August 27, 2007, shall not govern the zoning and development of the property described in Exhibit "A."

SECTION 2. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, so as to grant a change in zoning from I-M(1) Industrial with special conditions to PD Planned Development for I-M(1) Industrial with a Special Permit for a hospital with special conditions, said tract of land being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 3. That the change in zoning is granted subject to the following development conditions:

1. Base Zoning district shall be the I-M(1) Industrial District. The property shall be developed and used only in accordance with the zoning regulations of the I-M(1) Industrial District except as otherwise provided herein. The property shall be developed and used in accordance with the Concept Plan attached hereto as Exhibits “B-1” and “B-2,” and which are hereby approved.
2. A special permit for a Hospital Campus is hereby granted subject to the following special conditions, and shall be used and developed in conformance with the Concept Plan:
 - a. The maximum floor area ratio (F.A.R.) shall be 0.513:1 for Phase I as indicated on Exhibit “B-1.”
 - b. The maximum floor area ratio (F.A.R.) shall be 1.025:1 for full build-out as indicated on Exhibit “B-2” and the parking garage square footage shall not be included for the purpose of calculating F.A.R.
 - c. The building elevations for Phase I shall be in conformance with Exhibits “C-1” and “C-2.” The exterior façade material shall consist of a combination of brick, stone, glass curtain wall, which shall be consistent with the existing façade materials of the existing buildings on the hospital campus, and an aluminum metal panel wall system. The materials will match the color of the brick and stone as well as the glazing on the glass curtain wall used on the existing buildings.

Building elevations for the final build out phase of the project shall match the existing buildings on the hospital campus. Elevations for buildings, parking garages and the expanded hospital plant; as indicated on Exhibit “B-2,” shall be submitted for review and approval by the City Plan Commission at the time of development plan submittal.

- d. The following traffic mitigation elements shall be required to be constructed and installed concurrent with the development and construction of Phase I as indicated on Exhibit “B-1.”
 1. A right-turn lane along the north bound PGBT service road for the existing driveway located south of Medical Office Building # 2.
 2. A right-turn lane for the proposed southern most driveway along Shiloh Road.
- e. The following traffic mitigation elements shall be required to be constructed and installed concurrent with the development and construction of Phase II as indicated on Exhibit “B-2”:
 1. Extended left turn bays at the existing median openings on Renner Road and Shiloh Road.
 2. Installation of a traffic signal for the intersection of Renner Road and Wyngate Boulevard.

3. Closure of the median opening located between Wyngate Boulevard and Shiloh Road.
- f. At the time of the development and construction of Phase 1, the following landscape buffers shall be installed and constructed as indicated on Exhibits “B-1” and “B-2,” which shall be in accordance with all applicable landscape ordinances, policies and guidelines:
 1. A minimum thirty (30) foot wide landscape buffer along PGBT and Renner Road
 2. A minimum fifteen (15) foot wide landscape buffer along Shiloh Road
 - g. The maximum building height for the hospital building shall be restricted to 110 feet at the building line as indicated on Exhibit “B-2”. The balance of the buildings shall be restricted to the heights indicated on Exhibits “B-1” and “B-2”. The number of stories and height of each story shall be accordance with Exhibits “C-1” and “C-2”. Stories shall be allowed to exceed twenty-five (25) feet for the 1st story and fifteen (15) feet for additional stories. In addition, all buildings shall be allowed a maximum 6-foot tall parapet wall.
 - h. Covered Parking shall be allowed in the areas indicated on the attached Exhibits “B-1” and “B-2”. The shade structures shall be cable tension shade structures with a high density polyethylene fabric cover or an equivalent as approved by the Building Official. Approval from the North Texas Municipal Water District (NTMWD) shall be required for the installation of the shade structures along Shiloh Road.
 - i. Driveway Spacing – The minimum spacing between the driveway located at the southeast corner of the property and the existing driveway located south of the subject site as shown on Exhibit “B-1” and “B-2” shall be 126 feet. The minimum spacing for the eastern most driveways located along Renner Road shall be 99 feet and the east portion of the driveway shall be design as a right-turn only.
 - j. Canopy trees and/or ornamental trees shall be planted and maintained within the parking lots as noted on Exhibits “B-1” and “B-2.”
 - k. An emergency on-site helipad shall be allowed as indicated on Exhibits “B-1” and “B-2.” At the time of development plan application, the applicant shall submit written documentation from the F.A.A. and/or other applicable approval authority that the location complies with all regulatory design guidelines. The final location shall be reviewed at the time of development plan review by the City Plan Commission.
 - l. A maximum of 600 hospital beds shall be allowed; however, parking for the hospital shall be provided in accordance with the Texas Health Department regulations, but in no case shall parking be less than 2.5 parking spaces per bed provided.

SECTION 4. That the above-described tract of land shall be used only in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and as amended herein.

SECTION 5. That all other provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 6. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 7. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 8. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 9. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 23rd day of April, 2012.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY

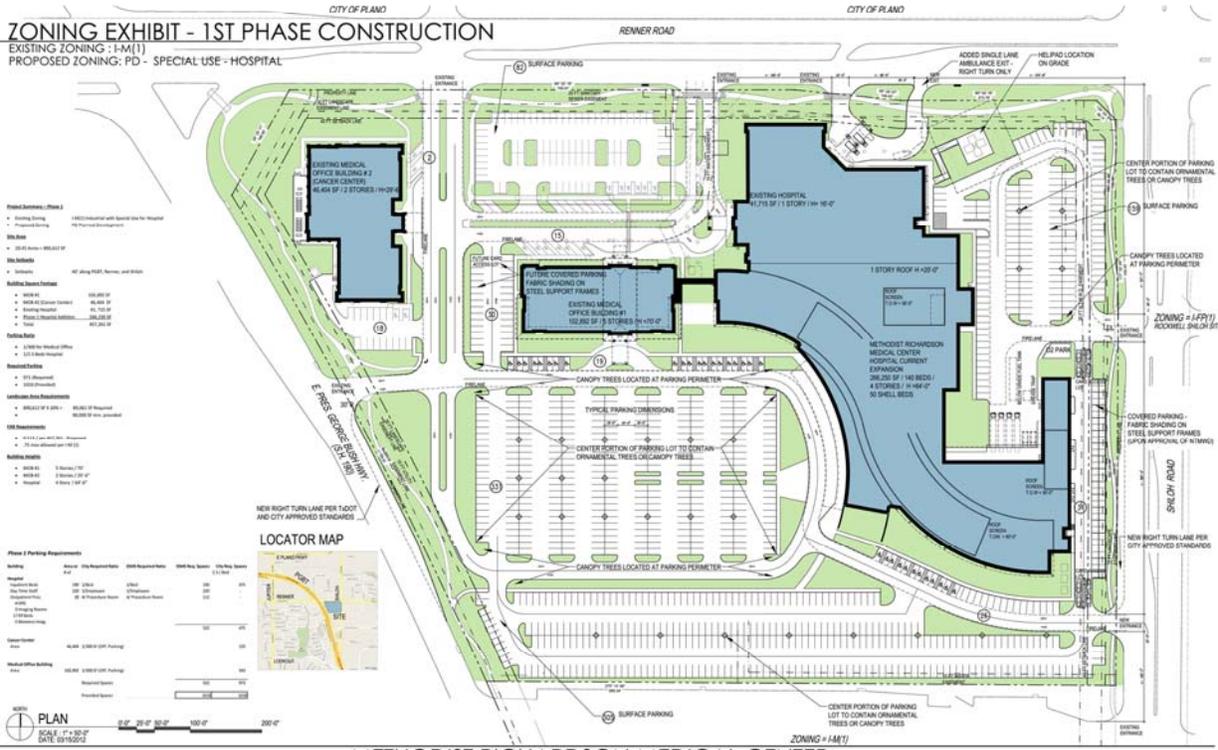
(PGS:4-18-12:TM 55080)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 12-03

BEING a 20.446-acre tract of land situated in the C.K. Vance Survey, Abstract No. 941, Collin County, Texas; said tract being all of Lot 3E, Block 1, Telecom/190 Addition, an addition to the City of Richardson, Texas according to the plat recorded in Volume 2007, Page 375 of the Map Records of Collin County, Texas.

EXHIBIT "B-1" CONCEPT PLAN ZF 12-03



- Project Summary - Phase 1**
- Existing Building: 102,000 sq ft with Special Use for Hospital
 - Proposed Building: 102,000 sq ft
- Site Area**
- 20.00 Acres - 868,000 sq ft
- Site Utilities**
- Sanitary: 40' along BUSH, Renner, and Shiloah
- Building Square Footage**
- NEW #1: 102,000 sq ft
 - NEW #2: 46,000 sq ft
 - Existing Hospital: 21,715 sq ft
 - Phase 1 (Proposed Expansion): 396,200 sq ft
 - Total: 566,925 sq ft
- Building Data**
- 1: 102,000 sq ft
 - 2: 46,000 sq ft
 - 3: 21,715 sq ft
 - 4: 396,200 sq ft
- Specialty Building**
- 1: 102,000 sq ft
 - 2: 46,000 sq ft
 - 3: 21,715 sq ft
 - 4: 396,200 sq ft
- Use Requirements**
- 1: 102,000 sq ft
 - 2: 46,000 sq ft
 - 3: 21,715 sq ft
 - 4: 396,200 sq ft
- Building Details**
- 1: 102,000 sq ft
 - 2: 46,000 sq ft
 - 3: 21,715 sq ft
 - 4: 396,200 sq ft
- Phase 1 Parking Requirements**
- | Building | Area | City Requirements | MMR Requirements | MMR Max. Spacing | City Max. Spacing |
|------------------------------|----------------|-------------------|------------------|------------------|-------------------|
| Proposed #1 | 102,000 | 100' x 100' | 100' x 100' | 100' | 100' |
| Proposed #2 | 46,000 | 100' x 100' | 100' x 100' | 100' | 100' |
| Existing Hospital | 21,715 | 100' x 100' | 100' x 100' | 100' | 100' |
| Phase 1 (Proposed Expansion) | 396,200 | 100' x 100' | 100' x 100' | 100' | 100' |
| Total | 566,925 | | | | |
- Medical Office Building**
- | Area | City Requirements | MMR Requirements | MMR Max. Spacing | City Max. Spacing |
|------------------------------|-------------------|------------------|------------------|-------------------|
| Proposed #1 | 100' x 100' | 100' x 100' | 100' | 100' |
| Proposed #2 | 100' x 100' | 100' x 100' | 100' | 100' |
| Existing Hospital | 100' x 100' | 100' x 100' | 100' | 100' |
| Phase 1 (Proposed Expansion) | 100' x 100' | 100' x 100' | 100' | 100' |



**METHODIST RICHARDSON MEDICAL CENTER -
BUSH / RENNER HOSPITAL
PROPOSED PLAN (CONCEPT)
RICHARDSON, TX**

**PERKINS
+ WILL
Exhibit B-1 - Part of Ordinance**

EXHIBIT "C-1"
PHASE 1 BUILDING ELEVATIONS
ZF 12-03

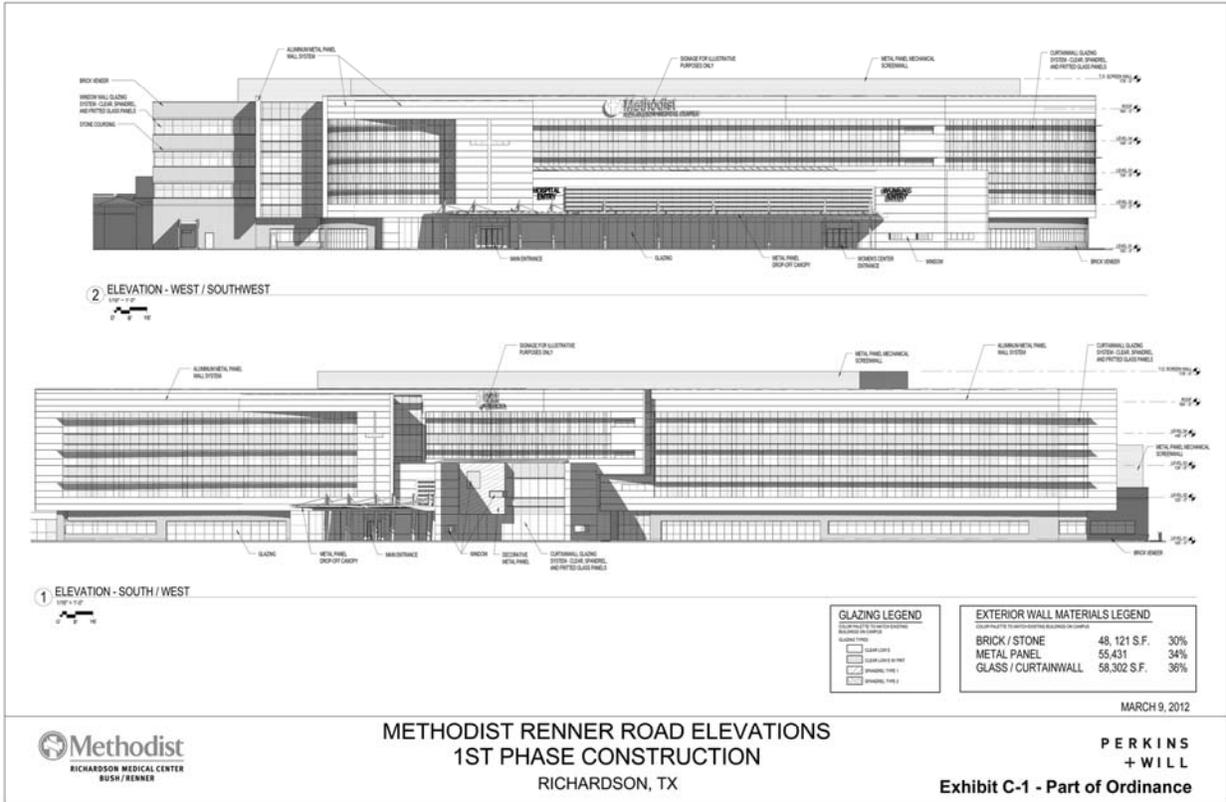
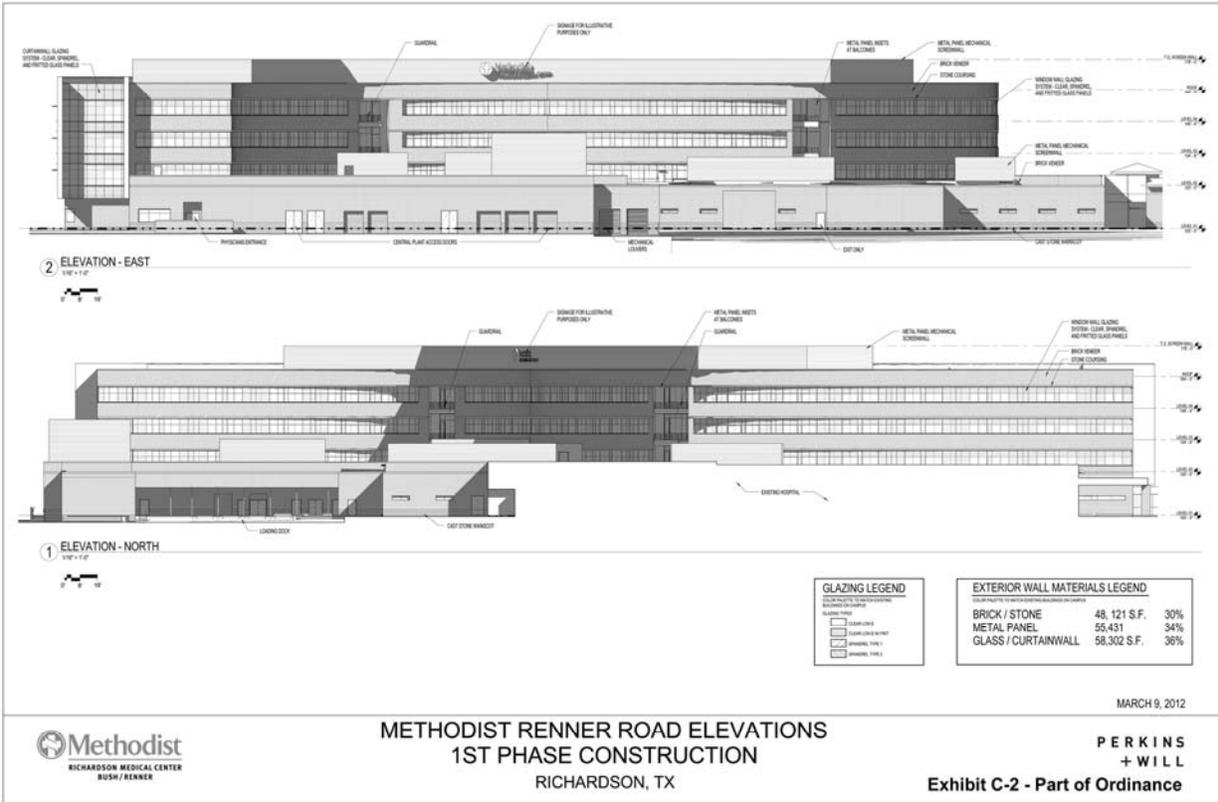


EXHIBIT "C-2"
PHASE 1 BUILDING ELEVATIONS
ZF 12-03





City of Richardson
City Council Meeting
Agenda Item Summary



City Council Meeting Date: Monday, April 23, 2012

Agenda Item: Brick Row Multi-family Buildings D and E
151 Brick Row

Staff Resource: Israel B. Roberts
Development Review Manager

Summary A request for approval of a site plan with an exception to the maximum percentage of 1-bedroom units that are permitted to be less than 750 square feet (Building D only), and building elevations with an exception to the minimum masonry percentage for two multi-family buildings (Buildings D and E), with a total of 77 new apartment units located on the north side of Brick Row Drive, at McKamy Park Circle. As presented, Buildings D and E are designed to act as a single community. Building D, located adjacent to the creek, is a 4-story, 59 unit building, which will serve as the primary entrance to the secured complex. Building E, located adjacent the DART rail line, is a 3-story 18 unit structure, that can only be accessed through Building D. Both buildings will have similar design and facade material characteristics as compared to existing Buildings A, B and C.

Board/Commission Action: April 3, 2012, the City Plan Commission unanimously recommended approval of the requests as presented.

Action Proposed The City Council may approve the requests as presented, approve with conditions, or deny.

Brick Row

Multi-Family Buildings D and E

Attachments:

1. Site Plan Staff Report
2. Locator
3. Site Plan
4. Building Elevations Staff Report
5. Building Elevations
 - a. Proposed facade elevations for Buildings D and E
 - b. Building A approved elevations
 - c. Building B approved elevations
 - d. Building C approved elevations

**CITY COUNCIL
BACKGROUND INFORMATION
April 23, 2012**

Site Plan

PROJECT SUMMARY

Project:	Brick Row Multi-family Buildings D and E
Location:	151 Brick Row
Request:	<p>In accordance with the Spring Valley Station District regulations, additional exceptions may be requested with the development plans. With this application, the applicant is requesting one (1) additional exception to increase the maximum percentage units permitted to be less than 750 square feet from 5% to 11.1%.</p> <p>The proposed site plan, with the additional exception, complies with the approved Concept Plan, the Comprehensive Zoning, Subdivision and Development Code, and the Spring Valley Station District regulations.</p>
CPC Action:	On April 3, 2012, the City Plan Commission unanimously recommended approval of the request as presented.
CC Action:	The City Council may approve the request, approve with conditions, or deny.

BACKGROUND

Zoning:	PD Planned Development District
Ordinance:	3831-A
Tract Size:	2.52-acres
Proposal:	In accordance with the Concept Plan exceptions, approved by City Council in January 2012, the site plan indicates the development of two multi-family buildings (Buildings D and E) with a total of 77 new apartment units located on the north side of Brick Row Drive at

McKamy Park Circle. Buildings D and E are designed as a single community. Building D, located adjacent to the creek, is a 4-story, 59 unit building, which will serve as the primary entrance to the secured complex. Building E, located adjacent to the DART rail line, is a 3-story, 18 unit structure, that can only be accessed through Building D.

Approval Process:

Property within the Spring Valley Station District requires a two-step approval process. A Concept Plan, including scaled plans, architectural images, and description of building materials must be approved by the City Council after recommendation from the City Plan Commission. After approval of the Concept Plan, Development Plans must be approved by the Commission; however, both the Commission and the City Council must approve the building elevations and exceptions. The Concept Plan for the subject development was approved with exceptions to the base development regulations of the Spring Valley Station District guidelines in January 2012.

Exceptions:

Per the Spring Valley Station District guidelines, an applicant may request exceptions to certain development regulations to allow for flexibility in design for proposed developments. The City Council, after the recommendation by the City Plan Commission, may authorize exceptions in the following areas:

1. Definitions
2. Building Materials
3. Area Regulations
4. Additional requirements for multi-family
5. Open Space
6. Access and parking
7. Signs

Staff Comments:

The Spring Valley Station District regulations allow a minimum of 750 square feet for a one-bedroom apartment. In order to allow flexibility in design, a maximum of 5% of the one-bedroom units per building may be reduced in size up to 25%, or 562.50 square feet, provided the average unit size remains above 800 square feet. In this case, with 36 one-bedroom units within Building D, a total of two units may have the reduced size. The applicant is requesting that four units (11.1%)

be permitted to have the reduced size. The following table compares the ordinance requirement with the requested exception.

REQUESTED SITE PLAN EXCEPTION			
Provision	Requirement	Requested Exception	Comments
Percentage of one-bedroom units per building that may be less than 750 square feet.	5% Maximum	11.1% (4 units) for Building D only	Building D has a total of 36, one-bedroom units. The four (4) units requested have been used within Buildings A, B and C. The average unit size for Building D is 910 square feet, 110 square feet larger than the 800 square foot minimum.

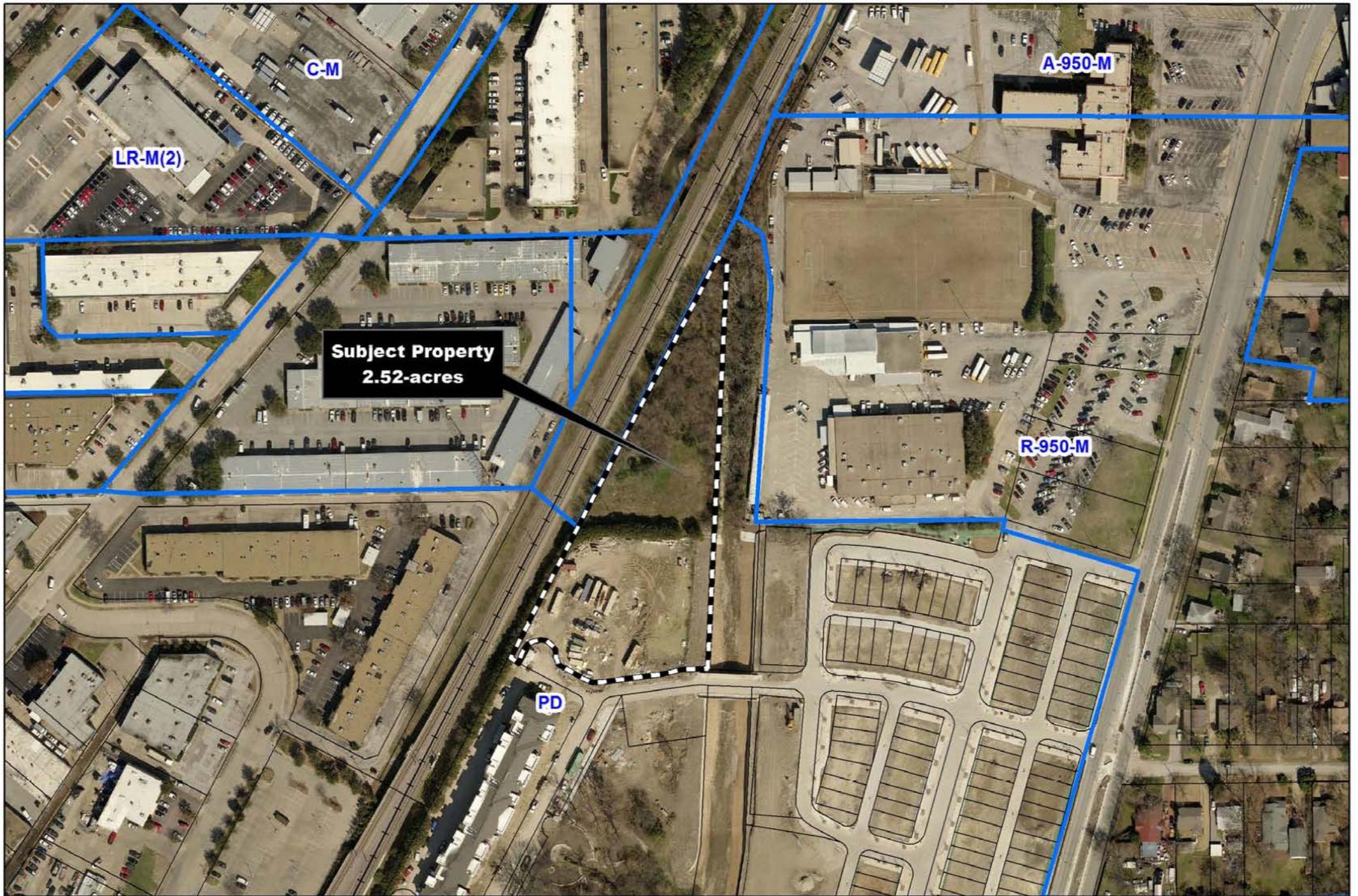
For comparison purposes, the following table lists the exception to the one-bedroom unit sizes that are approved for Brick Row Buildings A and B.

APPROVED EXCEPTIONS FOR BUILDINGS A AND B			
Provision	Requirement	Exception	Comments
Percentage of one-bedroom units per building that may be less than 750 square feet.	5% Maximum	46%	Building A: Approved by Council in August 2008.
Percentage of one-bedroom units per building that may be less than 750 square feet.	5% Maximum	50%	Building B: Approved by Council in May 2008.

The table below lists the exceptions that were approved with the Concept Plan for the subject development.

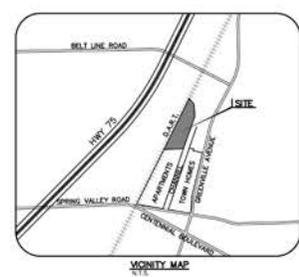
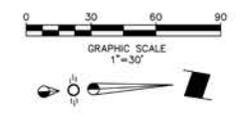
APPROVED CONCEPT PLAN EXCEPTIONS			
Provision	Requirement	Approved Exception	Comments
Primary building entrance orientation	Oriented to the street	Building E: No street entrance. Can only be entered internally from Building D	Buildings D and E are intended to act as a single secured community. The primary entrance for the complex is through Building D.
Amenity points	40 amenity points on-site	30 points on-site (fitness center within Building D), 10 points from the adjacent pool across Brick Row	Based upon 577 total units, 140 Amenity Points are required (70 for each 350 units). Each site is required to have a minimum of 40 points on-site. With the approval of the Concept Plan, 10 points from the future adjacent cabana and pool are permitted to count towards the minimum 40 on-site required for proposed Buildings D and E.

Amenity Zone without parking	16'	24' along north side of McKamy Park Circle 6' along cul-de-sac bulb of McKamy Park Circle	An increased Amenity Zone in this area allows the sidewalk to align with the sidewalk in front of Building D. Similar design for the Amenity Zone was approved for Building B where Spring Valley Road intersects with Centennial Boulevard. Due to the cul-de-sac bulb, the decreased Amenity Zone aligns with the approved increased Amenity Zone to the east.
Maximum Yard	12'	38' along north side of McKamy Park Circle 29' along cul-de-sac bulb of McKamy Park Circle	The increase width is due to the step-back in the east side of the building. The increased width is due to the bulb of McKamy Park Circle and a slight step-back of the building façade.
Minimum Build-to Line	24'	20' at the cul-de-sac of McKamy Park Circle	The decreased distance is due to small encroachment of Building E at the bulb of the cul-de-sac of McKamy Park Circle.
Maximum Build-to Line	28' 28'	62' along the north side of McKamy Park Circle 35' at the cul-de-sac of McKamy Park Circle	The increase width is due to the step-back in the east side of the building. The increased width is due to the bulb of McKamy Park Circle and a slight step-back of the building façade.
Amenity Zone without parking	16'	6'	The reduced width allows the required street trees to be planted adjacent to the end of the cul-de-sac.
Sidewalk	6'	0'	Due to the existing dumpster enclosure there is no space for pedestrians to walk around bulb of the cul-de-sac. As shown, the sidewalk will connect to the future trail within the DART rail line right-of-way.

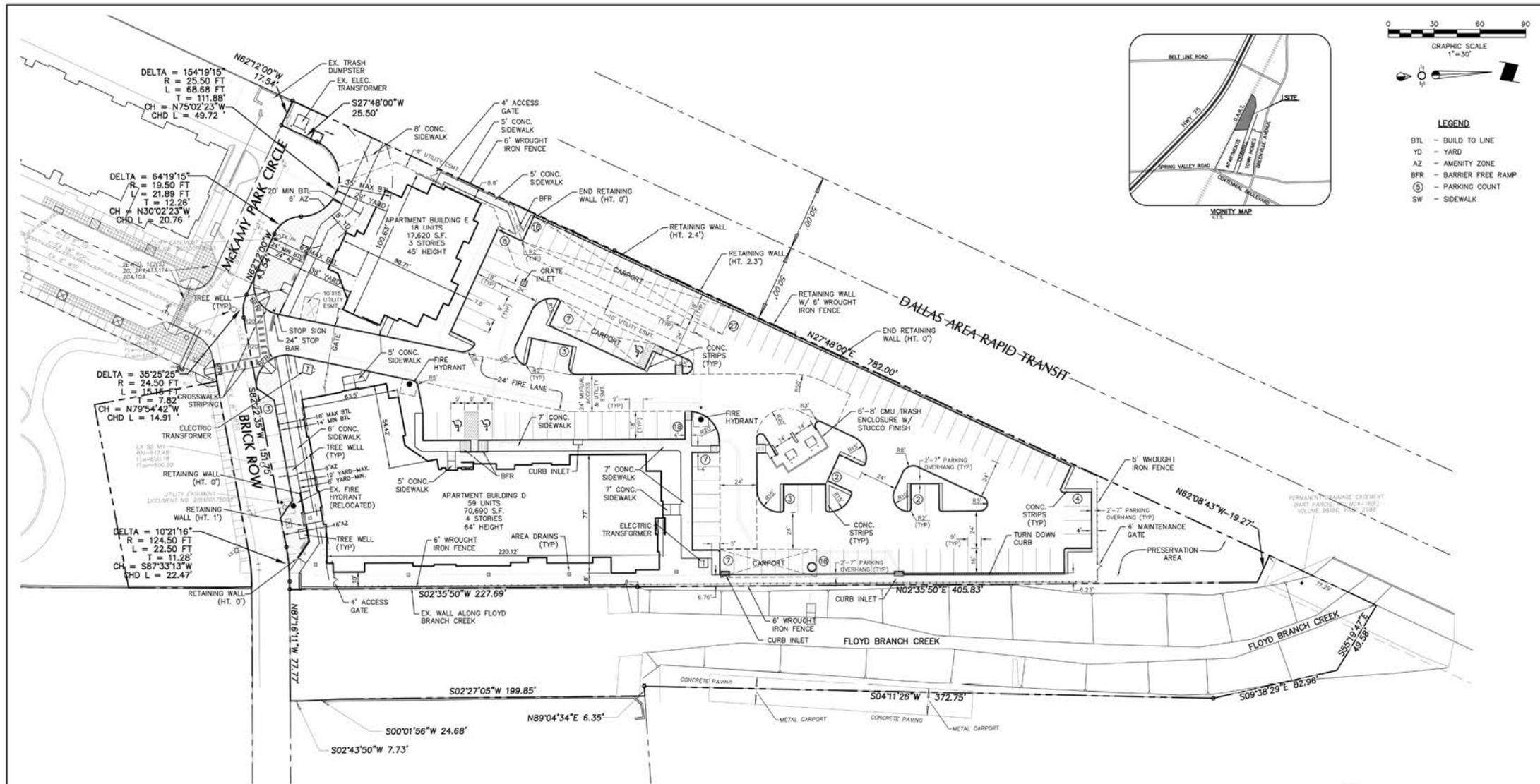


Brick Row Multi-family Buildings D & E
151 Brick Row





- LEGEND**
- BTL - BUILD TO LINE
 - YD - YARD
 - AZ - AMENITY ZONE
 - BFR - BARRIER FREE RAMP
 - Ⓢ - PARKING COUNT
 - SW - SIDEWALK



- SITE PLAN NOTES:**
1. OUTDOOR LIGHTING SHALL BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 1 FOOT-CANDLE OR LESS.
 2. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES.
 3. ALL GROUND LEVEL EQUIPMENT, INCLUDING FANS, VENTS, AIR CONDITIONING UNITS, COOLING TOWERS, FUEL TANKS, AND GENERATORS, SHOULD BE SCREENED FROM THE VIEW OF STREETS AND ADJOINING PROPERTIES BY MEANS OF A MASONRY WALL OR A LIVING SCREEN NOT LESS THAN THE HEIGHT OF THE TALLEST ELEMENT OF THE EQUIPMENT. ANY EQUIPMENT INSTALLED THAT IS NOT SHOWN ON AN APPROVED SITE PLAN, IS NOT AN APPROVED LOCATION, AND SHALL BE SUBJECT TO ALL SCREENING REQUIREMENTS.

BENCHMARKS:

CITY OF RICHARDSON CONTROL MONUMENT NO. D-4
ALUMINUM DISK IN PAINTED PAVEMENT ISLAND AT THE INTERSECTION OF THE CENTERLINE OF FLOYD ROAD AND THE WEST CURB LINE EXTENSION OF THE SOUTHBOUND FRONTAGE ROAD OF U.S. HIGHWAY 75.
ELEV=615.708

CITY OF RICHARDSON CONTROL MONUMENT NO. E-7
ALUMINUM DISK IN THE NORTHWEST CORNER OF THE HOSE RACK AREA FOR THE CITY OF RICHARDSON FIRE STATION NO. 1 AT THE INTERSECTION OF MAIN ST. AND GREENVILLE AVE.
ELEV=632.333

Note:

- Refer to Development Plans for Grading Details.
- Refer to Landscape Plans.
- Refer to Landscape Plans for Onsite Outdoor Lighting.

NOTES:

1. All Paving Dimensions Are To The Face Of Curb Unless Otherwise Noted. In Areas Where No Curb Exists (Such As Alleys), Dimensions Are To The Edge Of Pavement.
2. The Existing Utilities Shown On These Plans Are Taken From City Records. The Contractor Shall Field Verify Existing Horizontal and Vertical Locations Of Utilities And Report Any Discrepancies To The Engineer Immediately.

OWNER

CENTENNIAL PARK RICHARDSON, LTD.
8750 NORTH CENTRAL EXPRESSWAY
SUITE 800
DALLAS, TEXAS 75231
(214) 989-0761
CONTACT: DAVID GLEESON

SITE PLAN					
BUILDINGS "D" & "E"					
151 BRICK ROW DRIVE					
RICHARDSON, TEXAS					
			BROCKETTE/DAVIS/DRAKE, INC.		
consulting engineers					
Civil & Structural Engineering • Surveying					
Texas Registered Engineering Firm 1-841					
4144 North Central Expressway, Suite 1300					
Dallas, Texas 75204					
(214) 824-2647 • fax: (214) 824-7664					
DESIGNED	DRAWN	DATE	SCALE	NOTES	FILE
JAR	DJA	03/28/12	1"=30'	BDD	C11082
					C4

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 written authorization of Brockette/Davis/Drake, Inc. is prohibited.

Building Regulations (Complies with the PD regulations)

Required	Provided
Exterior Design	
Structures shall have clear or slightly tinted windows. Mirrored or heavy tinted glass is prohibited.	Structures utilize clear or slightly tinted windows.
The primary entry for all buildings and ground floor tenant spaces shall be oriented towards the street. Secondary entrances are encouraged for access to parking facilities and pedestrian walkways.	Primary entry for Building "D" to be oriented towards Brick Row. Primary entry for Building "E" to be oriented towards building "D" (approved by the Concept Plan)
Blank facades are prohibited. All exterior walls shall be articulated through the use of architectural design features including but not limited to windows, changes in plane, and in materials.	All exterior walls articulation is accomplished with windows, changes in plane, and change of material.
Exterior Building Materials	
The ground floor exterior walls, excluding windows, doors, and other openings, shall be constructed of one hundred percent (100%) masonry construction.	The ground floor exterior walls are 100% masonry.
Windows and glazing shall be limited to a maximum of sixty percent (60%) of each building elevation.	Building "D" Window % North Elevation: 27% South Elevation: 19% East Elevation: 29% West Elevation: 17% Building "E" Window % North Elevation: 18% South Elevation: 12% East Elevation: 5% West Elevation: 4%
The ground floor exterior walls of courtyards, excluding windows, doors, and other openings, shall be constructed of one hundred percent (100%) masonry construction.	The ground floor exterior walls of courtyards are 100% masonry.

Building Regulations (Requested Development Plan Exceptions)

Provision	Exception
Exterior Building Materials	
Overall, a minimum of 85% of exterior walls, excluding windows, doors, and other openings, shall be of masonry construction.	Building "D": Allow 80% masonry construction instead of 85% (5% reduction). Note: Remaining 20% to be cementitious stucco construction to be used. Building "E": Allow 77% masonry construction instead of 85% (8% reduction). Note: Remaining 23% to be cementitious stucco construction to be used.

Building Regulations (Complies with the PD regulations)

Required	Provided
Building Height	
Buildings located more than 250 feet from the west curbline of Greenville Avenue and east of Floyd Branch Creek shall be limited to a maximum height of 70 feet and not to exceed five stories in height.	Building "D": 4 Stories; ±64'-0" Ht. Building "E": 3 Stories; ±45'-0" Ht.
Service Areas	
All service areas (loading, ground-mounted mechanical equipment, etc.) shall be screened from the view of adjacent streets or properties by a screening wall equal to the tallest equipment or utility structure being screened, with a minimum height of six (6) feet. The screening wall shall be compatible in material and design to the primary building associated with the service area.	Services areas to comply with PD.
Wall-mounted equipment, including utility meters, shall be screened from public view with screening walls, cabinets, partitions, or other means, designed to be architecturally compatible with the structure, and painted, finished, or constructed of materials to complement the wall surface.	Wall-mounted equipment, including utility meters, for Building "D" to be screened with wall constructed of same brick as the building. Wall-mounted equipment, including utility meters, for Building "E" to be screened with cabinet painted to match adjacent brick.
Roof-Mounted Equipment	
All roof-mounted equipment, including fans, vents, air conditioning units and cooling towers, shall be screened on all sides by use of parapet walls or architecturally compatible rooftop screening elements constructed of materials approved by the Building Official.	Roof-mounted equipment, including fans, vents, air conditioning units and cooling towers, to be screened with parapet walls the height of the tallest element of the roof-mounted equipment.
Trash Receptacles	
All trash receptacles shall be screened from view on three sides by an enclosure not less than six feet in height compatible in material and color to the main structure on the property.	Trash receptacles for Building "D" and Building "E" to be comply with PD regulations.

Area Regulations Building "D" (Complies with the PD regulations)

Build-to line	On-street parking lane	Amenity Zone	Yard	Min. Build-to Line	Max. Build-to Line
Brick Row					
With on-street parking	10'	6'	8'-12'	14'	18'
Without on-street parking	N/A	16'	8'-12'	24'	28'

Area Regulation Exceptions: Building "E" (approved by the Concept Plan)

Provision	Exception
Build-To Line	
McKamy Park Circle, frontage	1. Allow a 24' amenity zone instead of 16' (8' increase). 2. Allow a max. 38' yard instead of 12' (26' increase) 3. Allow a max. 62' build-to-line instead of 18' (44' increase)
McKamy Park Circle Cul-De-Sac	1. Allow a 6' amenity zone instead of 16' (10' decrease). 2. Allow a min. 20' Build-To-Line instead of 24' (4' decrease). 3. Allow a max. 29' yard instead of 12' (17' increase) 4. Allow a max. 35' build-to-line instead of 18' (17' increase).
DART Rail McKamy Park Circle Cul-De-Sac	1. Allow a landscape amenity zone instead of paving along McKamy Park Circle. 2. Allow a 6' amenity zone instead of 16' (10' decrease). 3. Allow a 0' sidewalk instead of 6' along McKamy Park Circle (6' decrease) 4. Allow a max. 32' build-to-line instead of 28' (4' increase).

Area Regulation Exceptions: Building "D" and Building "E" (approved by the Concept Plan)

Amenity Zone	Exception
The tree well opening must be covered with a 6'x 6' tree grate.	Allow the required street tree well opening to incorporate landscaping instead of a tree grate for all streets except Centennial Road, Spring Valley Road and Brick Row along the public park.

Area Regulations (Complies with the PD regulations)

On-Street Parking	Where feasible, on-street parallel parking shall be provided on all Streets, except for arterial sections of Spring Valley Road and Centennial Blvd., and Greenville Ave.
Amenity Zone	An amenity zone must be provided along all street frontages for placement of required street trees and optional street furnishings. Except for the street tree wells, the amenity zone must be paved with specialty paving as approved by the City.
Street Trees	Trees shall be planted 40 feet on center, except that the spacing may be adjusted as necessary to accommodate access, lights, property lines, or other conditions which make it impractical to maintain the required spacing. Where on-street parking is provided on non-arterial streets and along arterial sections of Spring Valley Rd. and Centennial Blvd., trees shall be planted in the center of the Amenity Zone. In bulb-out areas, trees shall be planted to align with those trees in the Amenity Zone where on-street parking is provided. Underground bubbler irrigation is required and shall be installed on a zone separate from other landscape areas. Irrigation must be designed to deliver the appropriate amount of water to each tree with minimum waste. Up-lighting and electrical outlets shall be incorporated within the tree well in accordance with City Details.
Yard and Sidewalk	A yard must be provided between the amenity zone and the nearest face of any building. A minimum 6' wide unobstructed continuous scored concrete sidewalk must be provided within the yard.
Building Frontage	For lots containing a building or buildings, a minimum of fifty percent (50%) of the total frontage of the lot shall be occupied by buildings constructed within required build-to line range.
Additional Setbacks	Side setback: Not required except: As necessary to comply with City Building code Rear setback: Not required except: As necessary to comply with City Building code
	Fireplaces and eaves may extend to a maximum of 3 feet into any required side and rear yard.

Additional requirements for multi-family buildings or mixed-use buildings with multi-family units

Residential Unit Size Building "D"
The minimum multi-family residential dwelling unit size, exclusive of garages and breezeways, shall be as follows:

Required		Provided	
Unit Type	Min. Area per Dwelling Unit (square feet)	Unit Type	Min. Area per Dwelling Unit (square feet)
1 Bedroom	750 S.F. (562.5 S.F. for a maximum of 5% of total 1 Bedroom units)	1 Bedroom	714 S.F. (4 units total, for a total of 11.1% of total 1 Bedroom units.)*
2 Bedroom	900 S.F.	2 Bedroom	1,034 S.F.
The average residential unit floor area per building shall be at least 800 square feet.		The average residential unit floor area per building shall be at least 910 square feet.	

*Exception: Allow for 11.1 % instead of 5% (6.1% increase), of the total number of 1 bedroom units to be 714 S.F.

Residential Unit Size Building "E"
The minimum multi-family residential dwelling unit size, exclusive of garages and breezeways, shall be as follows:

Required		Provided	
Unit Type	Min. Area per Dwelling Unit (square feet)	Unit Type	Min. Area per Dwelling Unit (square feet)
1 Bedroom	750 S.F.	1 Bedroom	751 S.F.
2 Bedroom	900 S.F.	2 Bedroom	1,034 S.F.
The average residential unit floor area per building shall be at least 800 square feet.		The average residential unit floor area per building shall be at least 822 square feet.	

Additional requirements for multi-family buildings or mixed-use buildings with multi-family units (Complies with PD regulations)

Recreational Amenities
Within each development that included multi-family units, additional recreation amenities shall be provided. These amenities shall accrue points based on values assigned below. A minimum of 70 recreational amenities points must be accumulated for each 350 residential units or portion thereof. A minimum of 40 points shall be provided on-site. The remainder may be achieved with improvements to the public open space.

Provision (140 Points Total)	Provided (411 Points Total)
Clubhouse/gameroom/multi-purpose room of at least a minimum of 400 square feet in area (Ten Points per 400 square feet).	Existing 2,600 S.F. within Building "B" 65 Points
Indoor fitness center of at least 400 square feet in area. (Ten points Per 400 S.F.).	Existing 1,750 S.F. within Building "B" 44 Points 1,330 S.F within Building "D" 30 Points
Swimming pool, including wading area, fenced and secured according to the requirements of the City building code. (Ten points).	Existing Pool with wading area within Building and "A" and "B" 20 Points Pool with wading area north of public park 10 Points
Usable open space at least 1,000 square feet in area that includes at least three of the following: cluster of trees; water feature; seating area; picnic tables; barbecue grills, gazebos, or other elements as approved by the Director of Parks and Recreation. (Ten points per 1,000 S.F.).	Existing 5,00 S.F. within Building "B" with final equipment to be approved by Director of Parks and Recreation 50 Points Existing 18,195 S.F. with the public park 182 Points (Public park permitted to meet on-site requirement for all multi-family buildings)
Minimum 8' wide concrete trail	Existing 8' wide hike and bike trail 10 Points

Access and Parking Regulations Building "D" and Building "E" (approved by the Concept Plan)

Minimum parking

Use	#Units/Square Footage	Parking Ratio	Required	Provided
Apartments;	77;		123	124 Total
One-bedroom	51	1.5 sp/unit	77	30 (Priv. Covered)
Two-bedroom	26	1.75 sp/unit	46	91 (Priv. Surface) 3 (Pub. Surface)

Access and Parking Regulations (approved by the Ordinance)

Recreational Amenities
For Building "D" and Building "E", 124 or 100% Of The Required Parking Spaces May Be Surface Instead Of Structured.

Miscellaneous Zoning Information

Impervious Coverage
Lot 1C, Block O – 85,779 S.F. (78%)

Landscape Calculations

Recommended Landscape Area (10% of Gross Site Area, 109,996 S.F)	Recommended: 10,996 S.F.	Provided: 24,184 S.F. (22%)
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**CITY COUNCIL
BACKGROUND INFORMATION
April 23, 2012**

Building Elevations

PROJECT SUMMARY

- Project:** **Brick Row
Multi-family Buildings D and E**
- Location:** 151 Brick Row
- Request:** In accordance with the Spring Valley Station District regulations, building elevations must be approved by the City Council, upon recommendation by the City Plan Commission.
- As permitted with the Spring Valley Station District guidelines, the applicant is requesting an exception to the minimum masonry percentage for each building.
- CPC Action:** On April 3, 2012, the City Plan Commission unanimously recommended approval of the request as presented.
- CC Action:** The City Council may approve the request, approve with conditions, or deny.

BACKGROUND

- Proposed Design:** The proposed building elevations reflect the development of two multi-family buildings; Brick Row Buildings D and E. Both buildings have similar design and facade material characteristics as compared to existing Buildings A, B and C.
- Buildings D and E feature brick, stone, and cementitious stucco facades with composition asphalt shingle roofing that match the style and color to the façade and roofing material of existing Buildings A, B, and C. Cast stone arches over patios, Juliet balconies, horizontal banding, windows, and changes in the façade plane are used to create articulation of the exterior walls. At the main entrance to the secure complex on Building D, an enhanced entryway, similar to those used on Building A, features a projected stone arch topped with a cementitious stucco crown.

The Spring Valley Station District guidelines require a minimum of 85% of all exterior walls be masonry. The applicant is requesting an exception to the minimum masonry percentage for Building D (80%) and Building E (77%). Similar exceptions to the minimum masonry percentage were approved for existing Buildings A, B and C. The table below compares the ordinance requirement to the requested exceptions.

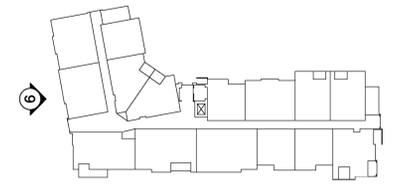
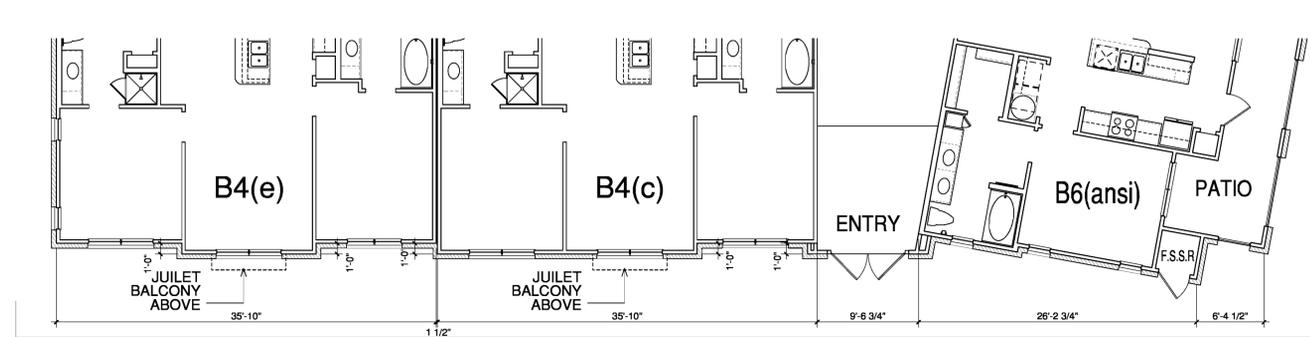
REQUESTED BUILDING REGULATION EXCEPTIONS

Provision	Requirement	Exception	Comments
Minimum masonry %	85%	80%	Building D: The applicant is requesting a reduced minimum masonry percentage to accommodate cementitious stucco on the projected parapet, within patios, and on the 4 th level to provide addition facade articulation
Minimum masonry %	85%	77%	Building E: Similar to Building D, the requested reduced masonry percentage accommodates cementitious stucco on the projected parapet, within patios, and on the 3rd level to provide addition facade articulation.

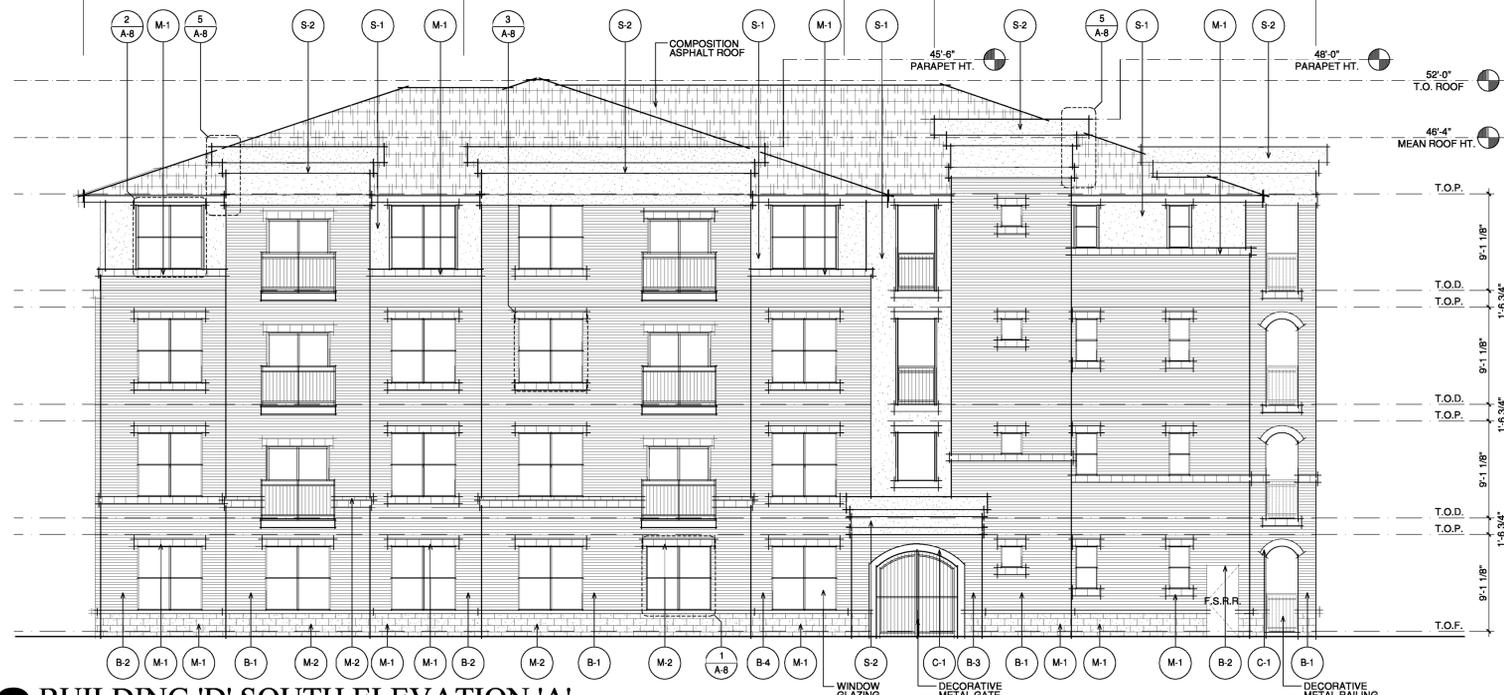
For comparison purposes, the following table lists the minimum masonry percentages that are approved for Brick Row Buildings A, B and C. The approved elevations have been included with this packet.

APPROVED BUILDING REGULATION EXCEPTIONS FOR BUILDINGS A, B AND C

Provision	Requirement	Exception	Comments
Minimum masonry %	85%	78%	Building A: Approved by Council in August 2008.
Minimum masonry %	85%	78%	Building B: Approved by Council in June 2008.
Minimum masonry %	85%	76%	Building C: Approved by Council in June 2008.



B4(f) UNIT	B4(d) UNIT	CORRIDOR	B6(b) UNIT	FOURTH LEVEL
B4(f) UNIT	B4(d) UNIT	CORRIDOR	B6(b) UNIT	THIRD LEVEL
B4(f) UNIT	B4(d) UNIT	CORRIDOR	B6(b) UNIT	SECOND LEVEL
B4(e) UNIT	B4(c) UNIT	ENTRY	B6(ansi) UNIT	FIRST LEVEL

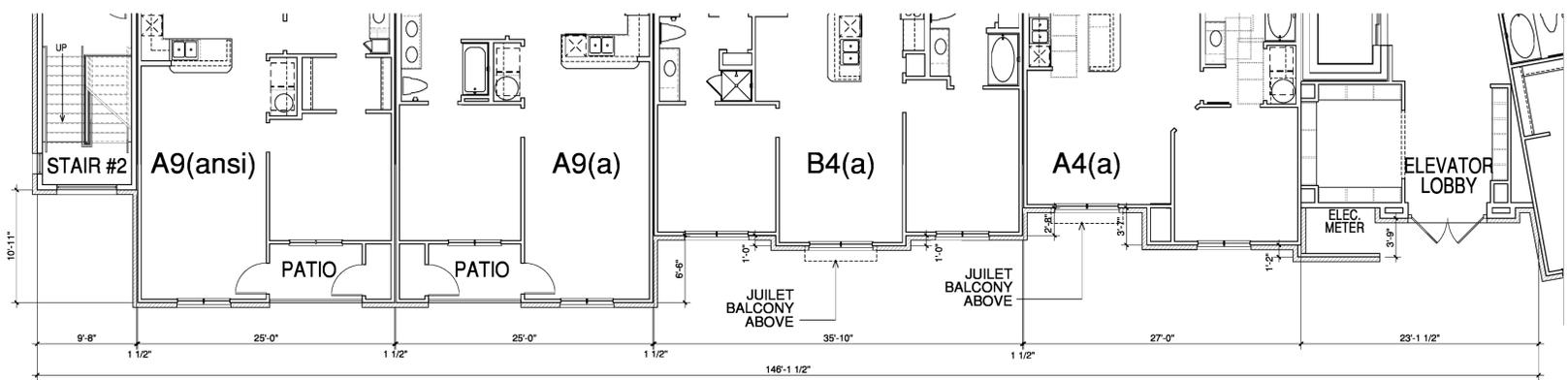
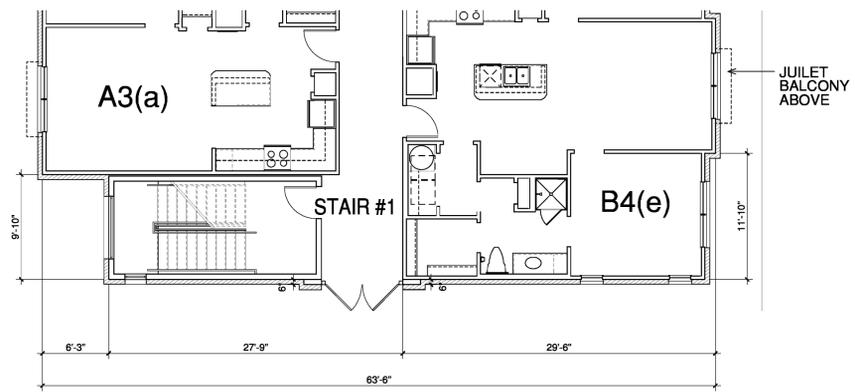
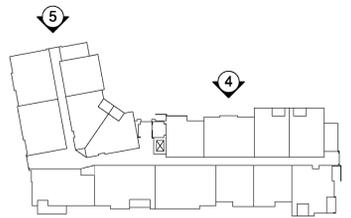


6 BUILDING 'D' SOUTH ELEVATION 'A'
SCALE 1/8" = 1'-0"

STUCCO KEY: S-1: TOTALLY TAN - SW 6115 S-2: NEBULOUS WHITE - SW 7063	WINDOW FRAMES ALUMINUM-FACTORY FINISHED WHITE	GLAZING CALCULATIONS WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 60% OF EACH BUILDING ELEVATION ELEVATION '1' GLAZING: 29%	BUILDING 'D' OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS, EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION NOTE: GROUND LEVEL 100% MASONRY EXCEPTION: ALLOW 80% MASONRY CONSTRUCTION INSTEAD OF 85% (5% REDUCTION)
MASONRY - MODULAR: M-1: FEATHERLITE-WHITEROCK M-2: FEATHERLITE-TEXAS CREAM	EXTERIOR DOORS/ FRAMES INSULATED STEEL PAINT: BLACK FOX- SW7020	MASONRY - BRICK KEY: B-1: ACME- VILLAGE B-2: ACME- OLD DOMINION B-3: ACME- AUBREY FALLS B-4: ACME- WEATHERWOOD GRAY	
CAST STONE C-1: WHITE	DECORATIVE METAL RAILING WELDED TUBE STEEL PAINT: BLACK FOX- SW7020		
COMPOSITION ASPHALT ROOFING ATLAS ROOFING PINNACLE WEATHERED WOOD			

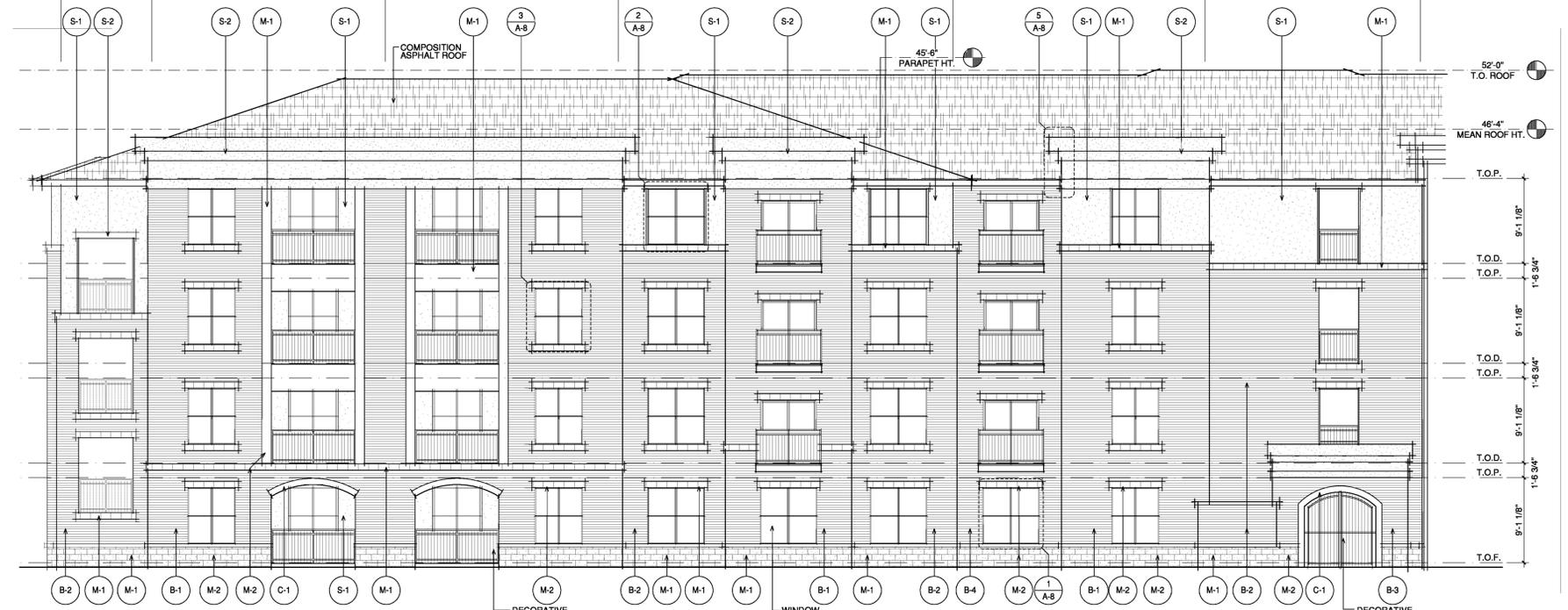
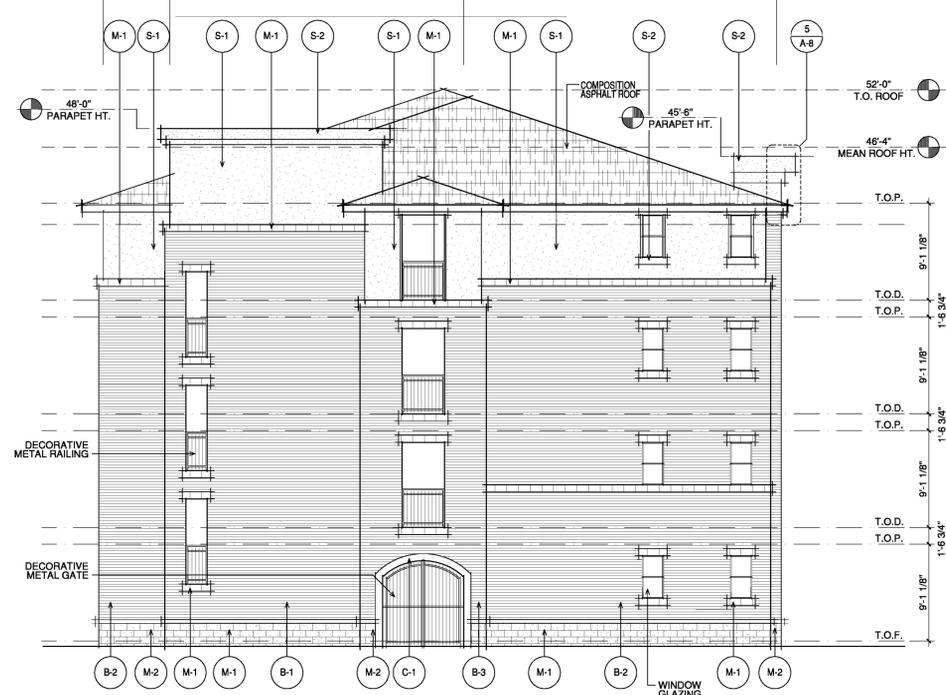
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<h1>BRICK ROW NORTH</h1> <p>MULTI-FAMILY RESIDENTAL BUILDING 'D' AND 'E'</p> <p>MCKAMY PARK ADDITION LOT 1C, BLOCK O</p>	<p>4144 N. Central Expy. Suite 855 Dallas, TX 75204 214.520.8878 bgoarchitects.com</p>	<p>DATE</p> <p>02-20-12</p> <p>PROJECT</p> <p>10172</p>	<p>SHEET NUMBER</p> <p>A-5</p> <p>BUILDING 'D' ELEVATION</p>
--	--	---	---



A3(b) UNIT	STAIR #1	B4(f) UNIT	FOURTH LEVEL
A3(b) UNIT	STAIR #1	B4(f) UNIT	THIRD LEVEL
A3(b) UNIT	STAIR #1	B4(f) UNIT	SECOND LEVEL
A3(a) UNIT	STAIR #1	B4(e) UNIT	FIRST LEVEL

STAIR #2	A9(a) UNIT	A9(a) UNIT	B4(b) UNIT	A4(b) UNIT	ELEVATOR LOBBY	FOURTH LEVEL
STAIR #2	A9(a) UNIT	A9(a) UNIT	B4(b) UNIT	A4(b) UNIT	ELEVATOR LOBBY	THIRD LEVEL
STAIR #2	A9(a) UNIT	A9(a) UNIT	B4(b) UNIT	A4(b) UNIT	ELEVATOR LOBBY	SECOND LEVEL
STAIR #2	A9(ansi) UNIT	A9(a) UNIT	B4(a) UNIT	A4(a) UNIT	ELEVATOR LOBBY	FIRST LEVEL



5 BUILDING 'D' EAST ELEVATION
SCALE 1/8" = 1'-0"

4 BUILDING 'D' WEST ELEVATION
SCALE 1/8" = 1'-0"

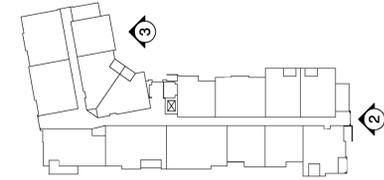
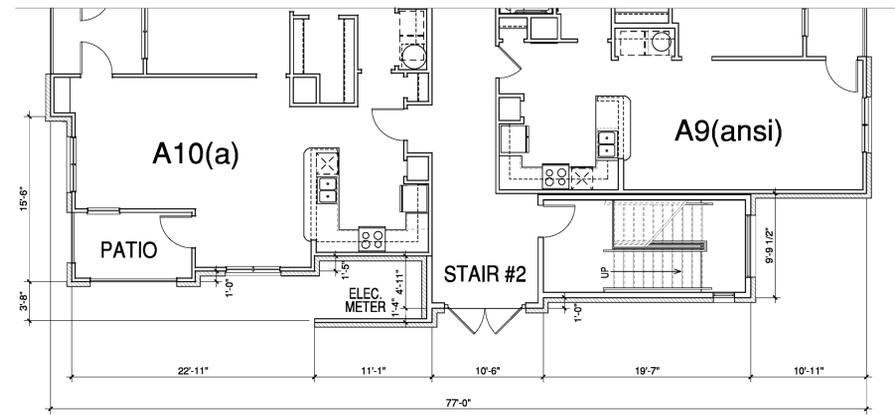
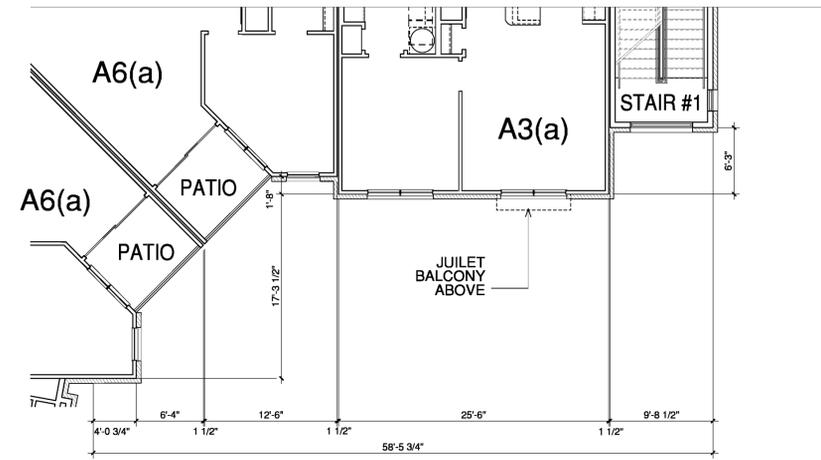
STUCCO KEY: S-1: TOTALLY TAN - SW 6115 S-2: NEBULOUS WHITE - SW 7063	WINDOW FRAMES ALUMINUM-FACTORY FINISHED WHITE	GLAZING CALCULATIONS WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 60% OF EACH BUILDING ELEVATION ELEVATION '1' GLAZING: 29%
MASONRY - MODULAR: M-1: FEATHERLITE- WHITEROCK M-2: FEATHERLITE- TEXAS CREAM	EXTERIOR DOORS/ FRAMES INSULATED STEEL PAINT: BLACK FOX- SW7020	MASONRY - BRICK KEY: B-1: ACME- VILLAGE B-2: ACME- OLD DOMINION B-3: ACME- AUBREY FALLS B-4: ACME- WEATHERWOOD GRAY
CAST STONE C-1: WHITE	DECORATIVE METAL RAILING WELDED TUBE STEEL PAINT: BLACK FOX- SW7020	
COMPOSITION ASPHALT ROOFING ATLAS ROOFING PINNACLE WEATHERED WOOD		

BUILDING 'D'
 OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS, EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION

NOTE: GROUND LEVEL 100% MASONRY
 EXCEPTION: ALLOW 80% MASONRY CONSTRUCTION INSTEAD OF 85% (5% REDUCTION)

BRICK ROW NORTH MULTI-FAMILY RESIDENTIAL BUILDING 'D' AND 'E' MCKAMY PARK ADDITION LOT 1C, BLOCK O	BGO architects 4144 N. Central Expy. Suite 8155 Dallas, TX 75204 214.520.8878 bgoarchitects.com	DATE 02-20-12	SHEET NUMBER A-4
	PROJECT 10172	BUILDING 'D' ELEVATION	

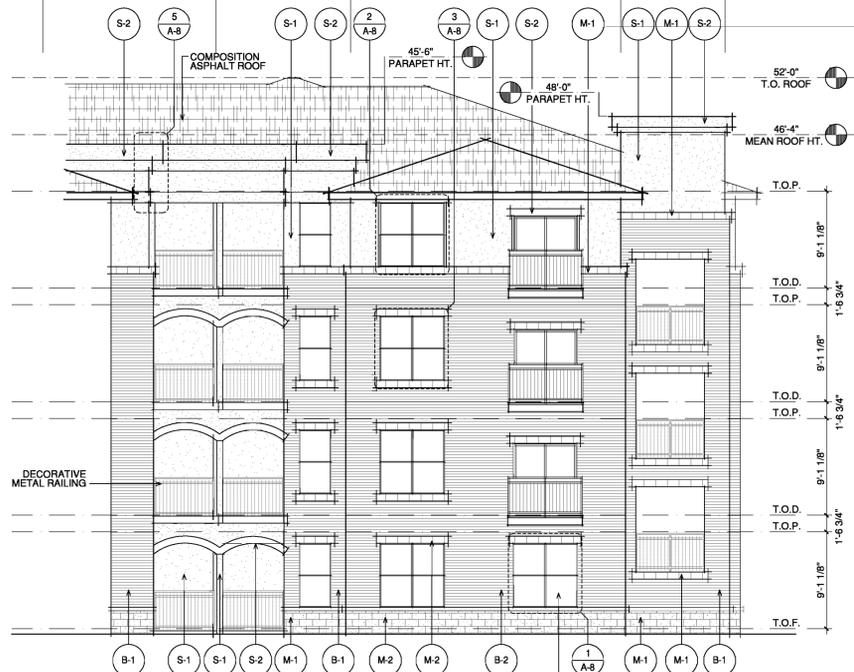
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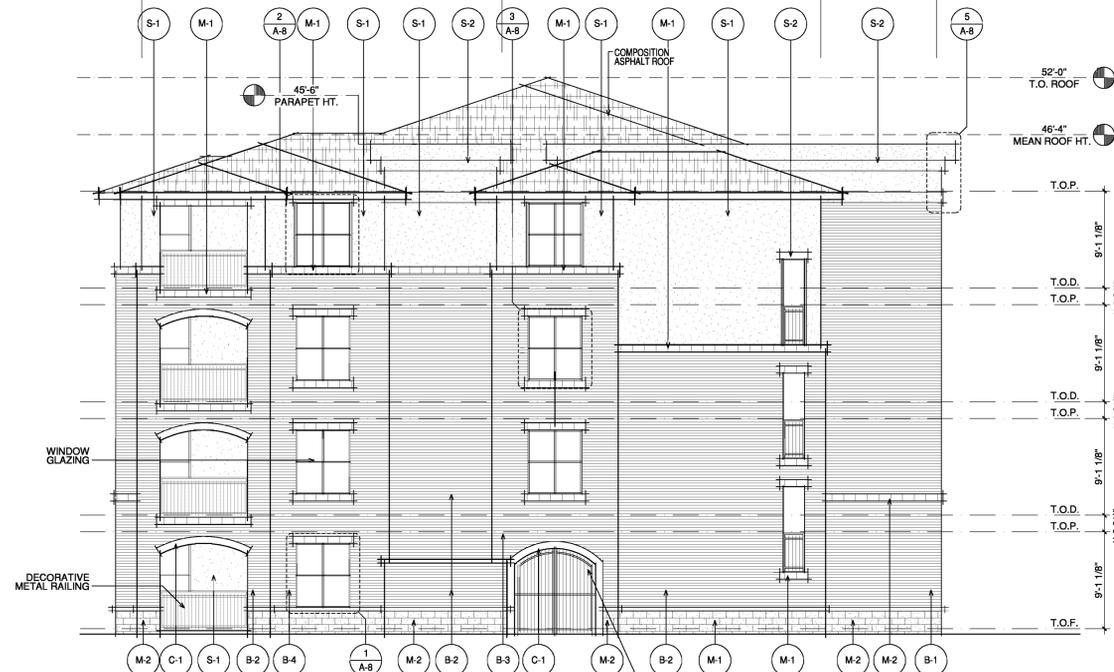
KEY PLAN

A6(a) UNIT	A6(a) UNIT	A3(b) UNIT	STAIR #1	FOURTH LEVEL
A6(a) UNIT	A6(a) UNIT	A3(b) UNIT	STAIR #1	THIRD LEVEL
A6(a) UNIT	A6(a) UNIT	A3(b) UNIT	STAIR #1	SECOND LEVEL
A6(a) UNIT	A6(a) UNIT	A3(a) UNIT	STAIR #1	FIRST LEVEL

A10(a) UNIT	STAIR # 2	A9(a) UNIT	FOURTH LEVEL
A10(a) UNIT	STAIR # 2	A9(a) UNIT	THIRD LEVEL
A10(a) UNIT	STAIR # 2	A9(a) UNIT	SECOND LEVEL
A10(a) UNIT	STAIR # 2	A9(ansi) UNIT	FIRST LEVEL



3 BUILDING 'D' NORTH ELEVATION
SCALE 1/8" = 1'-0"

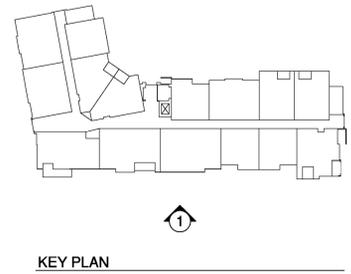
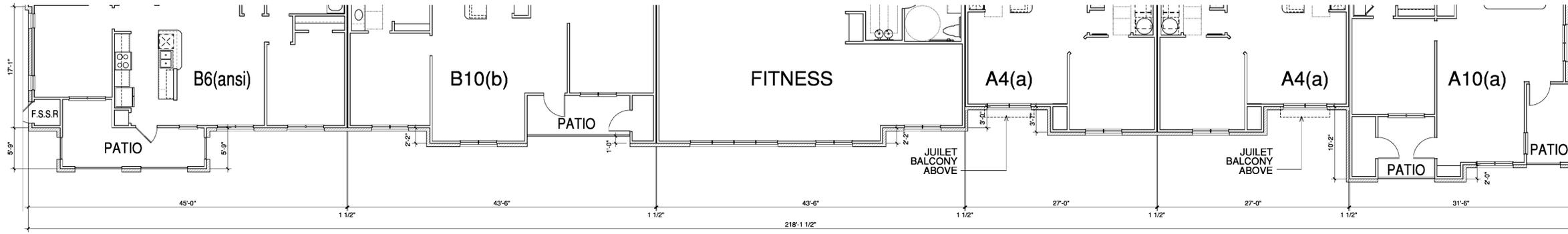


2 BUILDING 'D' NORTH ELEVATION
SCALE 1/8" = 1'-0"

STUCCO KEY: S-1: TOTALLY TAN - SW 6115 S-2: NEBULOUS WHITE - SW 7063	WINDOW FRAMES ALUMINUM-FACTORY FINISHED WHITE	GLAZING CALCULATIONS WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 60% OF EACH BUILDING ELEVATION ELEVATION '1' GLAZING: 29%
MASONRY - MODULAR: M-1: FEATHERLITE- WHITEROCK M-2: FEATHERLITE- TEXAS CREAM	EXTERIOR DOORS/ FRAMES INSULATED STEEL PAINT: BLACK FOX- SW7020	MASONRY - BRICK KEY: B-1: ACME- VILLAGE B-2: ACME- OLD DOMINION B-3: ACME- AUBREY FALLS B-4: ACME- WEATHERWOOD GRAY
CAST STONE C-1: WHITE	DECORATIVE METAL RAILING WELDED TUBE STEEL PAINT: BLACK FOX- SW7020	
COMPOSITION ASPHALT ROOFING ATLAS ROOFING PINNACLE WEATHERED WOOD		

BUILDING 'D'
 OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS, EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION
 NOTE: GROUND LEVEL 100% MASONRY
 EXCEPTION: ALLOW 80% MASONRY CONSTRUCTION INSTEAD OF 85% (5% REDUCTION)

BRICK ROW NORTH MULTI-FAMILY RESIDENTAL BUILDING 'D' AND 'E' MCKAMY PARK ADDITION LOT 1C, BLOCK O	BGO architects 4144 N. Central Expy. Suite 855 Dallas, TX 75204 214.520.8878 bgoarchitects.com	COPYRIGHT © Beeler Guest Owens Architects ALL RIGHTS RESERVED DATE 02-20-12	SHEET NUMBER A-3
		PROJECT 10172	BUILDING 'D' ELEVATION

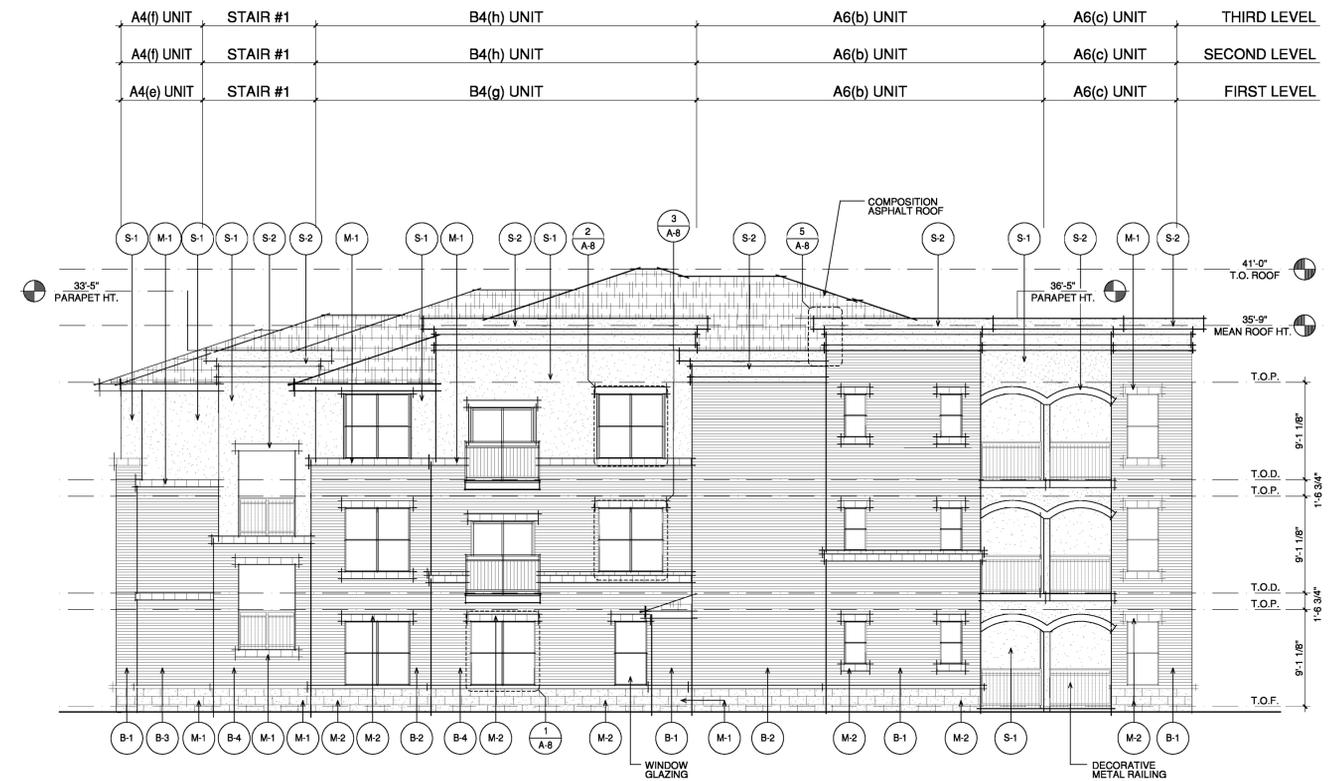
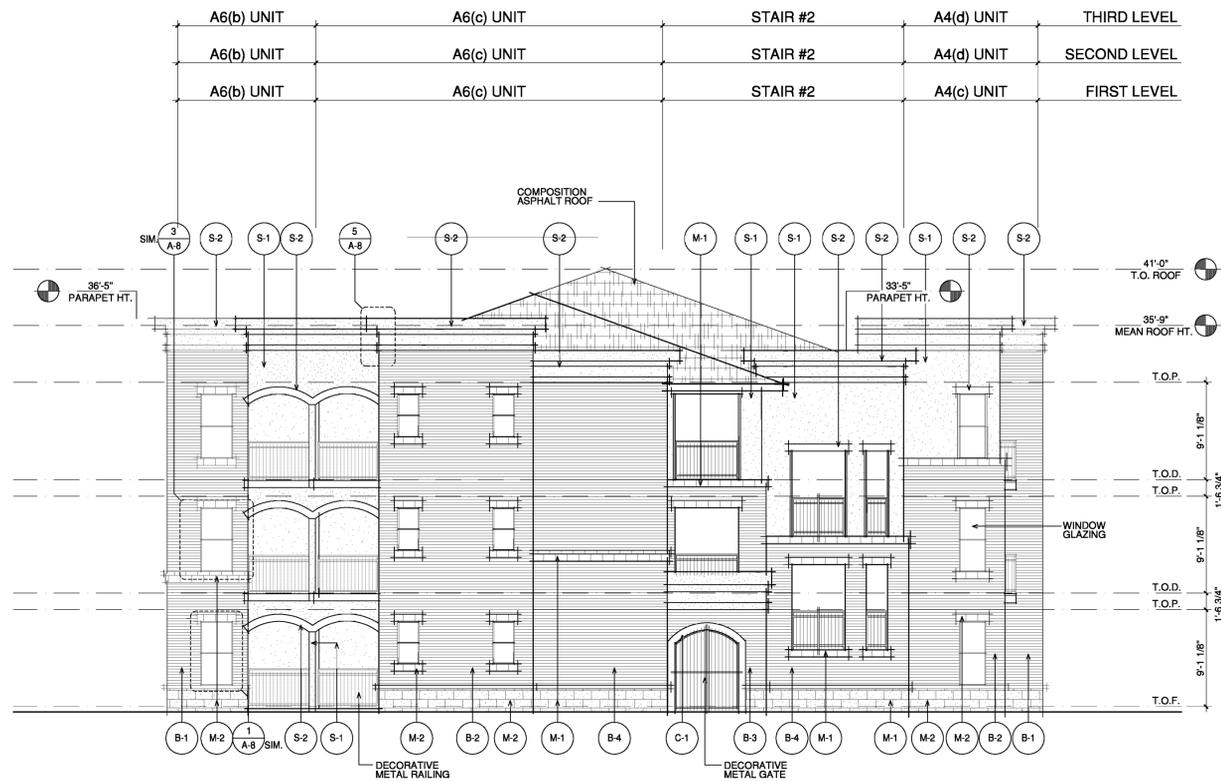
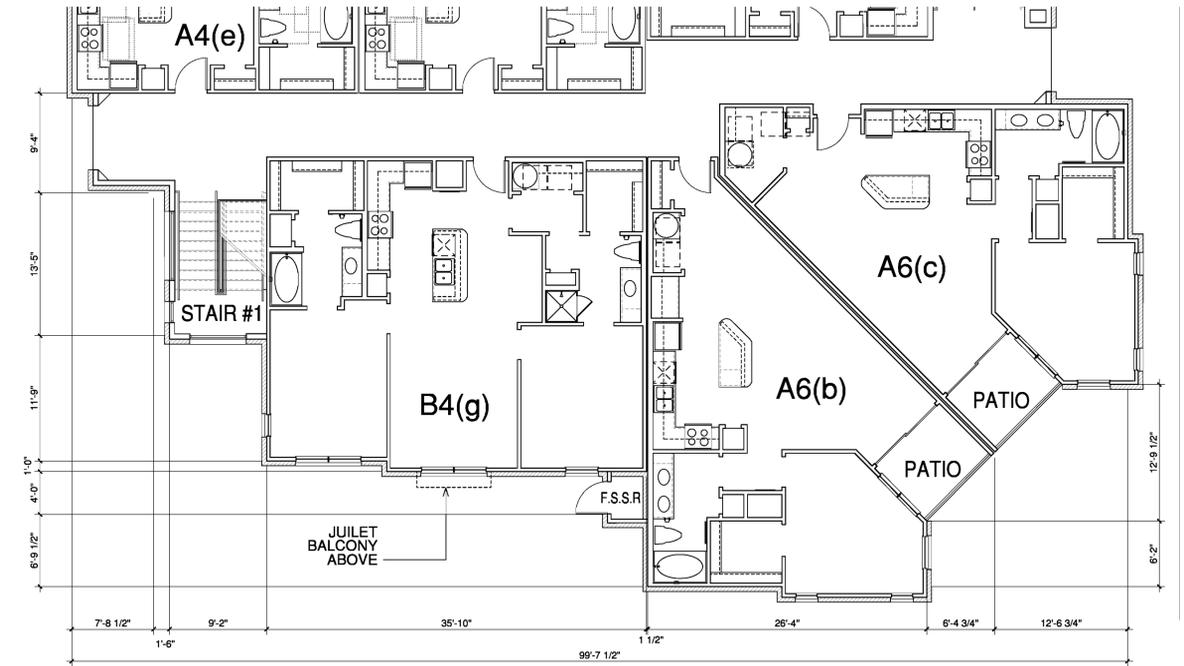
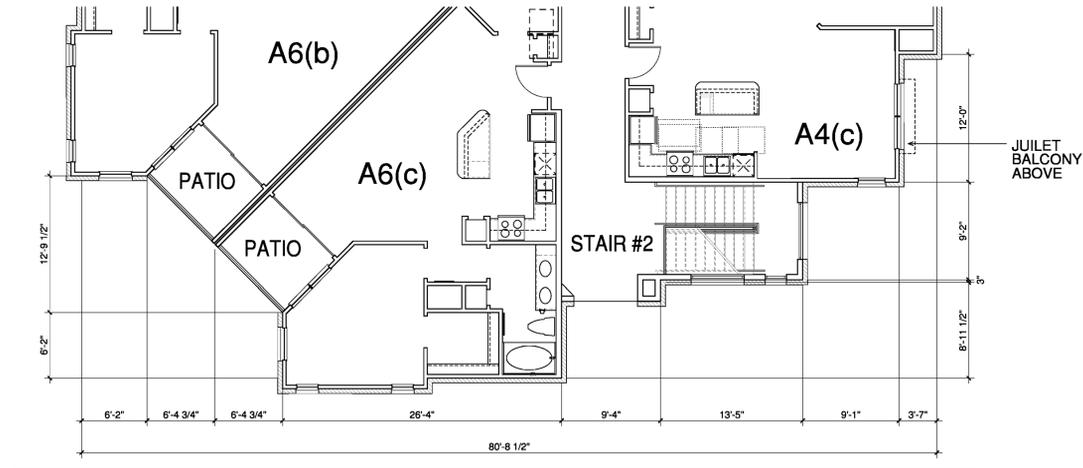
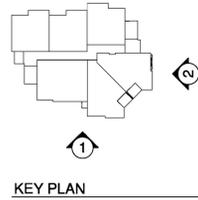


1 BUILDING 'D' EAST ELEVATION
SCALE 1/8" = 1'-0"

STUCCO KEY: S-1: TOTALLY TAN - SW 6115 S-2: NEBULOUS WHITE - SW 7063	WINDOW FRAMES ALUMINUM-FACTORY FINISHED WHITE	GLAZING CALCULATIONS WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 60% OF EACH BUILDING ELEVATION ELEVATION '1' GLAZING: 29%
MASONRY - MODULAR: M-1: FEATHERLITE- WHITEROCK M-2: FEATHERLITE- TEXAS CREAM	EXTERIOR DOORS/ FRAMES INSULATED STEEL PAINT: BLACK FOX- SW7020	MASONRY - BRICK KEY: B-1: ACME- VILLAGE B-2: ACME- OLD DOMINION B-3: ACME- AUBREY FALLS B-4: ACME- WEATHERWOOD GRAY
CAST STONE C-1: WHITE	DECORATIVE METAL RAILING WELDED TUBE STEEL PAINT: BLACK FOX- SW7020	
COMPOSITION ASPHALT ROOFING ATLAS ROOFING PINNACLE WEATHERED WOOD		

BUILDING 'D'
 OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS, EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION
 NOTE: GROUND LEVEL 100% MASONRY
 EXCEPTION: ALLOW 80% MASONRY CONSTRUCTION INSTEAD OF 85% (5% REDUCTION)

BRICK ROW NORTH MULTI-FAMILY RESIDENTIAL BUILDING 'D' AND 'E' MCKAMY PARK ADDITION LOT 1C, BLOCK O	BGO architects 4144 N. Central Expy. Suite 855 Dallas, TX 75204 214.520.8878 bgoarchitects.com	DATE 02-20-12	SHEET NUMBER A-2
	PROJECT 10172	BUILDING 'D' ELEVATION	
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2 BUILDING 'E' EAST ELEVATION
SCALE 1/8" = 1'-0"

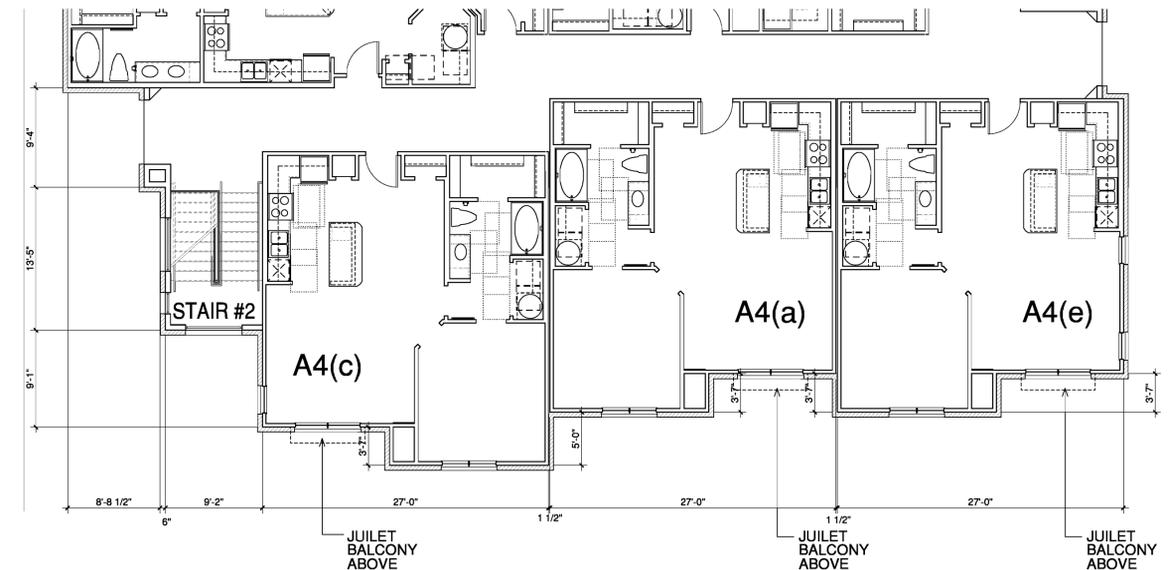
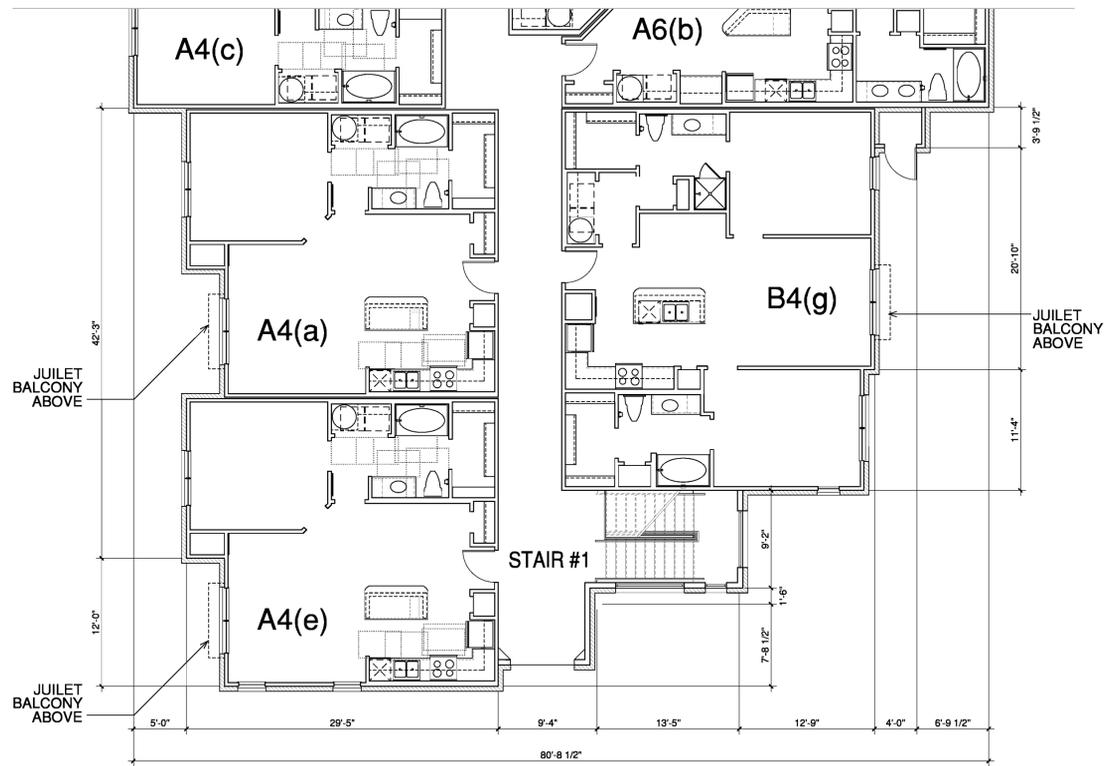
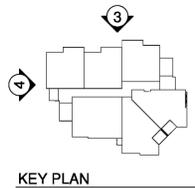
1 BUILDING 'E' SOUTH ELEVATION
SCALE 1/8" = 1'-0"

STUCCO KEY: S-1: TOTALLY TAN - SW 6115 S-2: NEBULOUS WHITE - SW 7063	WINDOW FRAMES ALUMINUM-FACTORY FINISHED WHITE	GLAZING CALCULATIONS WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 60% OF EACH BUILDING ELEVATION ELEVATION '1' GLAZING: 29%
MASONRY - MODULAR: M-1: FEATHERLITE - WHITEROCK M-2: FEATHERLITE - TEXAS CREAM	EXTERIOR DOORS/ FRAMES INSULATED STEEL PAINT: BLACK FOX- SW7020	MASONRY - BRICK KEY: B-1: ACME- VILLAGE B-2: ACME- OLD DOMINION B-3: ACME- AUBREY FALLS B-4: ACME- WEATHERWOOD GRAY
CAST STONE C-1: WHITE	DECORATIVE METAL RAILING WELDED TUBE STEEL PAINT: BLACK FOX- SW7020	
COMPOSITION ASPHALT ROOFING ATLAS ROOFING PINNACLE WEATHERED WOOD		

BUILDING 'E'
OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS, EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION

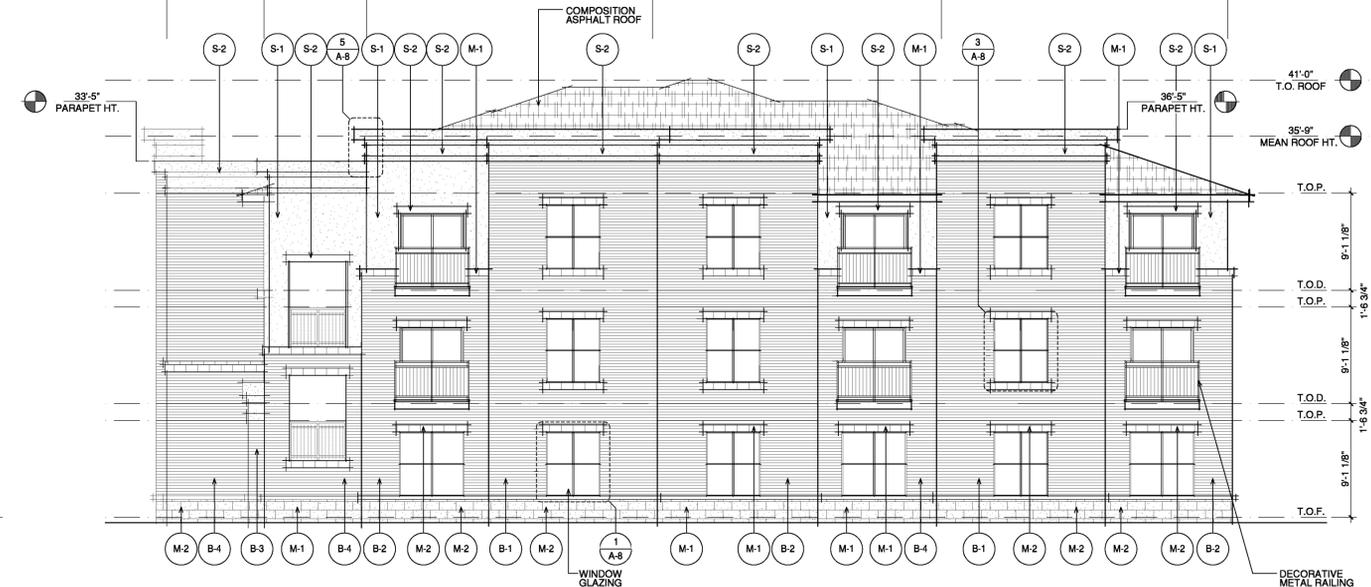
NOTE: GROUND LEVEL 100% MASONRY
EXCEPTION: ALLOW 77% MASONRY CONSTRUCTION INSTEAD OF 85% (8% REDUCTION)

BRICK ROW NORTH MULTI-FAMILY RESIDENTIAL BUILDING 'D' AND 'E' MCKAMY PARK ADDITION LOT 1C, BLOCK O	BGO architects 4144 N. Central Expy. Suite 855 Dallas, TX 75204 214.520.8878 bgoarchitects.com	DATE 02-20-12 PROJECT 10172	SHEET NUMBER A-6 BUILDING 'E' ELEVATION
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	10172		



A4(d) UNIT	A4(f) UNIT	STAIR #1	B4(h) UNIT	A6(b) UNIT	THIRD LEVEL
A4(d) UNIT	A4(f) UNIT	STAIR #1	B4(h) UNIT	A6(b) UNIT	SECOND LEVEL
A4(c) UNIT	A4(e) UNIT	STAIR #1	B4(g) UNIT	A6(b) UNIT	FIRST LEVEL

A6(c) UNIT	STAIR #2	A4(d) UNIT	A4(b) UNIT	A4(f) UNIT	THIRD LEVEL
A6(c) UNIT	STAIR #2	A4(d) UNIT	A4(b) UNIT	A4(f) UNIT	SECOND LEVEL
A6(c) UNIT	STAIR #2	A4(c) UNIT	A4(a) UNIT	A4(e) UNIT	FIRST LEVEL



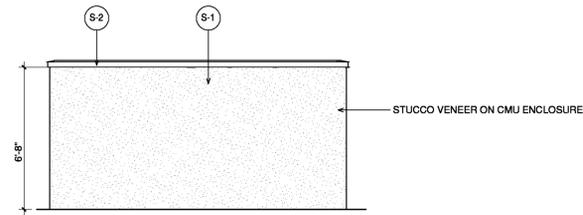
4 BUILDING 'E' WEST ELEVATION
SCALE 1/8" = 1'-0"

3 BUILDING 'E' NORTH ELEVATION
SCALE 1/8" = 1'-0"

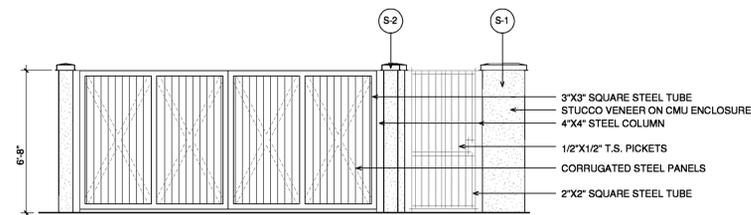
STUCCO KEY: S-1: TOTALLY TAN - SW 6115 S-2: NEBULOUS WHITE - SW 7063	WINDOW FRAMES ALUMINUM-FACTORY FINISHED WHITE	GLAZING CALCULATIONS WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 60% OF EACH BUILDING ELEVATION ELEVATION '1' GLAZING: 29%
MASONRY - MODULAR: M-1: FEATHERLITE- WHITEROCK M-2: FEATHERLITE- TEXAS CREAM	EXTERIOR DOORS/ FRAMES INSULATED STEEL PAINT: BLACK FOX- SW7020	MASONRY - BRICK KEY: B-1: ACME- VILLAGE B-2: ACME- OLD DOMINION B-3: ACME- AUBREY FALLS B-4: ACME- WEATHERWOOD GRAY
CAST STONE C-1: WHITE	DECORATIVE METAL RAILING WELDED TUBE STEEL PAINT: BLACK FOX- SW7020	
COMPOSITION ASPHALT ROOFING ATLAS ROOFING PINNACLE WEATHERED WOOD		

BUILDING 'E'
 OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS, EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION
 NOTE: GROUND LEVEL 100% MASONRY
 EXCEPTION: ALLOW 77% MASONRY CONSTRUCTION INSTEAD OF 85% (8% REDUCTION)

BRICK ROW NORTH MULTI-FAMILY RESIDENTIAL BUILDING 'D' AND 'E' MCKAMY PARK ADDITION LOT 1C, BLOCK O		BGO architects 4144 N. Central Expy. Suite 855 Dallas, TX 75204 214.520.8878 bgoarchitects.com	COPYRIGHT © Beeler Guest Owens Architects ALL RIGHTS RESERVED DATE: 02-20-12 PROJECT: 10172 SHEET NUMBER: A-7 BUILDING 'E' ELEVATION
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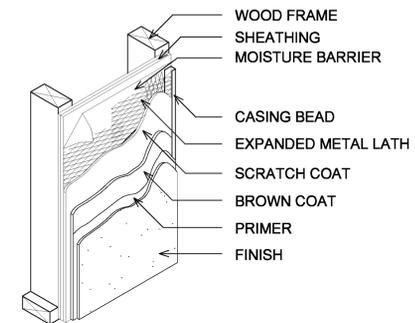
**8 TRASH ENCLOSURE
SIDE ELEVATION**
SCALE: 1/4"=1'-0"



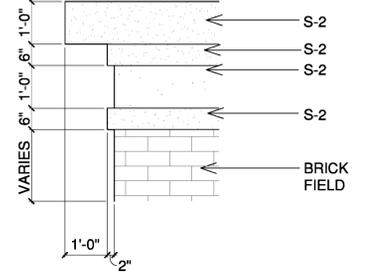
NOTE:
ADJUST HEIGHT
ABOVE GRADE
IN FIELD TO
ALLOW FOR
GATE SWING
INTO SLOPE

**7 TRASH ENCLOSURE
FRONT ELEVATION**
SCALE: 1/4"=1'-0"

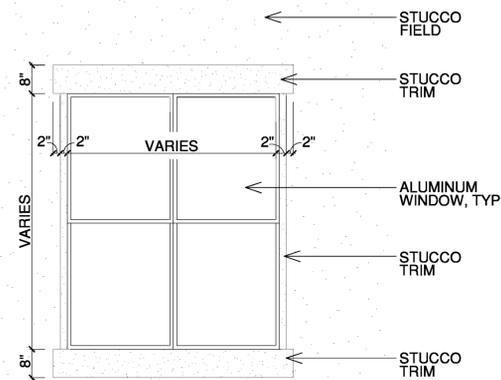
STUCCO KEY:	
S-1:	TOTALLY TAN - SW 6115
S-2:	NEBULOUS WHITE - SW 7063
STEEL	
PAINT: BLACK FOX- SW7020	



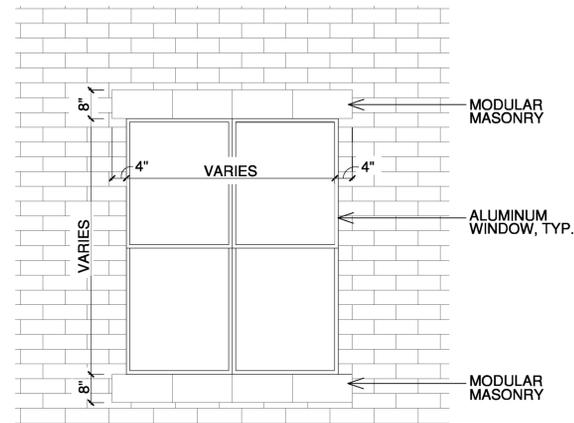
**6 CEMENTITIOUS
STUCCO DETAIL**
SCALE: 1 1/2"=1'-0"
*NOTE: SYSTEM IS NOT CONSIDERED EIFS.



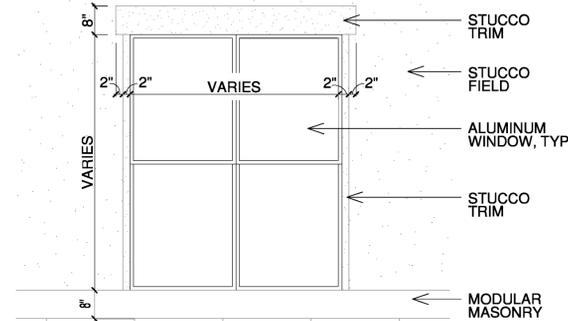
5 PARAPET PROFILE
SCALE: 1/2"=1'-0"



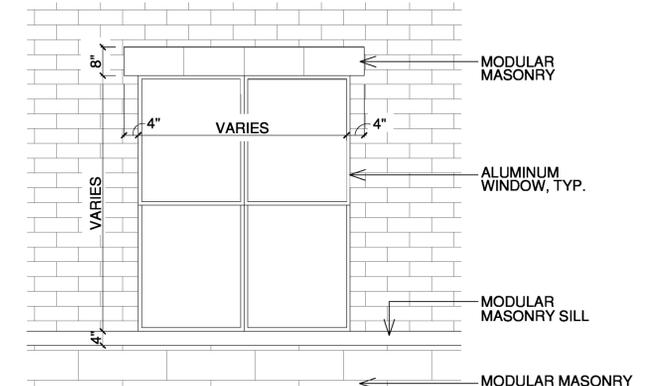
4 WINDOW AT STUCCO
SCALE: 1/2"=1'-0"



3 WINDOW AT BRICK
SCALE: 1/2"=1'-0"



2 WINDOW AT STUCCO/BRICK
SCALE: 1/2"=1'-0"



1 WINDOW AT MODULAR MASONRY
SCALE: 1/2"=1'-0"

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BRICK ROW NORTH
MULTI-FAMILY RESIDENTIAL BUILDING 'D' AND 'E'
MCKAMY PARK ADDITION
LOT 1C, BLOCK O

BGO
architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
02-20-12
PROJECT
10172

SHEET NUMBER
A-8
DETAILS

Approved Elevations

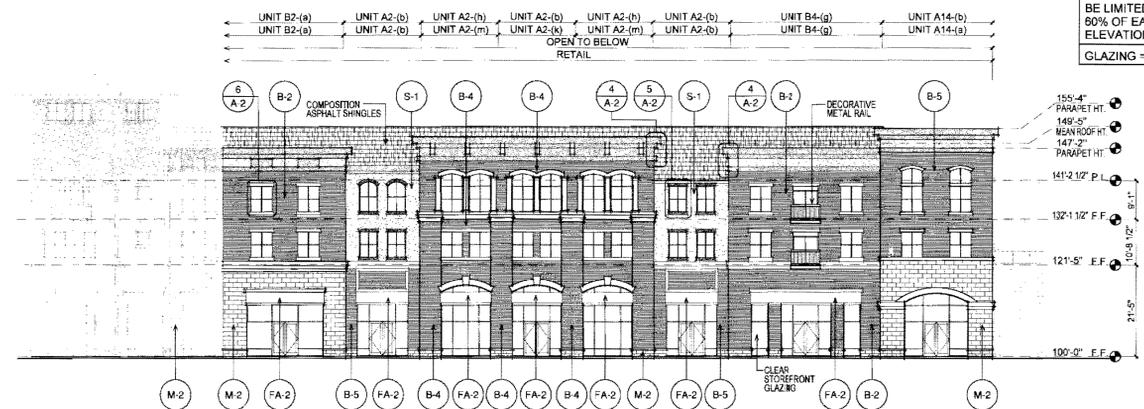
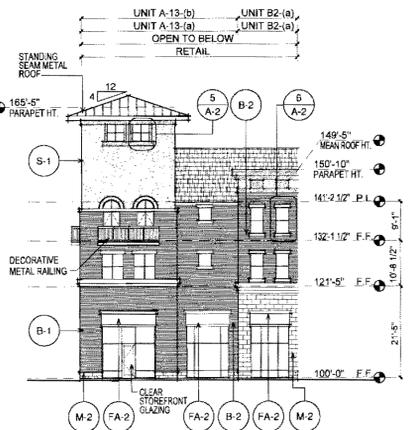
Mixed-Use Building A
Mixed Use Building B
Multi-family Building C

APPROVED:
CITY COUNCIL
DATE: 08-25-08
BY: Steve Mitchellips
Mayor
ATTEST: Pamela Schmidt
City Secretary

08-19-08
REQUIRES CITY SPECIAL APPROVAL

BUILDING 'A' SOUTH ELEVATION
GLAZING CALCULATIONS
WINDOWS AND GLAZING SHALL
BE LIMITED TO A MAXIMUM OF
80% OF EACH BUILDING
ELEVATION
GLAZING = 27%

BUILDING 'A' SOUTH ELEVATION
GLAZING CALCULATIONS
WINDOWS AND GLAZING SHALL
BE LIMITED TO A MAXIMUM OF
80% OF EACH BUILDING
ELEVATION
GLAZING = 34%



1 BUILDING 'A' SOUTH ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"

2 BUILDING 'A' SOUTH ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"

3 BUILDING 'A' NORTH ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"

BUILDING 'A'
OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION
MASONRY = 76%
NOTE: GROUND LEVEL 100% MASONRY
EXCEPTION: ALLOW 76% MASONRY CONSTRUCTION INSTEAD OF 85% (8% REDUCTION)

STUCCO KEY
S-1: BELVEDERE CREAM - SW0067
S-2: NEBULOUS WHITE - SW7073
S-3: WHOLE WHEAT - SW6121
DECORATIVE METAL RAILING
WELDED TUBE STEEL
PAINT: BLACK FOX - SW7020

FABRIC AWNINGS KEY:
FA-1: SUNBRELLA - BLACK
FA-2: SUNBRELLA - CAPRI
WINDOW/ STOREFRONT
ALUMINUM FRAMES W/ CLEAR GLAZING
WINDOWS - WHITE
STOREFRONT - CLEAR ANODIZED

MASONRY - BRICK KEY:
B-1: ACME - BLEND 155
B-2: ACME - BLEND 13
B-3: ACME - BLEND 102
B-4: ACME - BLEND 244
B-5: ACME - BLEND 107
COMPOSITION ASPHALT ROOFING
"ELK" PRESTIQUE SHINGLES
FOSSIL GREY

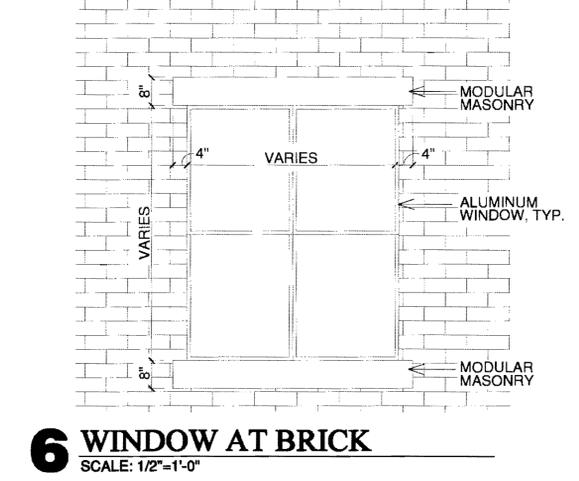
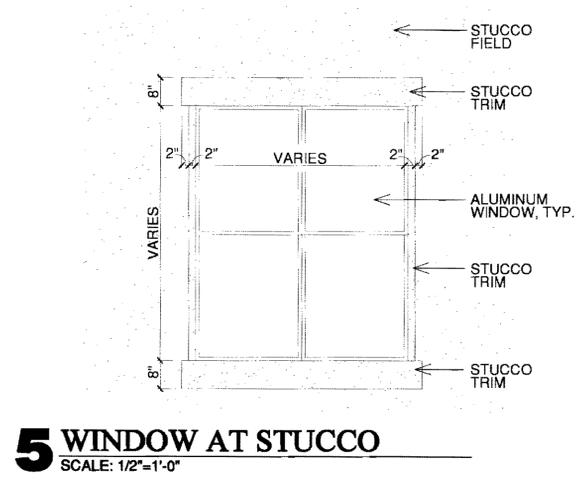
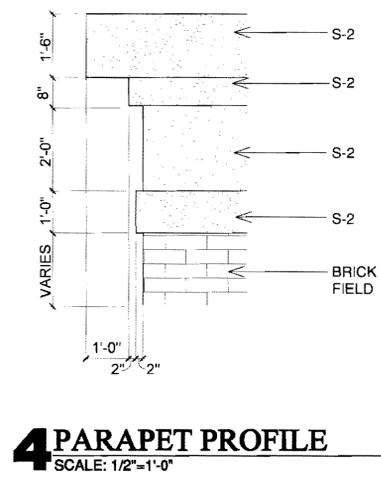
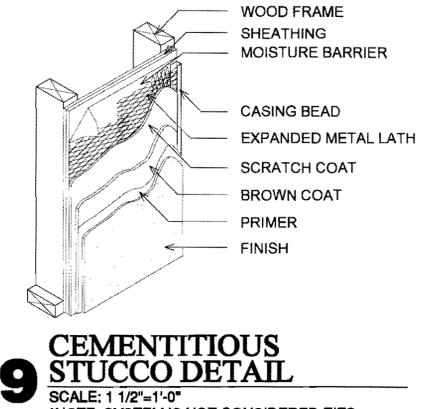
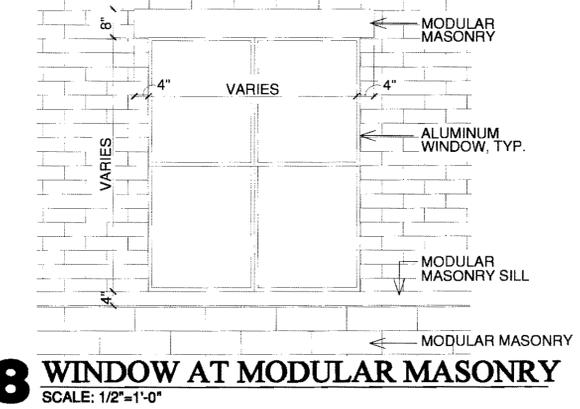
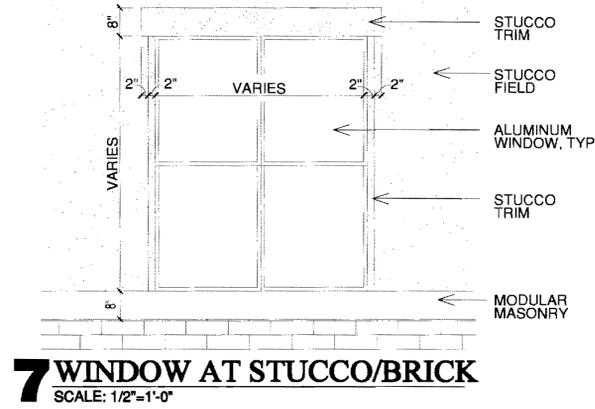
MASONRY - MODULAR KEY:
M-1: FEATHERLITE - WHITEROCK
M-2: FEATHERLITE - TEXAS CREAM
CAST STONE - WHITE
OVERHEAD DOORS EXTERIOR DOORS/ FRAMES
INSULATED STEEL
PAINT: BLACK FOX - SW7020

BGO
BEELER GUEST OWENS ARCHITECTS
4245 N. CENTRAL EXPRESSWAY, SUITE 300 DALLAS, TX 75205 (214)520-8878

BRICK ROW
MIXED - USE BUILDING "A"
743 BRICK ROW
MCKAMY PARK ADDITION
LOT 1A, BLOCK S

DATE
08-14-08
PROJECT
07709

SHEET NUMBER
A-2
OF A-10
BUILDING 'A'
PLANS AND ELEVATIONS

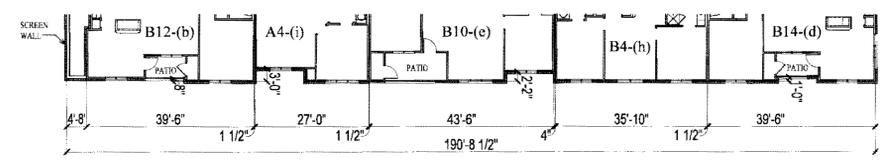
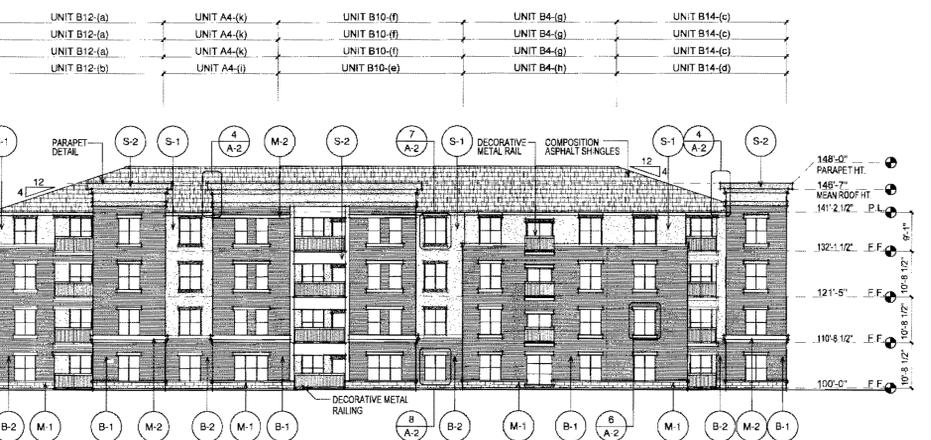


4 PARAPET PROFILE
SCALE: 1/2"=1'-0"

5 WINDOW AT STUCCO
SCALE: 1/2"=1'-0"

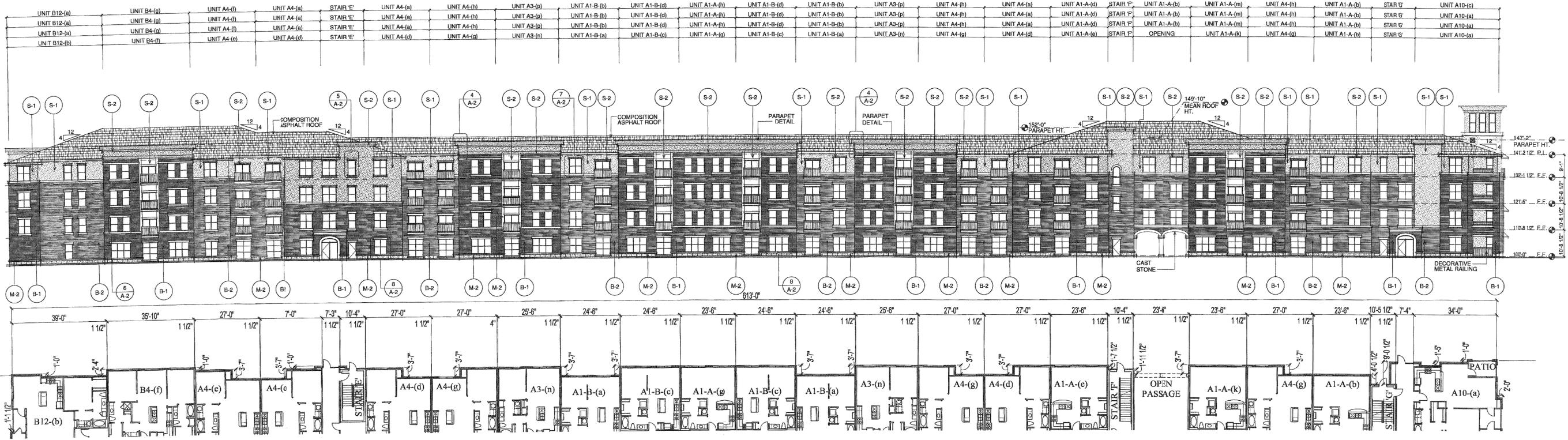
6 WINDOW AT BRICK
SCALE: 1/2"=1'-0"

BUILDING 'A' NORTH ELEVATION
GLAZING CALCULATIONS
WINDOWS AND GLAZING SHALL
BE LIMITED TO A MAXIMUM OF
80% OF EACH BUILDING
ELEVATION
GLAZING = 30%



3 BUILDING 'A' NORTH ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"

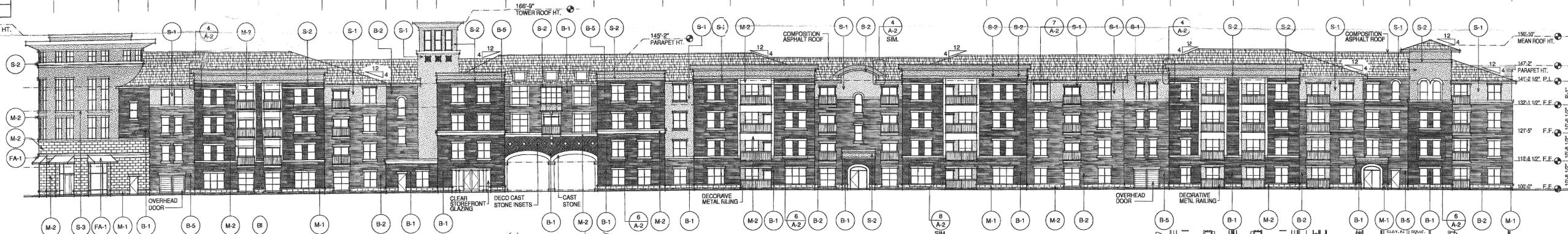
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2 BUILDING 'B' WEST ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"

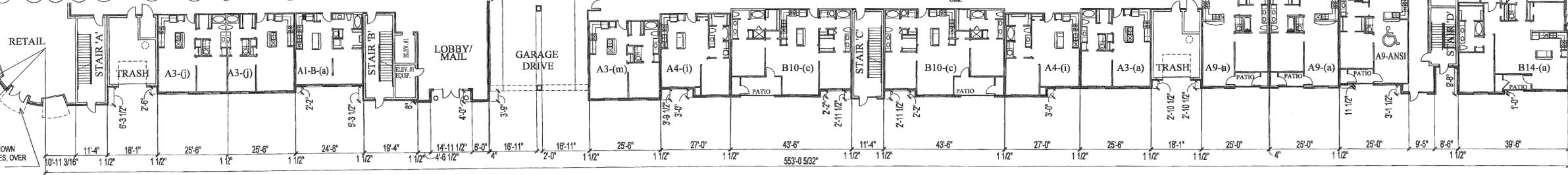
BUILDING 'B' WEST ELEVATION GLAZING CALCULATIONS
WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 80% OF EACH BUILDING ELEVATION
GLAZING = 39%

UNIT B13-(b)	STAIR 'A'	TRASH	UNIT A3-(l)	UNIT A3-(l)	UNIT A1-B-(b)	STAIR 'B' ELEV #1	UNIT A3-(d)	UNIT B4-(l)	UNIT A3-(m)	UNIT A4-(l)	UNIT B10-(g)	STAIR 'C'	UNIT B10-(g)	UNIT A4-(l)	UNIT A3-(c)	TRASH	UNIT A9-(b)	UNIT A9-(a)	UNIT A9-ANSI	STAIR 'D'	UNIT B14-(a)
UNIT B13-(a)	STAIR 'A'	TRASH	UNIT A3-(l)	UNIT A3-(l)	UNIT A1-B-(b)	STAIR 'B' ELEV #2	UNIT A3-(d)	UNIT B4-(b)	UNIT A3-(m)	UNIT A4-(l)	UNIT B10-(g)	STAIR 'C'	UNIT B10-(g)	UNIT A4-(l)	UNIT A3-(c)	TRASH	UNIT A9-(a)	UNIT A9-(a)	UNIT A9-ANSI	STAIR 'D'	UNIT B14-(a)
RETAIL	STAIR 'A'	TRASH	UNIT A3-(l)	UNIT A3-(l)	UNIT A1-B-(b)	STAIR 'B' ELEV #3	UNIT A3-(d)	GARAGE	UNIT A3-(m)	UNIT A4-(l)	UNIT B10-(g)	STAIR 'C'	UNIT B10-(g)	UNIT A4-(l)	UNIT A3-(c)	TRASH	UNIT A9-(a)	UNIT A9-(a)	UNIT A9-ANSI	STAIR 'D'	UNIT B14-(a)
RETAIL	STAIR 'A'	TRASH	UNIT A3-(l)	UNIT A3-(l)	UNIT A1-B-(b)	STAIR 'B' ELEV #4	LOBBY/MAIL	GARAGE DRIVE	UNIT A3-(m)	UNIT A4-(l)	UNIT B10-(g)	STAIR 'C'	UNIT B10-(g)	UNIT A4-(l)	UNIT A3-(c)	TRASH	UNIT A9-(a)	UNIT A9-(a)	UNIT A9-ANSI	STAIR 'D'	UNIT B14-(a)



1 BUILDING 'B' EAST ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"

BUILDING 'B' EAST ELEVATION GLAZING CALCULATIONS
WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 80% OF EACH BUILDING ELEVATION
GLAZING = 32%



See Revised Sheet
Date: 01-29-09

APPROVED:
CITY COUNCIL
DATE: June 9, 2008
BY: Steve Mitchell, Mayor
ATTEST: Pamela Schmidt, City Secretary

STUCCO KEY: S-1: BELVEDERE CREAM - SW0067 S-2: NEBULOUS WHITE - SW7073 S-3: WHOLE WHEAT - SW6121	FABRIC AWNINGS KEY: FA-1: SUNBRELLA - BLACK FA-2: SUNBRELLA - CAPRI	MASONRY - BRICK KEY: B-1: ACME - BLEND 155 B-2: ACME - BLEND 113 B-3: ACME - BLEND 102 B-4: ACME - BLEND 244 B-5: ACME - BLEND 107	MASONRY - MODULAR KEY: M-1: FEATHERLITE - WHITEROCK M-2: FEATHERLITE - TEXAS CREAM
WELDED TUBE STEEL PAINT: BLACK FOX - SW7020	WINDOW/STOREFRONT ALUMINUM FRAMES W/ CLEAR GLAZING	COMPOSITION ASPHALT ROOFING "ELK" PRESTIGUE SHINGLES FOSSIL GREY	CAST STONE - WHITE OVERHEAD DOORS EXTERIOR DOORS/FRAMES INSULATED STEEL PAINT: BLACK FOX - SW7020

BG
BELER GUEST OWENS ARCHITECTS
42 N. CENTRAL EXPRESSWAY, SUITE 300 DALLAS, TX 75205 (214)520-8878

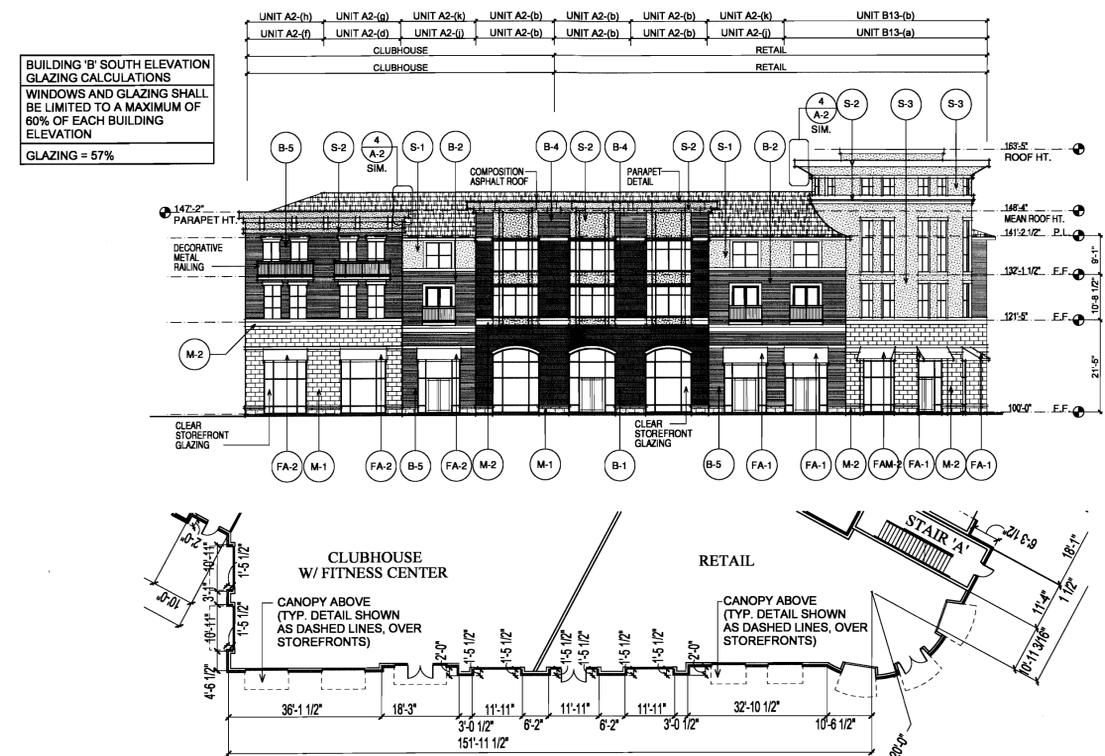
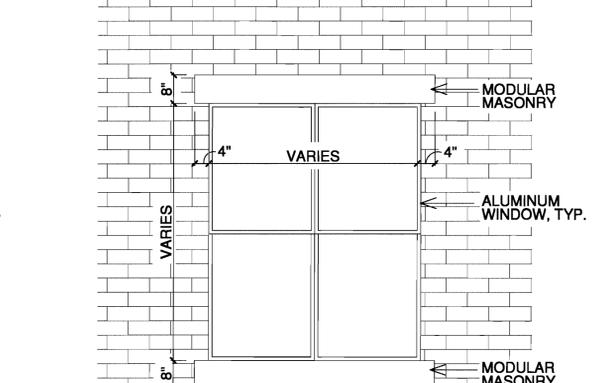
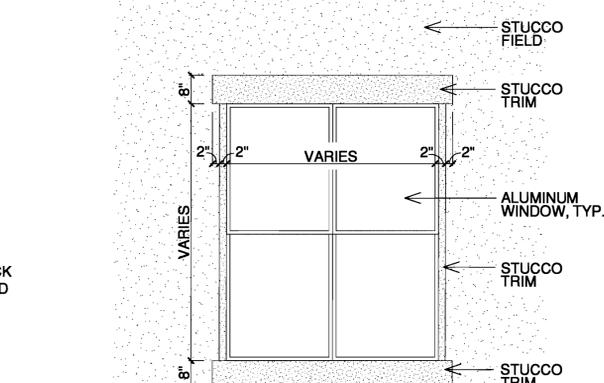
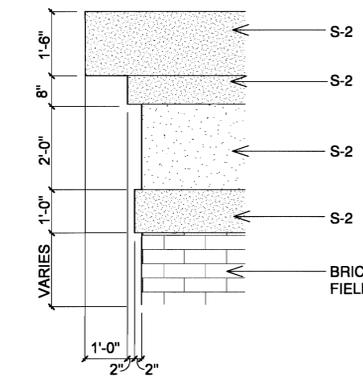
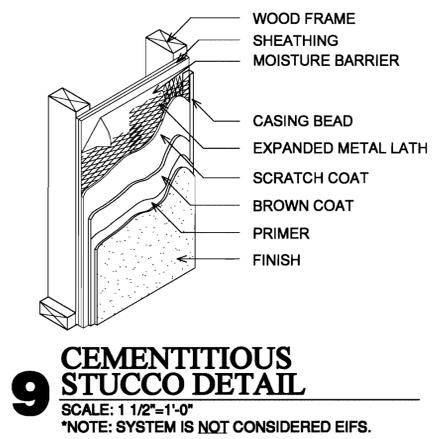
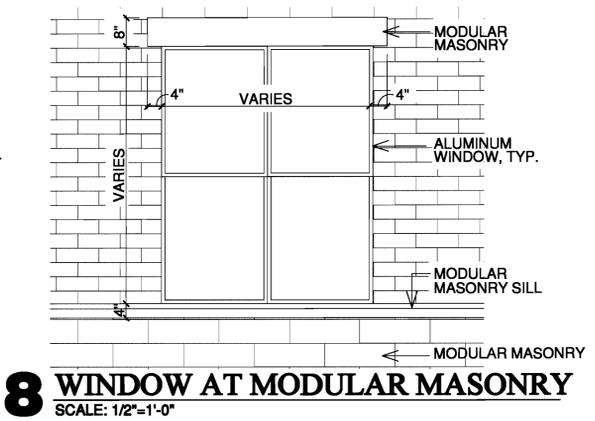
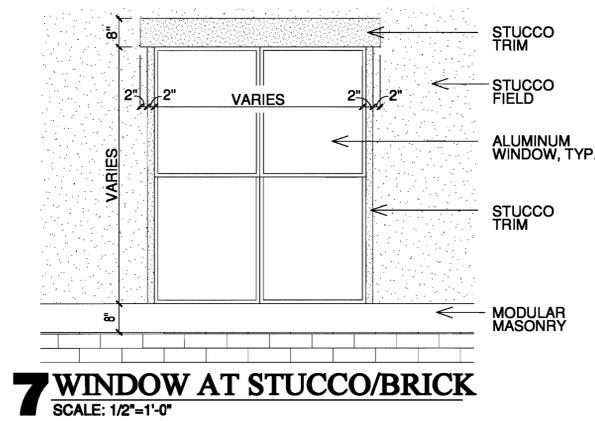
BRICK ROW
MIXED - USE BUILDINGS "B" & APARTMENT BUILDING "C"
744 & 644 BRICK ROW
MCKAMY PARK ADDITION
LOT I, BLOCK M & LOT I, BLOCK N

DATE 05-27-08	SHEET NUMBER A-1 OF A-14 BUILDING 'B' PLANS AND ELEVATION
PROJECT 07709	

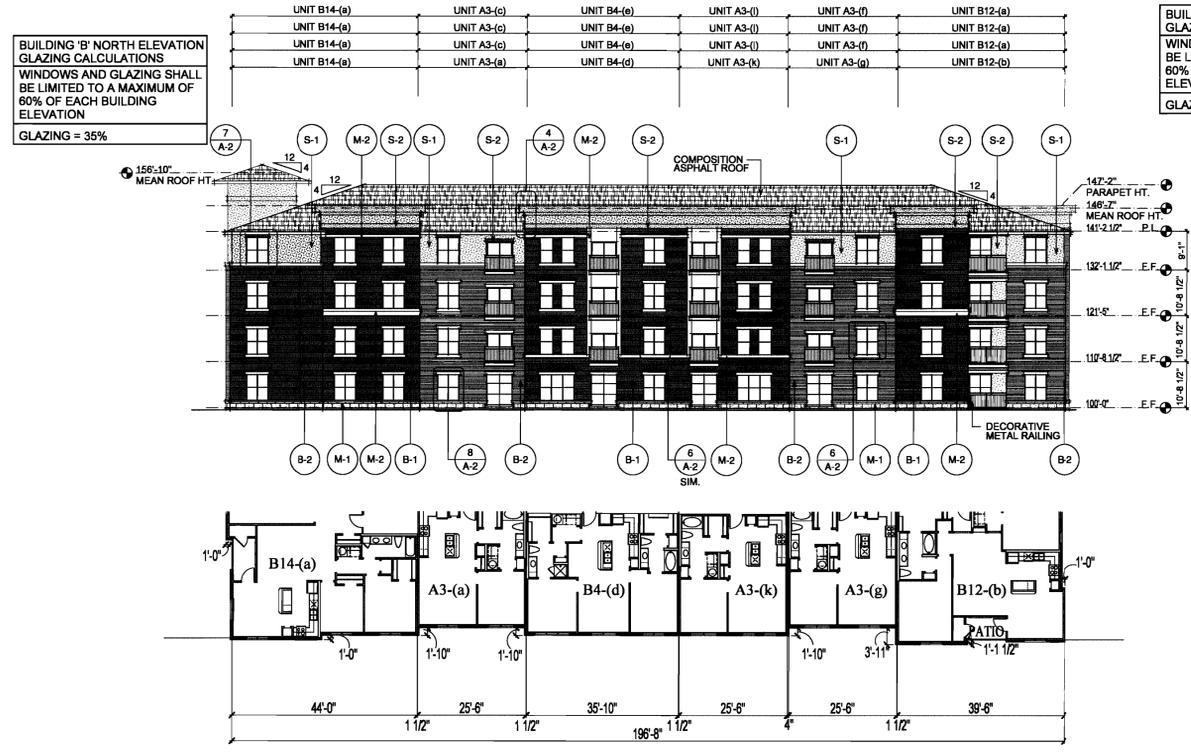
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APPROVED:
CITY COUNCIL
DATE: June 9, 2008
BY: Steve Mitchell, Mayor
ATTEST: Pamela Schmidt, City Secretary

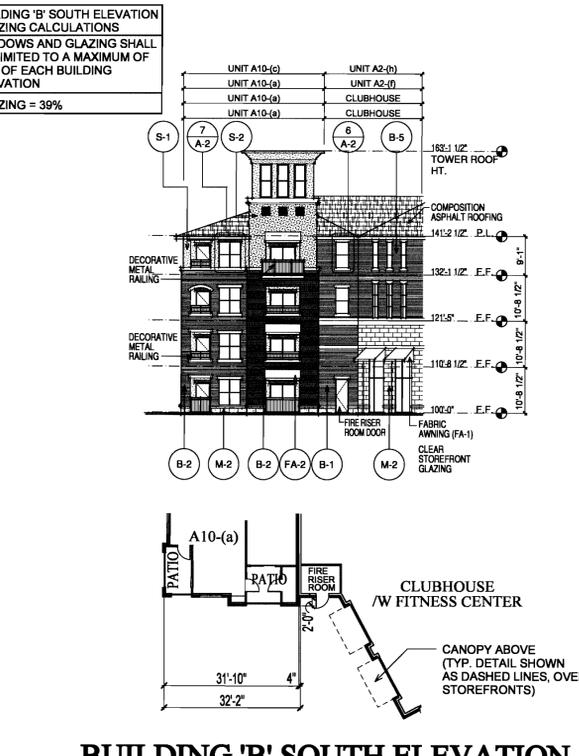
Subject to requirements Building Code and City codes and Ordinances
City Plan Commission
Date: 06-03-08
By: [Signature] Chairman
All utilities are required under ground...
All five lanes and parking surface...
BE COMPLETED PRIOR TO COMMENCEMENT OF BUILDING...
INSTALLLED PRIOR TO ISSUANCE OF PERMIT



1 BUILDING 'B' SOUTH ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"



2 BUILDING 'B' NORTH ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"



3 BUILDING 'B' SOUTH ELEVATION AND FIRST FLOOR PLAN
SCALE: 1"=20'-0"

BUILDING 'B'
OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS, EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION
MASONRY = 77%
NOTE: GROUND LEVEL 100% MASONRY
EXCEPTION: ALLOW 77% MASONRY CONSTRUCTION INSTEAD OF 85% (8% REDUCTION)

STUCCO KEY:
S-1: BELVEDERE CREAM - SW0067
S-2: NEBULOUS WHITE - SW7073
S-3: WHOLE WHEAT - SW8121
DECORATIVE METAL RAILING
WELDED TUBE STEEL
PAINT: BLACK FOX - SW7020

FABRIC AWNINGS KEY:
FA-1: SUNBRELLA - BLACK
FA-2: SUNBRELLA - CAPRI
WINDOW/STOREFRONT
ALUMINUM FRAMES W/
CLEAR GLAZING
WINDOWS - WHITE
STOREFRONT - CLEAR ANODIZED

MASONRY - BRICK KEY:
B-1: ACME - BLEND 155
B-2: ACME - BLEND 13
B-3: ACME - BLEND 102
B-4: ACME - BLEND 244
B-5: ACME - BLEND 107
COMPOSITION ASPHALT ROOFING
"ELK" PRESTIQUE SHINGLES
FOSSIL GREY

MASONRY - MODULAR KEY:
M-1: FEATHERLITE - WHITEROCK
M-2: FEATHERLITE - TEXAS CREAM
CAST STONE - WHITE
OVERHEAD DOORS
EXTERIOR DOORS/ FRAMES
INSULATED STEEL
PAINT: BLACK FOX - SW7020

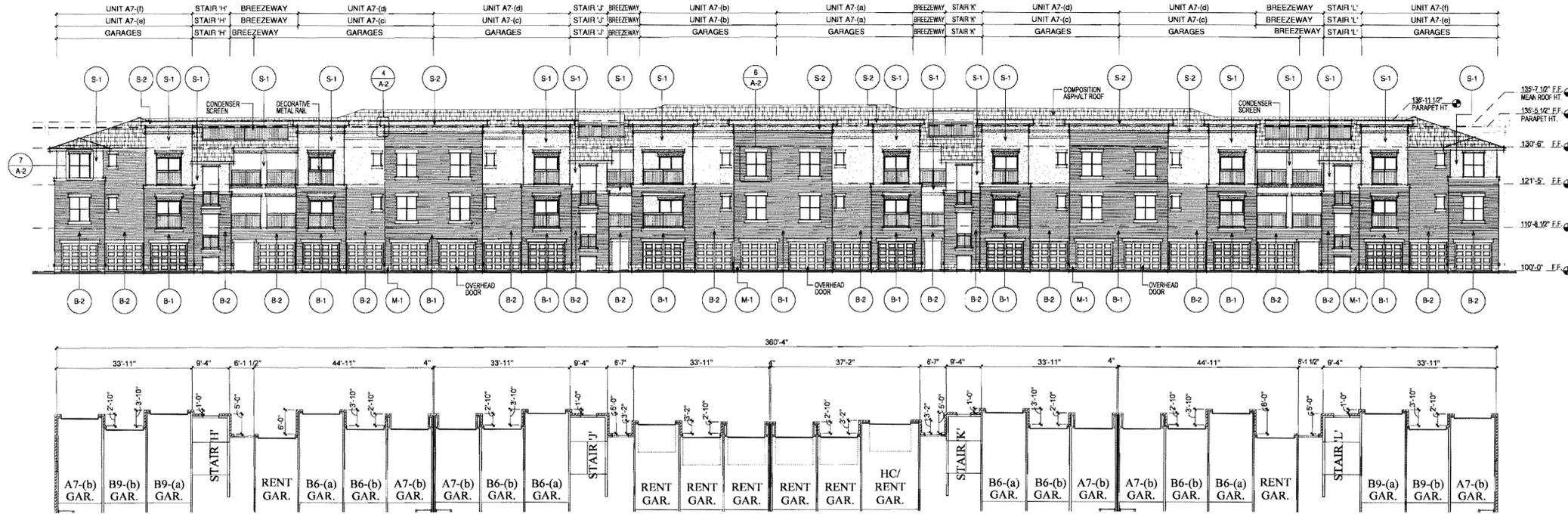
BG
BEELER GUEST OWENS ARCHITECTS
4245 N. CENTRAL EXPRESSWAY, SUITE 300 DALLAS, TX 75205 (214)520-8878

BRICK ROW
MIXED - USE BUILDINGS "B" & APARTMENT BUILDING "C"
744 & 644 BRICK ROW
MCKAMY PARK ADDITION
LOT I, BLOCK M & LOT I, BLOCK N

DATE: **05-27-08**
PROJECT: **07709**

SHEET NUMBER: **A-2**
OF A-14
BUILDING 'B'
PLANS AND ELEVATIONS

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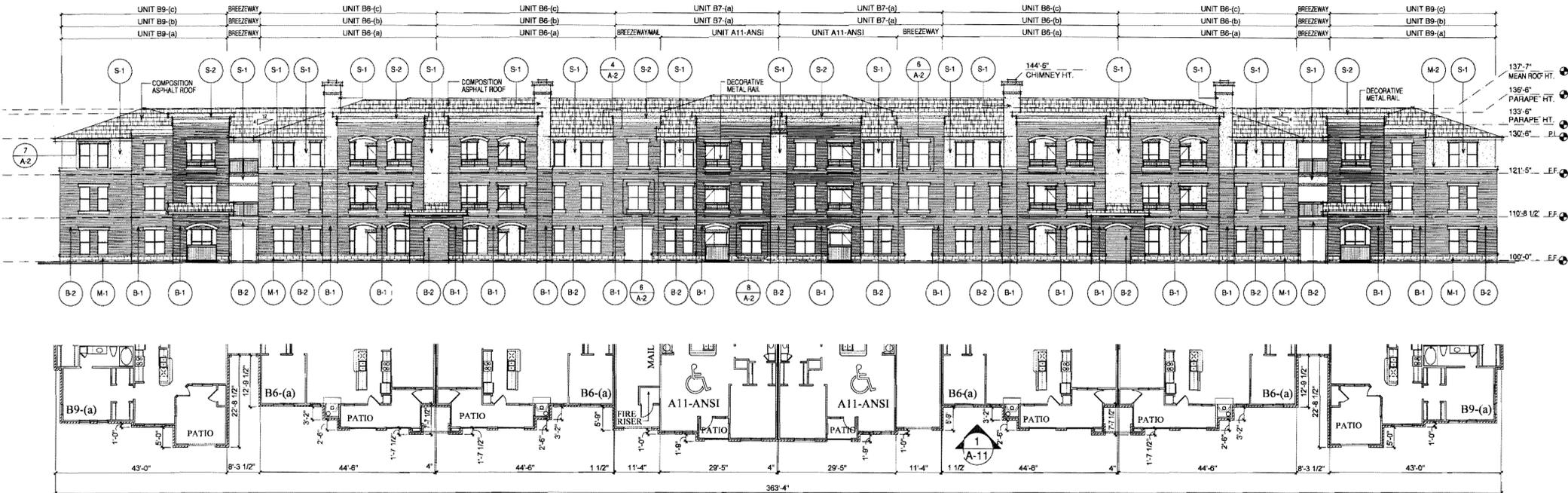
**BUILDING 'C' WEST ELEVATION
GLAZING CALCULATIONS**
WINDOWS AND GLAZING SHALL
BE LIMITED TO A MAXIMUM OF
60% OF EACH BUILDING
ELEVATION
GLAZING = 16%

2 BUILDING 'C' WEST ELEVATION AND FIRST FLOOR PLAN
SCALE 1/16"=1'-0"

BUILDING 'C'
OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS,
EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS
SHALL BE MASONRY CONSTRUCTION

MASONRY = 76%
NOTE: GROUND LEVEL 100% MASONRY
EXCEPTION: ALLOW 76% MASONRY CONSTRUCTION
INSTEAD OF 85% (9% REDUCTION)

STUCCO KEY: S-1: BELVEDERE CREAM - SW0067 S-2: NEBULOUS WHITE - SW7073 S-3: WHOLE WHEAT - SW6121	FABRIC AWNINGS KEY: FA-1: SUNBRELLA- BLACK FA-2: SUNBRELLA- CAPRI	MASONRY - BRICK KEY: B-1: ACME-BLEND 155 B-2: ACME-BLEND 13 B-3: ACME-BLEND 102 B-4: ACME-BLEND 244 B-5: ACME-BLEND 107	MASONRY - MODULAR KEY: M-1: FEATHERLITE- WHITEROCK M-2: FEATHERLITE- TEXAS CREAM
DECORATIVE METAL RAILING	WINDOW/ STOREFRONT ALUMINUM FRAMES W/ CLEAR GLAZING	COMPOSITION ASPHALT ROOFING	CAST STONE- WHITE
WELDED TUBE STEEL PAINT: BLACK FOX- SW7020	WINDOWS- WHITE STOREFRONT- CLEAR ANODIZED	"ELK" PRESTIQUE SHINGLES FOSSIL GREY	OVERHEAD DOORS/ EXTERIOR DOORS/ FRAMES
			INSULATED STEEL PAINT: BLACK FOX- SW7020



**BUILDING 'C' EAST ELEVATION
GLAZING CALCULATIONS**
WINDOWS AND GLAZING SHALL
BE LIMITED TO A MAXIMUM OF
60% OF EACH BUILDING
ELEVATION
GLAZING = 18%

1 BUILDING 'C' EAST ELEVATION AND FIRST FLOOR PLAN
SCALE 1/16"=1'-0"

APPROVED:
CITY COUNCIL
DATE: June 9, 2008
BY: Steve Mitchell
ATTEST: Linda Schmidt
City Secretary

BRICK ROW
MIXED-USE BUILDING - B1 & APARTMENT BUILDING "C"
744 & 644 BRICK ROW
MCKAMY PARK ADDITION
LOT 1, BLOCK M & LOT 1, BLOCK N

ARCHITECTS
OWENS ARCHITECTS
GUEST ARCHITECTS
BEELER
4245 N. CENTRAL EXPRESSWAY, SUITE 300 DALLAS, TX 75205 (214)520-8878

DATE
05-27-08

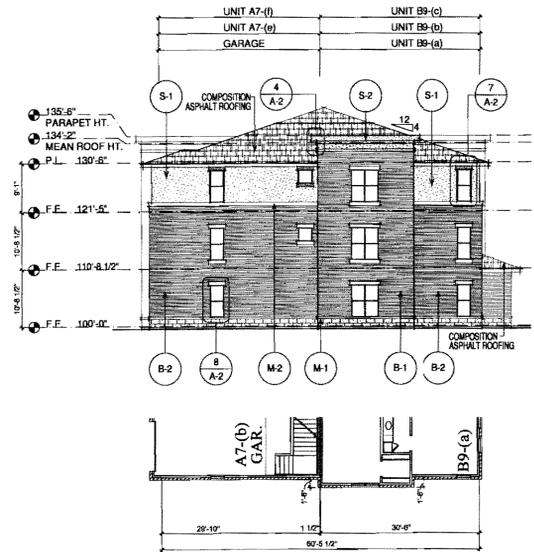
PROJECT
07709

SHEET NUMBER
A-11
OF A-14
BUILDING 'C'
PLANS AND ELEVATIONS

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BUILDING 'C'
 OVERALL, A MINIMUM OF 85% OF EXTERIOR WALLS, EXCLUDING WINDOWS, DOORS, AND OTHER OPENINGS SHALL BE MASONRY CONSTRUCTION

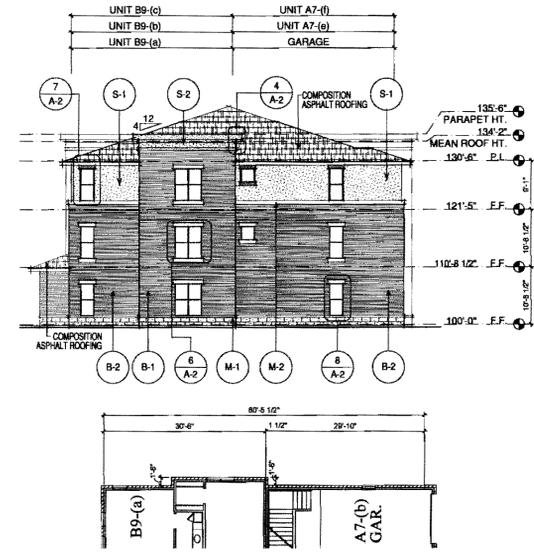
MASONRY = 76%
 NOTE: GROUND LEVEL 100% MASONRY
 EXCEPTION: ALLOW 76% MASONRY CONSTRUCTION INSTEAD OF 85% (9% REDUCTION)



BUILDING 'C' SOUTH ELEVATION GLAZING CALCULATIONS
 WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 60% OF EACH BUILDING ELEVATION
 GLAZING = 11%

3 BUILDING 'C' SOUTH ELEVATION AND FIRST FLOOR PLAN
 SCALE 1/16"=1'-0"

STUCCO KEY: S-1: BELVEDERE CREAM - SW0067 S-2: NEBULOUS WHITE - SW7073 S-3: WHOLE WHEAT - SW6121	FABRIC AWNINGS KEY: FA-1: SUNBRELLA- BLACK FA-2: SUNBRELLA- CAPRI	MASONRY - BRICK KEY: B-1: ACME- BLEND 155 B-2: ACME- BLEND 13 B-3: ACME- BLEND 102 B-4: ACME- BLEND 244 B-5: ACME- BLEND 107	MASONRY - MODULAR KEY: M-1: FEATHERLITE- WHITEROCK M-2: FEATHERLITE- TEXAS CREAM
DECORATIVE METAL RAILING WELDED TUBE STEEL PAINT: BLACK FOX- SW7020	WINDOW/ STOREFRONT ALUMINUM FRAMES W/ CLEAR GLAZING	COMPOSITION ASPHALT ROOFING "ELK" PRESTIQUE SHINGLES FOSSIL GREY	CAST STONE- WHITE OVERHEAD DOORS EXTERIOR DOORS/ FRAMES INSULATED STEEL PAINT: BLACK FOX- SW7020



BUILDING 'C' NORTH ELEVATION GLAZING CALCULATIONS
 WINDOWS AND GLAZING SHALL BE LIMITED TO A MAXIMUM OF 60% OF EACH BUILDING ELEVATION
 GLAZING = 11%

4 BUILDING 'C' NORTH ELEVATION AND FIRST FLOOR PLAN
 SCALE 1/16"=1'-0"

APPROVED:
 CITY COUNCIL
 DATE: June 9, 2008
 BY: Steve Mitchell Mayor
 ATTEST: Pamela Schmidt City Secretary

and
 subject to requirements Building Code and
 City codes and Ordinances
 City Plan Commission
 Date: 05-27-08
 Chair
 Chair
 Public are required underground. The
 of any public facilities or existing
 and between owner, contractor, and
 with Dept. of Public Works. All
 must be approved and be subject
 and prior to occupancy. Design and
 signs are not subject to approval or
 permission.
 ALL FIRE LANES AND PARKING SPOTS
 BE COMPLETED PRIOR TO CON-
 FILING. SCREENING WALL MUST
 INSTALLED PRIOR TO ISSUANCE OF PERMITS.

BRICK ROW
 MIXED - USE BUILDING "B" & APARTMENT BUILDING "C"
 744 & 644 BRICK ROW
 MCKAMY PARK ADDITION
 LOT 1, BLOCK M & LOT 1, BLOCK N

ARCHITECTS
 OWENS GUEST ARCHITECTS
 4245 N. CENTRAL EXPRESSWAY, SUITE 300 DALLAS, TX 75205
 (214)520-8878

DATE
05-27-08

PROJECT
07709

SHEET NUMBER
A-12
 OF A-14
 BUILDING 'C'
 PLANS AND ELEVATIONS

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MEMO

DATE: April 16, 2012
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager 
SUBJECT: Award of Bid #24-12 for a sole source procurement of radio frequency encoders for existing Neptune water meters to HD Supply Waterworks in the amount of \$58,675

Proposed Date of Award: April 23, 2012

I concur with the recommendation of Cara Copley – Customer Service Manager, and request permission to issue a purchase order to HD Supply Waterworks for radio frequency encoders to be used with our existing Neptune water meters, as outlined in the attached memorandum and quotation.

HD Supply Waterworks is the sole distributor for Neptune water meters which makes this a sole source procurement. Local Government Code Chapter 252.022(a)(7)(A) provides for sole source procurements for captive component parts for existing equipment.

Funding is available in account 545-5710-585-6198 for this expenditure.

Concur:


Kent Pfeil

ATTACHMENTS

Xc: Bill Keffler
Dan Johnson
Michelle Thames
David Morgan
Cliff Miller



MEMO

TO: Pam Kirkland, Purchasing Manager

FROM: Cara Copley, Customer Service Manager *cc*

DATE: April 16, 2012

SUBJECT: Radio Frequency Meter Reading (E-Coder/R900I Registers)

Staff has identified several areas in the City where it is unsafe and hazardous for employees to obtain meter readings which are currently read with a technology called Touch Technology. With touch based technology, the meter reader is physically required be at the location to take the reading. Radio frequency meter reading technology eliminates the need for the meter reader to enter the property, walk in hazardous locations or enter underground meter pits.

Therefore, Finance recommends converting 204 water meters in hazardous locations from touch based technology to radio frequency reading at a total cost of \$58,675. This is a sole source purchase from HD Supply Waterworks and the requested parts are component parts to our existing meters. Funding is available in account 545-5710-585-6198.

Cc: Kent Pfeil, Director of Finance
Keith Dagen, Assistant Director of Finance



4333 Irving Blvd
Dallas, TX 75247

t 214.631.9410
f 214.905.0768

March 9, 2012

Jerry Davis
Field Services Supervisor
City of Richardson, Texas
411 W. Arapaho Rd.
Richardson, Texas 75080

Jerry,

Here is the pricing that you requested for the E-Coder/R900i registers:

Qty.	Meter Size	Item	Price Each	Ext. Price
4	¾" & 1"	E-Coder/R900i w/6 ft. antenna	\$175.00	\$700.00
62	2"	E-Coder/R900i w/6 ft. antenna	\$175.00	\$10,850.00
260	3" & larger	E-Coder/R900i w/20 ft. antenna	\$181.25	\$47,125.00
			Total:	\$58,675.00

If you have any questions, please give me a call.

Thanks,

Dennis Woody
HD Supply Waterworks
M:972-877-3994
P:214-631-9410
F:214-905-0768



MEMO

DATE: April 16, 2012
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager *Pam*
SUBJECT: Award of Bid #41-12 for the 6000 PSI Breathing Air Compressor Station for the Fire Department to August Industries, Inc. in the amount of \$52,488

Proposed Date of Award: April 23, 2012

I concur with the recommendation of Ed Hotz – Assistant Fire Chief and request permission to issue a purchase order to August Industries, Inc. for the above referenced equipment in the amount of \$52,488. This unit will be installed at the new Fire Station #4, which is currently under construction.

Pursuant to Local Government Code Chapter 252.043(b), this bid is being awarded based on the best value to the City based on the following criteria and weighted values:

- Bidder's ability to meet the minimum specifications – 30%
- Bidder's past experience/ability in providing breathing air compressor equipment – 30%
- Price – 20%
- Delivery of equipment in a timely manner – 10%
- Ability to provide best warranty and service – 10%

As outlined in the attached tabulation sheet, all four bidders bid on the same unit; therefore, price and delivery were the deciding factors and August Industries, Inc. received a score of 100 out of a possible 100 points.

Funding is provided in account 378-8701-585-7431, Project PB1002. The bid was advertised in the Dallas Morning News on March 28, 2012 and April 4, 2012 and was posted on Bidsync. Six hundred sixty-two (662) bidders were electronically notified of the bid; eleven (11) bidders viewed the bid; and four (4) responsive bids were received. A pre-proposal conference was held on April 5, 2011 and one vendor and two staff members were in attendance.

Concur:



Kent Pfeil

ATTACHMENTS

Xc: Bill Keffler
Dan Johnson
Michelle Thames
David Morgan
Cliff Miller

Inter-Office Memorandum

Date: Monday, April 16, 2012

To: Pam Kirkland, Purchasing Manager

From: Ed Hotz, Assistant Fire Chief *ECH*

Subject: Purchase of SCBA air cylinder filling station

I recommend the purchase of a Bauer Unicus III (UNIII/25H-E3) 6000 PSI SCBA air cylinder filling station from August Industries for a total purchase price of \$52,488 including delivery, installation, start up and training. Four vendors quoted the same system and August Industries had the best pricing. This unit will be delivered to the new Fire Station 4 and will be charged to the FF&E account number 378 8701 585 7431 PB1002.

BID NUMBER: 41-12

DATE OPENED: APRIL 12, 2012

ITEM NO.	DESCRIPTION	EST. QTY.	UNIT	AUGUST INDUSTRIES		BAUER COMPRESSORS INC.		TESCORP		FISHER SCIENTIFIC	
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
1	6000 Psi Breathing Air Compressor Station for Fire Department	1	ea	Bauer Unicus	\$51,388.00	Bauer Unicus	\$56,200.00	Bauer Unicus	\$55,500.00	Bauer Unicus	\$57,950.00
2	Start Up and Training	1	lot		\$300.00		\$925.00		\$1,800.00		\$797.87
3	Installation	1	lot		\$800.00		\$1,250.00		\$1,000.00		\$1,037.23
	Delivery After Receipt of Order			60 days		75 days		180 days		60 days	
	TOTAL				\$52,488.00		\$58,375.00		\$58,300.00		\$59,785.10
	Best Value Criteria:										
	Ability to meet specifications - 30%			30		30		30		30	
	Bidder's past experience providing equipment - 30%			30		30		30		30	
	Price - 20%			20		17.98		18		17.56	
	Warranty, repair parts - 10%			10		10		10		10	
	Delivery of equipment - 10%			10		6		2		10	
	Total Score			100		93.98		90		97.56	



City of Richardson
City Council Work Session
Agenda Item Summary



Work Session Meeting Date: Monday, April 23, 2012

Agenda Item: Review and Discuss Item Listed on the City Council Meeting Agenda

Staff Resource: Bill Keffler, City Manager

Summary: The City Council will have an opportunity to preview and discuss with City Staff the agenda items that will be voted on at the City Council Meeting immediately following the Work Session.

Board/Commission Action: Various, if applicable.

Action Proposed: No action will be taken.



City of Richardson
City Council Worksession
Agenda Item Summary



City Council Meeting Date: Monday, April 23, 2012

Agenda Item: Review and Discuss 2012 Summer Camp Preview

Staff Resource: Michael Massey, Director of Parks and Recreation
Gary Zimmerman, Recreation Superintendent

Summary: Michael Massey, Director of Parks and Recreation and Gary Zimmerman, Recreation Superintendent, will be present during the Work Session to give an overview of the 2012 Summer Camp Program. The presentation will highlight the award winning summer program and set the stage for the annual "Standards of Care" ordinance required by the Texas Human Resource Code. The ordinance requires a brief public hearing to be conducted by the City Council and is scheduled during the regular City Council Meeting.

Board/Commission Action: N/A

Action Proposed: N/A



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, April 23, 2012

Agenda Item: Review and Discuss the 2011-2012 Second Quarter Financial Report

Staff Resource: Dan Johnson, Deputy City Manager
Michelle Thames, Assistant City Manager
Gary Beane, Budget Officer

Summary: Consistent with the City Council's goal of "Fiscal Responsibility" City Staff will report on the second quarter financial activities across the five major operating funds including the General Fund, Water and Sewer Fund, Solid Waste Services Fund, Hotel Motel Tax Fund and Golf Fund. This Second Quarter Financial report will detail revenue and expenditure performance from October 1, 2011 through March 31, 2012.

Board/Commission Action: N/A

Action Proposed: Review and Discuss the 2011-2012 Second Quarter Financial Report



City of Richardson
City Council Worksession
Agenda Item Summary



City Council Meeting Date: April 23, 2012

Agenda Item: Review and Discuss the West Spring Valley Road Rehab Project

Staff Resource: Don Magner, Director of Community Services

Summary: Staff will provide an overview of the W. Spring Valley Road rehab project, including reviewing recent developments on the funding front, planned bridge enhancements and infrastructure improvements such as light pole and traffic signal replacement. Staff will also discuss the project's time line and immediate next steps.

Board/Commission Action: NA

Action Proposed: NA



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, April 23, 2012

Agenda Item: Review and Discuss the Water and Sewer Revenue Review

Staff Resource: Dan Johnson, Deputy City Manager
Michelle Thames, Assistant City Manager
Gary Beane, Budget Officer

Summary: As a follow-up to the North Texas Municipal Water District updated presented to the Richardson City Council by Executive Director Jim Parks on Monday, April 16, City Staff will provide the City Council with an overview of the Water and Sewer Revenue Year End Projections and future outlook. The review will factor in increased revenue constraints and additional cost pressures resulting from the continued drought and responding conservation and supply strategies.

Board/Commission Action: N/A

Action Proposed: Review and Discuss the Water and Sewer Revenue Review



City of Richardson
City Council Work Session
Agenda Item Summary



Work Session Meeting Date: Monday, April 23, 2012

Agenda Item: Items of Community Interest

Staff Resource: Bill Keffler, City Manager

Summary: The City Council will have an opportunity to address items of community interest, including:

Expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City of Richardson or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after the posting of the agenda.

Board/Commission Action: NA

Action Proposed: No action will be taken.



City of Richardson
City Council Meeting
Agenda Item Summary



Meeting Date: Monday, April 23, 2012

Agenda Item: Executive Session

Staff Resource: Bill Keffler, City Manager

Summary: The Council will convene into a closed session in compliance with Texas Government Code Section 551.074 – Personnel – Regional Transportation Council Appointment.

Board/Commission Action: N/A

Action Proposed: Council will reconvene into open session to take any action, if any, on matters discussed in Executive Session.