

**RICHARDSON CITY COUNCIL
MONDAY, MAY 9, 2016
WORK SESSION AT 6:00 PM; COUNCIL MEETING AT 7:00 PM
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX**

The Richardson City Council will conduct a Work Session at 6:00 p.m. on Monday, May 9, 2016 in the Richardson Room of the Civic Center, 411 W. Arapaho Road, Richardson, Texas. The Work Session will be followed by a Council Meeting at 7:00 p.m. in the Council Chambers. Council will reconvene the Work Session following the Council Meeting if necessary.

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

WORK SESSION – 6:00 PM, RICHARDSON ROOM

• **CALL TO ORDER**

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

The City Council will have an opportunity to preview items listed on the Council Meeting agenda for action and discuss with City Staff.

B. REVIEW AND DISCUSS WILDFLOWER! RICHARDSON'S ARTS AND MUSIC FESTIVAL 2016

C. REPORT ON ITEMS OF COMMUNITY INTEREST

The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.

COUNCIL MEETING – 7:00 PM, COUNCIL CHAMBERS

1. INVOCATION – SCOTT DUNN

2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – SCOTT DUNN

3. MINUTES OF THE APRIL 25, 2016 MEETING, APRIL 30, 2016 CITY COUNCIL TOUR, AND MAY 2, 2016 WORK SESSION

4. VISITORS

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a "City Council Appearance Card" and present it to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns will be addressed by City Staff, may be placed on a future agenda, or by some other course of response.

PUBLIC HEARING ITEMS:

- 5. PUBLIC HEARING, ZONING FILE 16-04: A REQUEST BY DANIEL H. SMITH, REPRESENTING FOREMARK REAL ESTATE SERVICES, FOR APPROVAL OF A SPECIAL PERMIT FOR A RESTAURANT WITH DRIVE-THROUGH SERVICE TO BE LOCATED AT 2060 N. COIT ROAD (EAST SIDE OF COIT ROAD, NORTH OF CAMPBELL ROAD). THE PROPERTY IS CURRENTLY ZONED LR-M(2) LOCAL RETAIL.**

6. PUBLIC HEARING, ZONING FILE 16-07: A REQUEST BY JEFF KAUERZ, REPRESENTING AUTOZONE PARTS, INC., FOR APPROVAL OF A SPECIAL PERMIT FOR A "MOTOR VEHICLE REPAIR SHOP, MINOR" USE TO BE LOCATED AT 1325 E. BELT LINE ROAD (NORTH SIDE OF BELT LINE ROAD, WEST OF PLANO ROAD). THE PROPERTY IS CURRENTLY ZONED C-M COMMERCIAL AND LR-M(2) LOCAL RETAIL.
7. PUBLIC HEARING, ZONING FILE 16-08: A REQUEST BY HAROLD PATIN, REPRESENTING WHAT A GREAT DOG! TRAINING CENTER, FOR APPROVAL OF A SPECIAL PERMIT FOR A BOARDING KENNEL (LIMITED TO DOG TRAINING, GROOMING AND REHABILITATION SERVICES), TO BE LOCATED AT 655 N. GLENVILLE DRIVE (NORTHWEST CORNER OF GLENVILLE DRIVE AND COLUMBIA DRIVE). THE PROPERTY IS CURRENTLY ZONED I-M(1) INDUSTRIAL.
8. PUBLIC HEARING, ZONING FILE 16-10: A REQUEST BY BRADLEY MOSS, KIMLEY-HORN AND ASSOCIATES, INC., REPRESENTING BCS EAST LAND INVESTMENTS, LP TO AMEND A 47.9-ACRE PORTION OF THE 62.5-ACRE CITYLINE EAST PD TO ALLOW TEMPORARY PARKING LOTS, ONE (1) SURFACE PARKING LOT AS A PRIMARY USE, AND APPROVE REVISED BUILDING DESIGN STANDARDS FOR "ARTS, ENTERTAINMENT, AND RECREATION USES". THE PROPERTY IS LOCATED EAST OF PLANO ROAD BETWEEN CITYLINE DRIVE AND THE PRESIDENT GEORGE BUSH TURNPIKE.

ACTION ITEMS:

9. VARIANCE 16-02: A REQUEST BY ROBERT HOWMAN, GLENN ENGINEERING, REPRESENTING RICHARDSON I.S.D., FOR A VARIANCE FROM CHAPTER 21, THE SUBDIVISION AND DEVELOPMENT CODE, FOR A WAIVER TO THE MASONRY SCREENING REQUIREMENT FOR A NONRESIDENTIAL USE ABUTTING A RESIDENTIAL USE LOCATED AT 400 S. GREENVILLE AVENUE.
10. RECEIVE THE MAY 4, 2016 SIGN CONTROL BOARD MINUTES AND CONSIDER FINAL DENIAL OF SCB CASE #16-06, A VARIANCE FOR CANYON CREEK ELEMENTARY SCHOOL LOCATED AT 2100 COPPER RIDGE DR.

11. CONSENT AGENDA:

All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.

- A. CONSIDER ADOPTION OF ORDINANCE NO. 4165, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING FROM PD PLANNED DEVELOPMENT FOR C-M COMMERCIAL USES TO PD PLANNED DEVELOPMENT FOR PATIO HOMES FOR 2.44 ACRES GENERALLY LOCATED AT THE SOUTHWEST CORNER OF CITYLINE DRIVE AND FOXBORO DRIVE.
- B. CONSIDER THE FOLLOWING RESOLUTIONS:
 1. RESOLUTION NO. 16-12, REAPPOINTING GARY A. SLAGEL TO THE AGGREGATED POSITION OF REPRESENTATIVE TO THE DALLAS AREA RAPID TRANSIT AUTHORITY ("DART") BOARD OF DIRECTORS, WHICH FRACTIONAL ALLOCATION MEMBERSHIP IS SHARED WITH THE CITY OF UNIVERSITY PARK AND THE TOWNS OF ADDISON AND HIGHLAND PARK.
 2. RESOLUTION NO. 16-13, AUTHORIZING GRANT OF A TEMPORARY EASEMENT AND RIGHT OF WAY FOR ELECTRIC SERVICES TO ONCOR ELECTRIC DELIVERY COMPANY FOR TEMPORARY ELECTRIC SERVICE TO NTMWD'S LOOKOUT DRIVE TRANSFER STATION SITE.

- C. AUTHORIZE THE ADVERTISEMENT OF BID #59-16 – COTTONWOOD LAKE EROSION CONTROL PROJECT. BIDS TO BE RECEIVED BY WEDNESDAY, JUNE 1, 2016 AT 2:00 P.M.
- D. CONSIDER AWARD OF THE FOLLOWING BIDS:
1. BID #38-16 – WE RECOMMEND THE AWARD TO ESTRADA CONCRETE COMPANY, LLC, FOR THE REBID OF RICHARDSON PEDESTRIAN ROUTE IMPROVEMENTS IN THE AMOUNT OF \$832,458.50.
 2. BID #49-16 – WE REQUEST AUTHORIZATION TO ISSUE AN ANNUAL REQUIREMENTS CONTRACT TO ARGOS READY MIX SOUTH CENTRAL PURSUANT TO UNIT PRICES.
- E. AUTHORIZE THE CITY MANAGER TO EXECUTE CHANGE ORDER #1 TO DECREASE THE CONTRACT AMOUNT AND ORIGINAL AWARDED AMOUNT OF BID #38-16 TO ESTRADA CONCRETE COMPANY, LLC, FOR THE REBID OF RICHARDSON PEDESTRIAN ROUTE IMPROVEMENTS IN THE AMOUNT OF (\$53,400.00).
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- **ADJOURN**

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE CIVIC CENTER/CITY HALL ON FRIDAY, MAY 6, 2016, BY 5:00 P.M.

AIMEE NEMER, CITY SECRETARY

ACCOMMODATION REQUESTS FOR PERSONS WITH DISABILITIES SHOULD BE MADE AT LEAST 48 HOURS PRIOR TO THE MEETING BY CONTACTING TAYLOR LOUGH, ADA COORDINATOR, VIA PHONE AT 972 744-4208, VIA EMAIL AT ADACoordinator@COR.GOV, OR BY APPOINTMENT AT 411 W. ARAPAHO ROAD, RICHARDSON, TEXAS 75080.

PURSUANT TO SECTION 30.06 PENAL CODE (TRESPASS BY HOLDER WITH A CONCEALED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A CONCEALED HANDGUN.

PURSUANT TO SECTION 30.07 PENAL CODE (TRESPASS BY HOLDER WITH AN OPENLY CARRIED HANDGUN), A PERSON LICENSED UNDER SUBCHAPTER H, CHAPTER 411, GOVERNMENT CODE (HANDGUN LICENSING LAW), MAY NOT ENTER THIS PROPERTY WITH A HANDGUN THAT IS CARRIED OPENLY.

FOR THE PURPOSE OF THIS NOTICE "PROPERTY" SHALL MEAN THE RICHARDSON ROOM AND COUNCIL CHAMBERS.



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, May 9, 2016

Agenda Item: Review and Discuss Wildflower! Richardson's Arts and Music Festival 2016

Staff Resource: Lori Smeby, Director of Parks & Recreation
Roger Scott, Asst. Director of Parks & Recreation

Summary: City staff will provide a presentation regarding the latest information and plans for the Wildflower! Art and Music Festival scheduled for May 20th-22nd, 2016. City staff will provide an update on site changes for this year's festival as well as highlighting this year's entertainment lineup.

Board/Commission Action: N/A

Action Proposed: N/A

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION AND COUNCIL MEETING
APRIL 25, 2016

• **Call to Order**

Mayor Voelker called the meeting to order at 6:02 p.m. with the following Council members present:

| | |
|------------------|---------------|
| Paul Voelker | Mayor |
| Mark Solomon | Mayor Pro Tem |
| Bob Townsend | Councilmember |
| Scott Dunn | Councilmember |
| Mabel Simpson | Councilmember |
| Marta Gomez Frey | Councilmember |
| Steve Mitchell | Councilmember |

The following staff members were also present:

| | |
|---------------------|---|
| Dan Johnson | City Manager |
| Don Magner | First Assistant City Manager |
| Kent Pfeil | Chief Financial Officer |
| Cliff Miller | Assistant City Manager Development Services |
| Shanna Sims-Bradish | Assistant City Manager Admin/Leisure Services |
| Aimee Nemer | City Secretary |
| Taylor Lough | Assistant to the City Manager |
| Michael Spicer | Director of Development Services |
| Tina Firgens | Planning Projects Manager |
| Lori Smeby | Director of Parks and Recreation |
| Yvonne Falgout | Assistant Director of Parks and Recreation |
| Daniel Allen | Recreation Center Manager |
| Heidi Scalice | Summer Camp Coordinator |

Consultants:

Bob Dransfield, Norton Rose Fulbright
Greg Williford, First Southwest

WORK SESSION – 6:00 PM, RICHARDSON ROOM

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

Dan Johnson, City Manager reviewed items on the agenda.

B. REVIEW AND DISCUSS THE 2016 GENERAL OBLIGATION REFUNDING AND IMPROVEMENT BONDS AND CERTIFICATES OF OBLIGATION SALE

Bob Dransfield, Norton Rose Fulbright; and Greg Williford, First Southwest; reviewed this item for Council.

C. REVIEW AND DISCUSS A PREVIEW OF THE MAIN STREET/CENTRAL EXPRESSWAY CORRIDOR SOUTH END TOUR

Tina Firgens, Planning Projects Manager, reviewed this item for Council.

D. REVIEW AND DISCUSS 2016 SUMMER CAMP PREVIEW AND STANDARDS OF CARE FOR YOUTH PROGRAMS

Heidi Scalice, Summer Camp Coordinator, reviewed this item for Council.

E. REPORT ON ITEMS OF COMMUNITY INTEREST

Councilmember Mitchell reported on the Retail Committee Meeting stating it was a productive meeting reviewing the 2016 Work Plan with specific attention to the Belt Line/Plano Road area and the Galatyn area.

Councilmember Frey reported on the Spring Leadership Work Shop, the Cottonwood Emerging Artists program, and the Ignite leadership program for college women.

Mayor Voelker commented on the various spring Homeowners Association activities.

COUNCIL MEETING – 7:00 PM, COUNCIL CHAMBERS

- 1. INVOCATION – BOB TOWNSEND**
- 2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – BOB TOWNSEND**
- 3. MINUTES OF THE APRIL 11, 2016 AND APRIL 18, 2016 MEETINGS**

Council Action

Councilmember Frey moved to approve the Minutes as presented. Councilmember Simpson seconded the motion. A vote was taken and passed, 7-0.

4. VISITORS

There were no visitors comments submitted.

- 5. CONSIDER APPOINTMENTS AND REAPPOINTMENTS TO THE NORTH TEXAS MUNICIPAL WATER DISTRICT AND ZONING BOARD OF ADJUSTMENT.**

Council Action

Mayor Pro Tem Solomon moved to reappoint the following, seconded by Councilmember Simpson and approved unanimously.

Zoning Board of Adjustment/Building - reappoint for a term to expire April 1, 2018

Jason Lemmons, Even Year Alternate
James Menke, Vice Chair
Charles Pratt
Brian Shuey

North Texas Municipal Water District Board – reappoint for a term to expire May 31, 2018

John Murphy

ACTION ITEMS:

- 6. CONSIDER ORDINANCE NO. 4158, APPOINTING CHRISSI W. GUMBERT AS THE PRESIDING MUNICIPAL JUDGE AND RAYMOND D. NOAH AND**

WILLIAM E. GEYER AS THE ASSISTANT MUNICIPAL JUDGES OF THE MUNICIPAL COURT OF RECORD NO. 1 OF THE CITY OF RICHARDSON.

Council Action

Councilmember Mitchell moved to approve Ordinance No. 4158. Mayor Pro Tem Solomon seconded the motion. A vote was taken and passed, 7-0. Council acknowledged Judge Noah for his service and congratulated Judge Gumbert on her appointment as Presiding Judge. City Secretary Nemer administered the Oath of Office to Judge Noah, Judge Geyer, and Judge Gumbert.

- 7. CONSIDER ALL MATTERS INCIDENT AND RELATED TO THE ISSUANCE AND SALE OF “CITY OF RICHARDSON, TEXAS, GENERAL OBLIGATION REFUNDING AND IMPROVEMENT BONDS, SERIES 2016A”, INCLUDING THE ADOPTION OF ORDINANCE NO. 4159, AUTHORIZING THE ISSUANCE OF SUCH BONDS AND PROVIDING FOR THE REDEMPTION OF THE OBLIGATIONS BEING REFUNDED.**

Council Action

Councilmember Simpson moved to approve as presented. Mayor Pro Tem Solomon seconded the motion. A vote was taken and passed, 7-0.

- 8. CONSIDER ALL MATTERS INCIDENT AND RELATED TO THE ISSUANCE AND SALE OF “CITY OF RICHARDSON, TEXAS, GENERAL OBLIGATION BONDS, TAXABLE SERIES 2016B”, INCLUDING THE ADOPTION OF ORDINANCE NO. 4160, AUTHORIZING THE ISSUANCE OF SUCH BONDS.**

Council Action

Councilmember Townsend moved to approve as presented. Councilmember Dunn seconded the motion. A vote was taken and passed, 7-0.

- 9. CONSIDER ALL MATTERS INCIDENT AND RELATED TO THE ISSUANCE AND SALE OF “CITY OF RICHARDSON, TEXAS, COMBINATION TAX AND REVENUE CERTIFICATES OF OBLIGATION, SERIES 2016”, INCLUDING THE ADOPTION OF ORDINANCE NO. 4161, AUTHORIZING THE ISSUANCE OF SUCH CERTIFICATES OF OBLIGATION.**

Council Action

Councilmember Frey moved to approve as presented. Councilmember Mitchell seconded the motion. A vote was taken and passed, 7-0.

PUBLIC HEARING ITEM:

- 10. PUBLIC HEARING AND CONSIDER ORDINANCE NO. 4162, ADOPTING STANDARDS OF CARE FOR YOUTH PROGRAMS OFFERED BY THE RICHARDSON PARKS AND RECREATION DEPARTMENT.**

Public Hearing

After a presentation by staff, Mayor Voelker opened the Public Hearing. With no public comments submitted, Mayor Pro Tem Solomon moved to close the Public Hearing, seconded by Councilmember Dunn, and approved unanimously.

Council Action

Councilmember Frey moved to approve Ordinance No. 4162 as presented. Councilmember Townsend seconded the motion. A vote was taken and passed, 7-0.

11. CONSENT AGENDA:

A. CONSIDER ADOPTION OF THE FOLLOWING ORDINANCES:

- 1. ORDINANCE NO. 4163, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING FROM PD PLANNED DEVELOPMENT FOR C-M COMMERCIAL USES TO PD PLANNED DEVELOPMENT FOR PATIO HOMES FOR 2.44 ACRES GENERALLY LOCATED AT THE SOUTHWEST CORNER OF CITYLINE DRIVE AND FOXBORO DRIVE.**
- 2. ORDINANCE NO. 4164, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP BY GRANTING A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT WITH CONDITIONS FOR OFF-SITE ACCESSORY PARKING FOR A "MOTOR VEHICLE SALES/LEASING, NEW" USE ON A 4.82-ACRE TRACT ZONED O-M OFFICE, LOCATED ON THE WEST SIDE OF GATEWAY BOULEVARD, BETWEEN MUNICIPAL DRIVE AND OMNI DRIVE, RICHARDSON, TEXAS.**
- 3. ORDINANCE NO. 4165, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A RESTAURANT WITH DRIVE-THROUGH SERVICE ON A 1.394-ACRE TRACT OF LAND ZONED C-M COMMERCIAL LOCATED AT 1251 E. BELT LINE ROAD, RICHARDSON, TEXAS.**

B. CONSIDER THE FOLLOWING RESOLUTIONS:

- 1. RESOLUTION NO. 16-08, ABANDONING AND VACATING A CONSTRUCTION EASEMENT CONVEYED TO THE CITY OF RICHARDSON IN 1994 TO PROVIDE FOR CONSTRUCTION OF A DETENTION POND GENERALLY LOCATED NORTH OF RENNER ROAD, WEST OF GREENSIDE DRIVE.**
- 2. RESOLUTION NO. 16-09, AUTHORIZING THE TERMINATION OF DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS DATED MARCH 29, 2010, EXECUTED BY GALATYN PROPERTY, LTD. RELATING TO THE DEVELOPMENT OF TRACT 6 AS DESCRIBED IN ORDINANCE NO. 2735-A.**
- 3. RESOLUTION NO. 16-10, AUTHORIZING THE TERMINATION AND RELEASE OF RESERVATIONS, RESTRICTIONS, AND COVENANTS FOR GALATYN PARK II.**

C. CONSIDER AWARD OF THE FOLLOWING BIDS:

1. **BID #09-16 – WE RECOMMEND THE AWARD TO GHB EQUIPMENT CO. LLC FOR THE REBID OF ARAPAHO ROAD CULVERTS RAILING REPLACEMENTS IN THE AMOUNT OF \$496,556.00.**
2. **BID #48-16 – WE REQUEST AUTHORIZATION TO ISSUE AN ANNUAL REQUIREMENTS CONTRACT TO INTERCON CONSTRUCTION CO. INC. DBA INTERCON DEMOLITION FOR HAULING OF CONSTRUCTION DEBRIS PURSUANT TO UNIT PRICES.**
3. **BID #53-16 – WE REQUEST AUTHORIZATION TO ISSUE AN ANNUAL REQUIREMENTS CONTRACT TO TEXAS HIGHWAY PRODUCTS FOR TRAFFIC SIGNAL CONTROLLER HARDWARE PURSUANT TO UNIT PRICES.**
4. **BID #56-16 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE ANNUAL REQUIREMENTS CONTRACT TO CASCO INDUSTRIES, INC. FOR FIRE DEPARTMENT BUNKER GEAR THROUGH THE CITY OF NORTH RICHLAND HILLS REQUEST FOR PROPOSAL (“RFP”) #15-017 PURSUANT TO UNIT PRICES.**
5. **BID #57-16 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO MEDORA CORPORATION FOR THREE (3) SOLAR POWERED POTABLE WATER TANK MIXERS FOR GROUND AND ELEVATED STORAGE TANKS IN THE AMOUNT OF \$138,457.**

D. AUTHORIZE THE CITY MANAGER TO EXECUTE CHANGE ORDER #1 TO DECREASE THE CONTRACT AMOUNT AND ORIGINAL AWARDED AMOUNT OF BID #09-16 TO GHB EQUIPMENT CO. LLC, FOR THE REBID OF ARAPAHO ROAD CULVERTS RAILING REPLACEMENTS IN THE AMOUNT OF (\$34,780.00).

Council Action

Councilmember Mitchell moved to approve the Consent Agenda as presented. Councilmember Dunn seconded the motion. A vote was taken and passed, 7-0.

ADJOURNMENT

With no further business, the meeting was adjourned at 7:25 p.m.

MAYOR

ATTEST:

CITY SECRETARY

MINUTES
RICHARDSON CITY COUNCIL
CITY COUNCIL TOUR MEETING
APRIL 30, 2016

• **Call to Order**

Mayor Voelker called the meeting to order at 9:00 a.m. with the following Council members present:

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|------------------|---------------|
| Paul Voelker | Mayor |
| Mark Solomon | Mayor Pro Tem |
| Bob Townsend | Councilmember |
| Scott Dunn | Councilmember |
| Marta Gomez Frey | Councilmember |
| Steve Mitchell | Councilmember |

Absent:

| | |
|---------------|---------------|
| Mabel Simpson | Councilmember |
|---------------|---------------|

The following staff members were also present:

| | |
|----------------|---|
| Dan Johnson | City Manager |
| Don Magner | First Assistant City Manager |
| Kent Pfeil | Chief Financial Officer |
| Cliff Miller | Assistant City Manager Development Services |
| Michael Spicer | Director of Development Services |
| Tina Firgens | Planning Projects Coordinator |
| Keith Krum | Senior Planner |

CITY COUNCIL TOUR – 8:45 A.M. – 11:00 A.M.

City Council and Staff proceeded with the following tour.

The Richardson City Council will tour the Gateway Commercial, Trailside, Creative Corporate, and McKamy Spring Sub-districts located in the City of Richardson in preparation for initiating the Main Street/Central Expressway Enhancement /Redevelopment – Phase III.

9:00 a.m. – Depart Civic Center/City Hall

From 9:00 a.m. to 11:00 a.m.

- Gateway Commercial Sub-district (near Spring Valley Rd. at U.S. 75)
- Trailside Sub-district (near Phillips St. at Sherman St.)
- Creative Corporate Sub-district (near Sherman St. at Prestonwood Blvd./Buckingham Rd.)
- McKamy Spring Sub-district (near Sherman St. at Spring Valley Rd.)

11:00 a.m. – Return to Civic Center/City Hall

ADJOURNMENT

With no further business, the meeting was adjourned at 10:50 a.m.

MAYOR

ATTEST:

CITY SECRETARY

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION MEETING
MAY 2, 2016

• **Call to Order**

Mayor Voelker called the meeting to order at 6:01 p.m. with the following Council members present:

| | |
|------------------|---------------|
| Paul Voelker | Mayor |
| Mark Solomon | Mayor Pro Tem |
| Bob Townsend | Councilmember |
| Scott Dunn | Councilmember |
| Mabel Simpson | Councilmember |
| Marta Gomez Frey | Councilmember |
| Steve Mitchell | Councilmember |

The following staff members were also present:

| | |
|---------------------|---|
| Dan Johnson | City Manager |
| Don Magner | First Assistant City Manager |
| Kent Pfeil | Chief Financial Officer |
| Cliff Miller | Assistant City Manager Development Services |
| Shanna Sims-Bradish | Assistant City Manager Admin/Leisure Services |
| Aimee Nemer | City Secretary |
| Taylor Lough | Assistant to the City Manager |
| Gary Beane | Budget Officer |
| Bruce MacPherson | Managing Director, Eisemann Center |
| Michael Spicer | Director of Development Services |
| Tina Firgens | Planning Projects Manager |
| Keith Krum | Senior Planner |

Consultants:

Mark Bowers, Kimley Horn
Karen Walz, Strategic Community Solutions

WORK SESSION – 6:00 PM, RICHARDSON ROOM

A. VISITORS

Mr. Will Riley, 1707 Valcourt Drive, Richardson, addressed Council expressing concerns about the enforcement of Ordinance No. 4153 regarding construction noise. Mr. Johnson stated that City Staff will follow up with him to address his concerns.

B. PRESENTATION OF PROCLAMATION FOR ASIAN PACIFIC AMERICAN HERITAGE MONTH

Mayor Voelker presented a proclamation to representatives from the DFW Asian American Citizens Council.

C. REVIEW AND DISCUSS THE MAIN STREET/CENTRAL EXPRESSWAY CORRIDOR ENHANCEMENT/REDEVELOPMENT – REZONING INITIATIVE (PHASE III)

Tina Firgens, Planning Projects Manager; Mark Bowers, Kimley Horn; and Karen Walz, Strategic Community Solutions; reviewed this item for Council. They presented the project overview, reviewed property and business owner meetings, the community workshop, and the online survey results. Council provided feedback from the tour. The main points of discussion were the naming of the McKamy Spring subdistrict and the boundaries for that district.

D. REVIEW AND DISCUSS THE FISCAL YEAR 2016-2017 BUDGET CALENDAR

Shanna Sims-Bradish, Assistant City Manager, reviewed the 2016-2017 Budget Calendar.

E. REVIEW AND DISCUSS THE 2015-2016 SECOND QUARTER FINANCIAL REPORT

Gary Beane, Budget Officer, reviewed the Second Quarter Financial Report including the General Fund, Water and Sewer Fund, Solid Waste Services Fund, Golf Fund, and Hotel/Motel Tax Fund. He reported that all funds are in line with projections.

F. REVIEW AND DISCUSS THE PROPOSED 2016-2017 EISEMANN CENTER PRESENTS SEASON

Bruce MacPherson, Managing Director, reviewed the 2016-2017 season including the Family Theater Series, Keyboard Conversations – 30th Anniversary, Spotlight Artists, Theater Series, and MainStage Shows. He also reported on the budget and website redesign.

G. REPORT ON ITEMS OF COMMUNITY INTEREST

Councilmember Frey reported on the Taste of Eastside. Councilmember Dunn acknowledged the promotion of Coby Pewitt to Assistant Chief of Police. Mayor Pro Tem Solomon reported on the retirement of RISD Trustee Lanette Greenhaw, the Weisenthal performance at the Eisemann Center, and the upcoming National Day of Prayer events. Mayor Voelker reported on the Memorial for Holocaust victims at the Congregation Beth Torah. He said that he was honored to read names of the victims and light a memorial candle. He also reported on the Dallas Business Journal's 24th Annual Best Real Estate Deals of the Year for the Spring Creek Nature Park for Neighborhood Impact Deal.

ADJOURNMENT

With no further business, the meeting was adjourned at 8:58 p.m.

MAYOR

ATTEST:

CITY SECRETARY



MEMO

DATE: May 5, 2016
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services MS
SUBJECT: Zoning File 16-04: Special Permit – PDQ Drive-thru Restaurant, 2060 N. Coit Rd.

REQUEST

Daniel H. Smith, Foremark Real Estate Services, is requesting approval of a Special Permit for a restaurant with drive-through service to be located on the east side of Coit Road, north of Campbell Road. The subject site is developed with a 6,000-square foot retail building, which is currently vacant.

The lot, which is platted separately from the rest of the surrounding retail shopping center, was originally developed in 1999 and was previously occupied by Beauty Brands. The applicant intends to demolish the existing building and construct a new single-story, 3,309-square foot PDQ drive-thru restaurant, repave portions of the lot, provide new landscaping, and maintain the existing trees along Coit Road. The applicant states approximately 60% of the restaurant's sales are from sit-down sales. There is no speaker box at the menu board in the drive-thru; rather, orders are taken at a window and picked up at a second window.

BACKGROUND

The applicant originally presented the request to the City Plan Commission on March 15, 2016. As part of the request, the applicant is requesting to allow thirteen (13) of the required thirty-three (33) parking spaces to be provided off-site (within the adjacent retail shopping center parking lot). The applicant is also requesting to allow the dumpster to be located off-site (directly north of the site). The Commission discussed these requests along with some concern related to the proximity of customer parking to the building.

The majority of the Commission's discussion focused on the proposed building's use of a red, standing seam metal roof instead of clay tile, which is used as a roof or accent material on the other buildings in the Lennox Center development. The applicant stated the standing seam metal roof is part of PDQ's branding. The Commission continued the meeting and requested the applicant revise the design to make the proposed restaurant more consistent with the surrounding shopping center and retail development. At the April 19, 2016, the applicant presented a revised building design that replaced the standing seam metal roof with a clay tile roof.

Five (5) letters in support of the request have been received from tenants within the Lennox Shopping Center. No one spoke in favor or opposition to the request at the City Plan Commission public hearing.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 7-0, recommends approval of the request as presented.

ATTACHMENTS

| | |
|-------------------------------------|--|
| Special Conditions | Building Elevations (Exhibits "C-1" & "C-2") |
| CC Public Hearing Notice | Color Building Elevations (Exhibit "D") |
| CPC Minutes 2016-03-15 & 2016-04-19 | Applicant's Statement & Parking Count Survey |
| Staff Report | Site Photos |
| Zoning Map | CPC Notice of Public Hearing |
| Aerial Map | Notification List |
| Oblique Aerial Look North | Correspondence in Support |
| Zoning Exhibit (Exhibit "B") | Ordinance 3079-A |

ZF 16-04 Special Conditions

1. A restaurant with drive-through service shall be allowed as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit “B” and made a part thereof.
2. The restaurant with drive-through service shall be constructed in substantial conformance with the attached concept plan (Exhibit “B”) and building elevations (Exhibits “C-1” and “C-2”).
3. Prior to the approval of development plans for a restaurant with drive-through service, a parking agreement granting the use of a minimum of thirteen (13) parking spaces on Lot 1, Block 5, University World Addition, must be filed and recorded with Dallas County.
4. The dumpster for the restaurant with drive-through service shall be allowed to be located off-site in accordance with Exhibit “B”. Prior to the approval of development plans for a restaurant with drive-through service, a dumpster agreement with the adjacent property owner shall be signed and provided to the City.



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: April 20, 2016
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: APRIL 22, 2016

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00p.m. on Monday, May 9, 2016, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 16-04

A request by Daniel H. Smith, representing Foremark Real Estate Services, for approval of a Special Permit for a restaurant with drive-through service to be located at 2060 N. Coit Road (east side of Coit Road, north of Campbell Road). The property is currently zoned LR-M(2) Local Retail.

ZF 16-07

A request by Jeff Kauerz, representing Autozone Parts, Inc., for approval of a Special Permit for a "motor vehicle repair shop, minor" use to be located at 1325 E. Belt Line Road (north side of Belt Line Road, west of Plano Road). The property is currently zoned C-M Commercial and LR-M(2) Local Retail.

ZF 16-08

A request by Harold Patin, representing What a Great Dog! Training Center, for approval of a Special Permit for a boarding kennel (limited to dog training, grooming and rehabilitation services), to be located at 655 N. Glenville Drive (northwest corner of Glenville Drive and Columbia Drive). The property is currently zoned I-M(1) Industrial.

ZF 16-10

A request by Bradley Moss, Kimley-Horn and Associates, Inc., representing BCS East Land Investments, LP to amend a 47.9-acre portion of the 62.5-acre of the CityLine East PD to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for "arts, entertainment, and recreation uses". The property is located between CityLine Drive and President George Bush Highway, east of Plano Road. The property is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –APRIL 19, 2016

PUBLIC HEARING

Zoning File 16-04 – PDQ (continued from March 15, 2016 and April 5, 2016 meeting):
Consider and take necessary action on a request for approval of a Special Permit for a restaurant with drive-through service to be located at 2060 N. Coit Road, east side of Coit Road, north of Campbell Road. The property is currently zoned LR-M(2) Local Retail.

Mr. Shacklett stated the applicant was requesting approval of a Special Permit for a restaurant with a drive-through service to be located at 2060 N. Coit Road at the northeast corner of Coit and Campbell Roads in the Lennox Shopping Center. The applicant was proposing to demolish the existing building and construct a 3,300 square foot restaurant with a drive-through.

Mr. Shacklett reviewed comments from the previous meeting regarding concerns over the roof design and material, but noted those items had been updated in the current submittal.

Mr. Shacklett said that if the case was recommended for approval, the zoning exhibit and elevations would be attached as well as the requirement for parking and dumpster agreements between the applicant, the shopping center and the adjoining businesses.

In closing his presentation, Mr. Shacklett stated he had five (5) letters in support from various tenants in the shopping center.

Commissioner Springs asked if the only reason the case was before the Commission was due to the drive-through.

Mr. Shacklett replied that if the restaurant did not have a drive-through the site and landscape plans would be the only items up for review.

With no further questions for staff, Chairman Bright opened the public hearing.

Mr. Daniel Smith, Foremark Real Estate Services, 8235 Douglas Avenue, Suite 945, Dallas, Texas, stated that although a tile roof was a deviation from the PDQ brand (red metal standing seam roof); they had updated the roof design to address concerns from the previous meeting. He added that PDQ corporate confirmed the existing roof structure would support a clay tile roof.

Commissioner Ferrell asked what percentage of business came from the drive-through versus customers coming into the restaurant.

Mr. Smith replied that 40% of their business was from drive-through and 60% from patrons actually visiting inside the restaurant.

Commissioner Roland thanked the applicant for working with the City and making the compromises.

With no further comments in favor or opposed, Chairman Bright closed the public hearing.

Motion: Commissioner Roland made a motion to recommend approval for Zoning File 16-04 as presented; second by Commissioner DePuy. Motion approved 7-0.

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –MARCH 15, 2016**

PUBLIC HEARING

1. **Zoning File 16-04 PDQ:** Consider and take necessary action on a request for approval of a Special Permit for a restaurant with drive-through service to be located at 2060 N. Coit Road, east side of Coit Road, north of Campbell Road. The property is currently zoned LR-M(2) Local Retail.

Mr. Shacklett advised the applicant was requesting approval of a Special Permit for a restaurant with drive-through service at the northeast corner of Coit and Campbell Roads. He added the applicant was planning to demolish the existing empty building and build a restaurant with a drive-through entrance starting at the southeast corner of the property.

Mr. Shacklett pointed out a few key elements of the design including the fact the site had a 50-foot landscape buffer along both Coit and Campbell Roads; vehicles going southbound would have to transition around a 3-foot wide rolled curb to enter the drive-through; and the addition of a bump out pad next to the southbound exit of the drive-through was requested to force traffic to move to the southern half of the east/west entrance lanes.

Mr. Shacklett outlined requested exceptions to standard development practices and/or the existing ordinance:

- Dumpster – the dumpster would sit outside the property line and an agreement with the adjacent property would be needed and included as a condition if a recommendation for approval was made.
- Shared parking agreement – applicant was requesting a shared parking agreement with the adjacent property to supplement their parking, which would be required prior to the approval of development plans.
- Building Elevations – proposed use of low-pitched, red, standing seam metal roof instead of the tile roof used on many of the other buildings in the retail center.

Mr. Shacklett concluded his presentation by stating that staff was in receipt of five letters in support of the proposed use and design from retail tenants in the shopping center.

Commissioner Roland asked if the property lines in the retail center were arbitrary or based on previous use. He also wanted to know if the applicant could replat the adjacent parking spaces in-lieu-of getting a parking agreement.

Mr. Shacklett replied that the property was originally platted as one large lot and would be sufficiently parked if the intended use was for a retail purpose; however, additional spaces would be needed because of the intended use as a restaurant. In addition, it would be up to the property owner to initiate a request to replat the property.

Chairman Bright asked if there was a photo of another PDQ location that used a tile roof instead of a standing seam metal roof.

Mr. Shacklett indicated the photo he had was of a red, standing seam metal roof.

Commissioner Frederick asked if the proposed elevation as it pertained to the pitch of the roof was similar to the photo of the other PDQ store. She added that the pitch of the roof in the photograph did not seem to be as dominant as it was presented in the elevations.

Mr. Shacklett said he thought it was the same, but stated the applicant might be better able to answer the question.

With no further questions for staff, Chairman Bright opened the public hearing.

Mr. Daniel Smith, Foremark Real Estate, 8235 Douglas Avenue, Suite 945, Dallas, Texas, stated he was representing PDQ and reviewed information regarding PDQ restaurants (culture, food, and employees), the surrounding retail center, parking, and the points in common between the proposed restaurant and the retail center.

Mr. Smith said that he thought the existing ordinance, Ordinance 3079-A, lacked specificity when it came to outlining and clarifying how each new development would achieve compliance with the general character in the retail center (Tract A), therefore, making the compliance somewhat ambiguous and flexible. He added that PDQ felt they had made an effort to be in compliance with the general character of the retail center by incorporating 100 percent masonry and utilizing a broad color palette on the exterior of the building.

Mr. Smith concluded his presentation by noting that some of the existing buildings in the center did not have the mission style details including towers, arches and tile roofs, and reiterated that five letters in support of their proposal had been received.

Commissioner Roland noted that since the existing building had a tile roof, and the lot was on the corner of a major intersection, he felt it was incumbent upon the Commission to maintain the design integrity of the retail center.

Mr. Smith replied that if the building had to be redesigned, the likelihood would be the design would have to incorporate a flat roof and asked the Commission if that would be acceptable.

Commissioner Roland acknowledged the applicant wanted to continue the characteristics of their branding; however, he noted that even if some of the existing stores in the retail center had flat-stop roofs there were elements of the mission style in other sections of the center. In addition, if the applicant changed to a flat top roof, some other types of design elements or awnings could contain a tile roof.

Commissioner DePuy asked to know the extent of the pitch in the roof and if the applicant was absolutely against using a tile roof.

Mr. Smith replied that the elevations made it appear a little steeper than it would really be and said the photo from the Plano store better reflected what the roof would look like.

Regarding the use of a tile roof, Mr. Smith said they had discussed the use of a tile roof, but due to the fact the PDQ brand was so new to Texas they wanted to stick with their branding model. He also did not know if the whole building would have to be redesigned if the roof was changed from metal to tile.

No other comments in favor or opposed were received from the audience and Chairman Bright asked if the Commission had any comments.

Commissioner Frederick noted the Commission had a history of looking at the surrounding areas to insure new developments were cohesive with an existing development and felt that should be the case with the current proposal.

Commissioner Maxwell agreed with Ms. Frederick comments and thought there could be a way to design the building with a flat roof and have it fit the character of the retail center.

Commissioner Springs highlighted some of the items he liked about the proposed project including the colors of the building, the proposed use, and variances on dumpster location and parking; however, he felt there were problems with circulation, accessibility for disabled customers and a lack of cohesiveness with the rest of the center. In addition, Mr. Springs thought the characteristics of the previous PD Planned Development should be respected.

Chairman Bright said he liked the proposed use, but agreed with Mr. Springs' comments. He asked staff if there were other buildings in the center that did not have flat or tile roofs.

Mr. Shacklett replied that every building in the center had elements of the original PD, but every lease space did not necessarily have a tile roof. He gave as an example of the Tom Thumb grocery store that had a flat roof and no tile, but did have towers on each end.

Commissioner Southard said the applicant might want to add an architectural element on the southwest corner of the building with a tile roof as a nod to the existing design of the center.

Commissioner Frederick asked if the proposed location for the dumpster on the north side of the building would have an enclosure and doors.

Mr. Shacklett said the City's standards require a minimum 6-foot masonry wall enclosure and doors would be optional.

Chairman Bright stated the Commission's options included – to either vote for or against the request, or to vote for a continuation. He asked the applicant if he wanted to address any of those options or the comments that had been made.

Mr. Adam Smith, Vice President of Development, Foremark Real Estate, 8235 Douglas Avenue, Suite 945, Dallas, Texas, said he felt the proposed colors would be consistent with the existing retail center and in conformance with the overall character. He also reminded the Commission that the existing buildings did not match the original PD, which he felt was ambiguous and did not provide a strict guideline as to future development within the center.

Chairman Bright suggested that some of the elements from the existing center were missing from the proposed project.

Commissioner DePuy acknowledged the applicant's statement; however, she felt a tile roof or parapet was needed. She added that she was looking for the proposed project to have a general aesthetic to tie in with the rest of the center.

Mr. A. Smith noted that five existing tenants and the landlord had all supported their proposed design and added that in looking at the whole project the roof should not carry as much weight aesthetically as the overall design of the building.

Commissioner Southard stated it seemed the Commission was in favor of the proposed use, but suggested using roof tiles on the patio cover might be a compromise.

Commissioner Maxwell said he agreed that some aspects of the proposed design did match the existing center, but felt the one key element that was missing was the roof tile and the proposed red standing seam roof was an issue of the design that was causing concern. He asked the applicant if he would like a continuance to address design changes.

Mr. A. Smith stated that was an acceptable idea.

Vice Chair Taylor encouraged the applicant to be creative in the ways he could preserve the branding while incorporating some elements that would be more cohesive with the existing center.

Commissioner Springs agreed the red standing seam metal roof was the problem with the design as opposed to having a tile roof or flat roof with tile accents to match other buildings in the center. He added that in looking at the buildings in the center he saw a consistency of style as opposed to what the applicant was presenting which was only a consistency of color.

Chairman Bright asked staff the options available if a continuation was approved and Mr. Shacklett replied there were two options – continued to a date specific and continued indefinitely.

Mr. A. Smith said he would prefer to have the item continued to the April 5, 2016 meeting.

Motion: Commissioner DePuy made a motion to continue Zoning File 16-04 to the April 5, 2016 meeting; second by Commissioner Frederick. Motion approved 7-0.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, Assistance Director of Development Services *SC*

DATE: May 5, 2016

RE: **Zoning File 16-04:** Special Permit – PDQ Drive-thru Restaurant, 2060 N. Coit Road.

REQUEST:

Approval of a Special Permit for a restaurant with drive-through service located on the east side of Coit Road, north of Campbell Road.

APPLICANT & PROPERTY OWNER:

Daniel H. Smith, Foremark Real Estate Services / Brad Quine, Quine & Associates

EXISTING DEVELOPMENT:

The 0.71-acre lot development contains a single-story, 6,000-square foot retail building that is currently vacant.

ADJACENT ROADWAYS:

Campbell Road: Six-lane, divided arterial; 39,000 vehicles per day on all lanes, eastbound and westbound, east of Coit Road (January 2015).

Coit Road: Six-lane, divided arterial; 51,100 vehicles per day on all lanes, northbound and southbound, south of Campbell Road (January 2015).

SURROUNDING LAND USE AND ZONING:

North: Retail/Commercial; LR-M(2) Local Retail
South: Retail/Commercial; LR-M(2) Local Retail
East: Retail/Commercial; LR-M(2) Local Retail
West: Retail; City of Dallas

FUTURE LAND USE PLAN:

Community Commercial

Retail centers with multiple anchors, mid-rise office, entertainment, and hospitality uses.

Future Land Uses of Surrounding Area:

North: Community Commercial
South: Community Commercial
East: Community Commercial
West: Retail; City of Dallas

EXISTING ZONING:

LR-M(2) Local Retail (Ordinance Numbers 3079-A, 3153-A & 3403-A)

TRAFFIC & INFRASTRUCTURE IMPACTS:

The request will not have any significant impacts on surrounding roadways or existing utilities.

APPLICANT'S STATEMENT

(Please refer to the complete Applicant's Statement.)

STAFF COMMENTS:

CPC Meeting Discussion:

At the March 15, 2016 CPC meeting, the Commission discussed the proposed use and building design. Commissioners stated the use appeared to be appropriate, although, some Commissioners stated concern regarding the circulation pattern of the drive-thru as well as the pedestrian access to the building. However, the majority of the discussion was related to the building design, specifically the use of a red, standing seam metal roof and its inconsistency with the design of the surrounding retail shopping center along with the lack of a tile roof/accent element which is present throughout the surrounding shopping center.

The surrounding 45-acre retail area known as the "Lennox Center" was developed in 1996 as a cohesive development in accordance with an exhibit from Ordinance 3079-A titled "Architectural Image Study"; the conditions stated the exhibit's purpose was to indicate the general character of the development to be expected within the tract. The exhibit provided images that showed buildings that utilized features such as tile roofs, tower features, arches, and stucco. The existing shopping center and surrounding retail areas were constructed utilizing features shown in the exhibit which were all painted a similar color (shades of beige); however, over time, the center was repainted, and each individual tenant space is now painted differently; however, the tile roof features and towers were retained.

At the March 15, 2016 CPC meeting, the applicant stated they planned on utilizing varying colors of stucco similar to the surrounding retail center; however, they stated tile roofing and/or accents were not consistent with the company's brand, and their desire was to utilize their typical red, standing seam metal roof. The Commission continued the meeting to April 5, 2016 to allow the applicant time to revise their building design to be more consistent with the surrounding retail

center. At that meeting the applicant requested an additional 2-week continuation to the April 19, 2016 meeting.

Since that time the applicant has revised their building design. The standing seam metal roof has been replaced with a clay tile roof to match the surrounding shopping center. No other changes are proposed to the building elevations or site plan. Attached are black and white elevations (Exhibits C-1 and C-2) as well as color elevations (Exhibit D) of the proposed building utilizing a tile roof.

Background:

The subject site is developed with an existing, vacant, 6,000-square foot retail building. The lot, which is platted separately from the rest of the surrounding retail shopping center, was originally developed in 1999 and was previously occupied by Beauty Brands. The applicant intends to demolish the existing building and construct a new single-story, 3,309-square foot PDQ drive-thru restaurant, repave portions of the lot, provide new landscaping, and maintain the existing trees along Coit Road. The applicant states approximately 60% of the restaurant's sales are from sit-down sales. There is no speaker box at the menu board in the drive-thru; rather, orders are made at a window and picked up at a second window.

Proposed Development:

- Building Area: 3,309 square feet.
- Building Materials:
The building is constructed of stacked stone as well as stucco placed on top of concrete masonry unit (CMU). The proposed building will be 100% masonry construction. Additional features include metal canopies, an orange clay tile roof, and a covered patio area.
- Setbacks and Landscape Buffer:
 - Front: 50-foot building and landscape buffer along Coit Road.
 - No side or rear setbacks required
- Building Height: 1 story / 23'8" (top of ridge) – maximum thirty-two (32) feet allowed, excluding architectural features.
- Lot Coverage: 11% proposed / Maximum 25% allowed
- Floor Area Ratio: 0.11:1 proposed / Maximum 0.35:1 allowed.
- Landscaping Percentage: 37.6% proposed, 15% required.
- Number of Parking Spaces: 20 proposed; 33 required. **See further discussion regarding shared parking below.**

Elements Related to the Request:

Drive-Thru Configuration – The proposed drive-thru restaurant is located along Coit Road in a similar configuration to the existing building. The site is accessed from both Coit Road and Campbell Road through the use of mutual access easements within the shopping center. The drive-thru lane entrance is located at the southeast corner of the building. A 3-foot wide rolled

concrete curb with integrated color is provided as a visual/physical separation between the drive-thru lane and the mutual access drive on the east side of the subject property. The drive-thru lane circulates in a counter-clockwise fashion, with a menu board located at the northeast corner of the building, along with a drive-thru lane escape at the northeast corner of the lot. Since there is no speaker box, a drive-thru order window is located on the north side of the building, and the pick-up window is located along the west side of the building, parallel to Coit Road.

Staff addressed concerns regarding the difficulty for a southbound vehicle ability to make a 180-degree turn into the drive-thru entrance; however, since vehicles can circulate around the parking area to the south and the maneuvers will not take place near a driveway, the applicant feels the configuration of the drive-thru entrance will be adequate, including modification to the radius on the rolled curb allowing vehicles entering from the east to enter the drive-thru lane.

The drive-thru exits at the southwest corner of the building. The applicant provided a bump-out at the southwest corner of the building pad to direct east bound vehicles into the proper side of the drive aisle to avoid conflicts with vehicles entering the site from the east which are driving to the parking areas to the south of the building.

Parking Location – Due to the width of the lot and the required 50-foot landscape setback along Coit Road, the site has approximately ninety (90) feet of the developable area for the proposed drive-thru restaurant. Since the length of the building is approximately eighty-five (85) feet, the building and site are configured in a north-south manner which does not allow for parking adjacent to the building since the drive-thru lane is located along three (3) sides of the building. Along the south side of the building, a driving aisle provides egress from the drive-thru lane and access to the parking area. Parking for the site is located south of this area or off-site to the north, south, or east requiring customers to cross the drive-thru lane and/or driving aisles.

Staff addressed these concerns with the applicant as well as concern regarding the location of the accessible spaces located south of the drive-thru exit. The applicant has stated the location of the accessible spaces, which will ultimately be approved by the Texas Department of Licensing and Regulation (TDLR), have been reviewed by a consultant who has stated the location as shown on Exhibit “B” would be acceptable. Staff has recommended an accessible route be provided from the front of the spaces going northward through the landscape area and crossing the drive-thru lane at a 90-degree angle to a landing between the front entrance and bike racks. The applicant states there may be issues with the existing grade in that area, and they also have concern about the speed of vehicles leaving the order pick-up window.

Shared Parking – The 3,309-square foot restaurant requires thirty-three (33) parking spaces (one (1) space per 100 square feet for restaurants). The proposed development provides only twenty (20) spaces, thereby creating a 13-space deficiency for the proposed drive-thru restaurant. The applicant is proposing a shared parking agreement with the surrounding Lennox Center retail shopping center. This property includes the Tom Thumb and attached retail buildings, two (2) multi-tenant retail buildings, and two (2) sit-down restaurants along Campbell Road. The shopping center currently has a 35-space surplus based on these existing tenants.

The applicant has stated that the adjacent parking located to the north, south, and east of the subject property can provide the additional spaces for the restaurant to meet Code requirements as well as their anticipated parking needs. Staff requested the applicant provide parking counts

of the shopping center to demonstrate that adequate vacant parking spaces are provided in close proximity to the subject property. The applicant provided counts within the parking area located in the parking lot directly adjacent to the subject property (area in front of Tom Thumb and around Mi Cocina). There are 336 parking spaces in this area.

The applicant provided several counts during various days and times of the week. Based on their counts, the highest number of occupied spaces occurred on a Saturday at 1:00 p.m. At that time, there were 205 occupied spaces, which left 131 parking spaces unoccupied. Within the off-site parking area the applicant intends to use, the spaces closest to the subject property are the spaces located furthest from Tom Thumb and Mi Cocina. If the request is approved, a condition is included to require a shared parking agreement to be completed and recorded with Dallas County prior to the approval of development plans.

Off-Site Dumpster – The subject property currently has a dumpster located on the property, generally where the exit to the drive-thru lane is located. Due to the reconfiguration of the site to accommodate the proposed use, the applicant is proposing to locate the dumpster to the north of the drive-thru lane, which is located off-site. The applicant has stated the adjacent owner is amenable to allowing the dumpster in the area as shown on Exhibit “B”. If the Special Permit is approved, an agreement would be required to be signed by both parties prior to the approval of development plans for the restaurant.

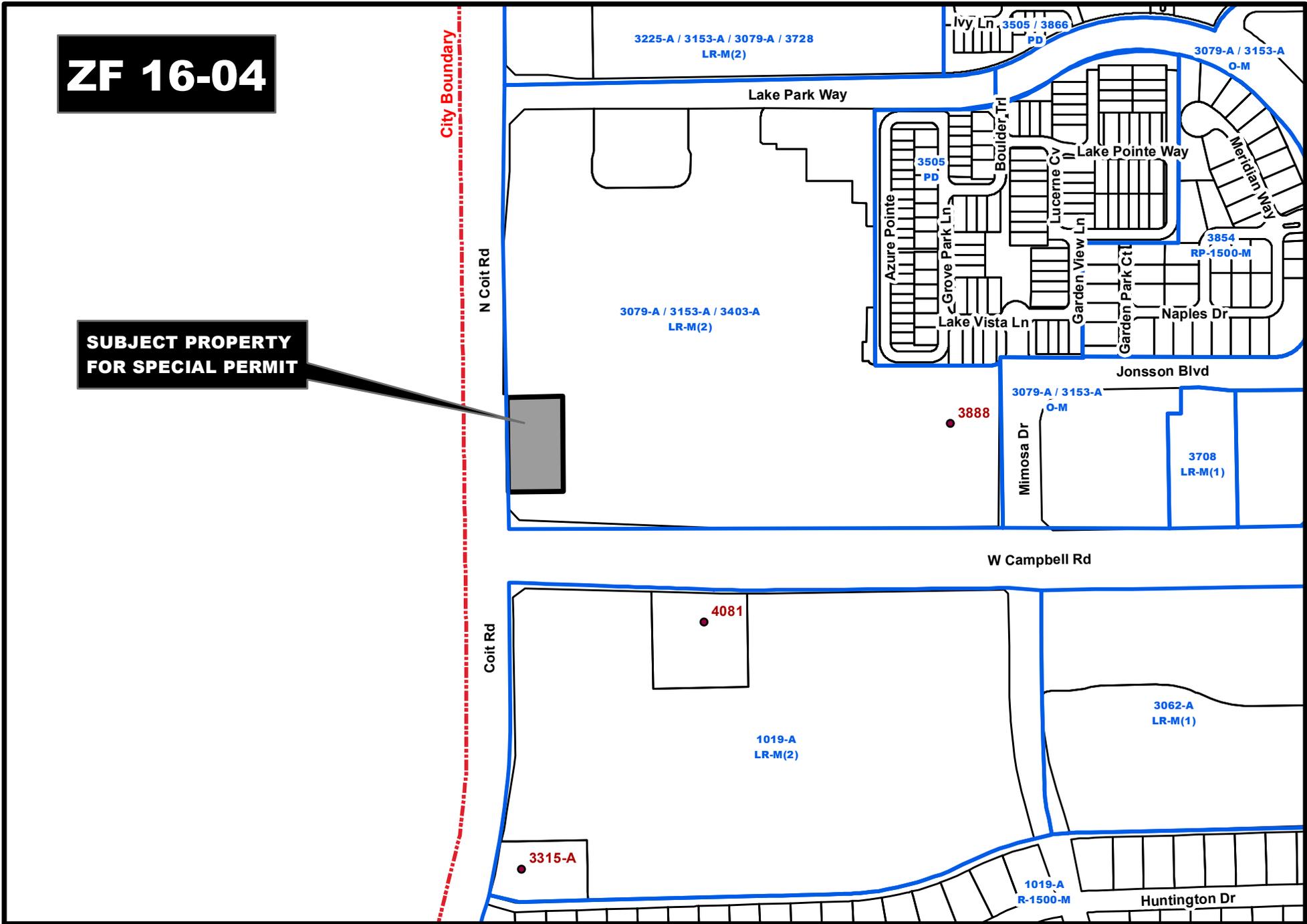
Correspondence: As of this date, five (5) letters in support of the request have been received.

Motion: On April 19, 2016, the City Plan Commission recommended approval of the applicant’s request as presented, subject to the following conditions:

1. A restaurant with drive-through service shall be allowed as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit “B” and made a part thereof.
2. The restaurant with drive-through service shall be constructed in substantial conformance with the attached concept plan (Exhibit “B”) and building elevations (Exhibits “C-1” and “C-2”).
3. Prior to the approval of development plans for a restaurant with drive-through service, a parking agreement granting the use of a minimum of thirteen (13) parking spaces on Lot 1, Block 5, University World Addition, must be filed and recorded with Dallas County.
4. The dumpster for the restaurant with drive-through service shall be allowed to be located off-site in accordance with Exhibit “B”. Prior to the approval of development plans for a restaurant with drive-through service, a dumpster agreement with the adjacent property owner shall be signed and provided to the City.

ZF 16-04

**SUBJECT PROPERTY
FOR SPECIAL PERMIT**

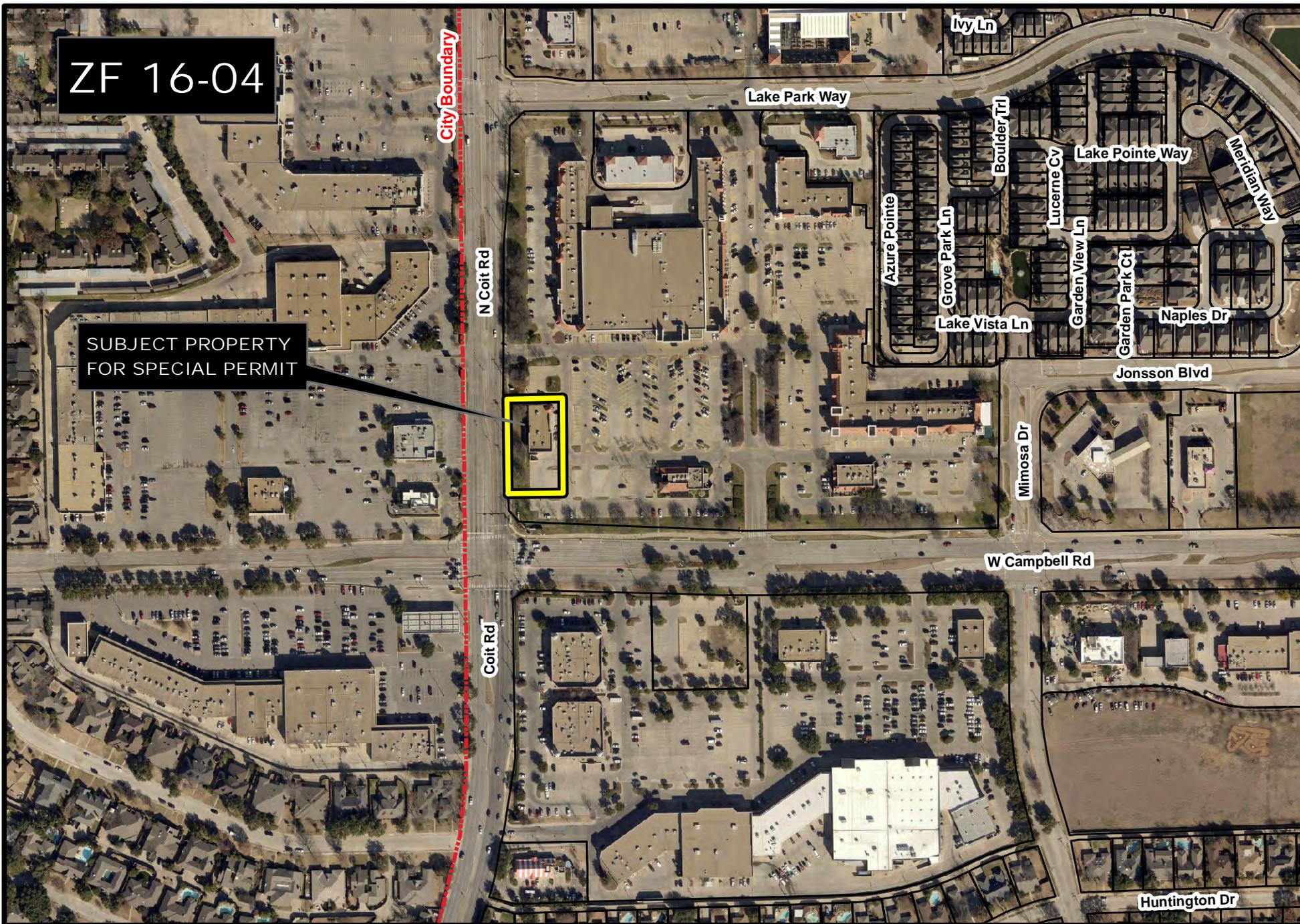


ZF 16-04 Zoning Map

Updated By: shacklett, Update Date: February 29, 2016
File: DSI\Mapping\Cases\Z\2015\ZF1604\ZF1604 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 16-04 Aerial Map

Updated By: shacklett, Update Date: February 29, 2016
File: DSI\Mapping\Cases\Z\2015\ZF1604\ZF1604 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



Tom Thumb

Coit Road

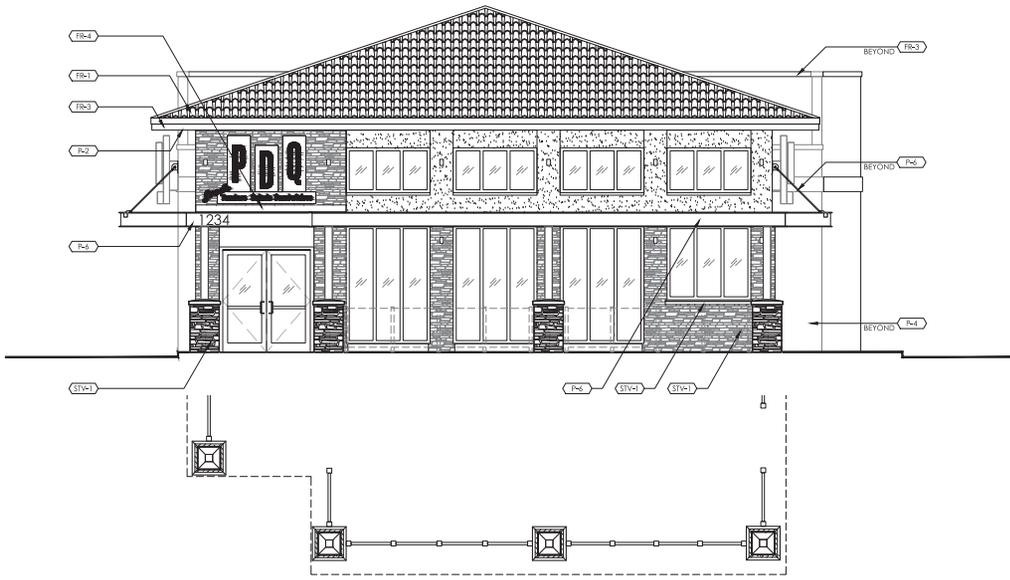
**Subject
Property**

Mi Cocina

Campbell Road

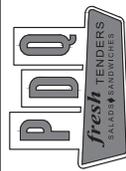
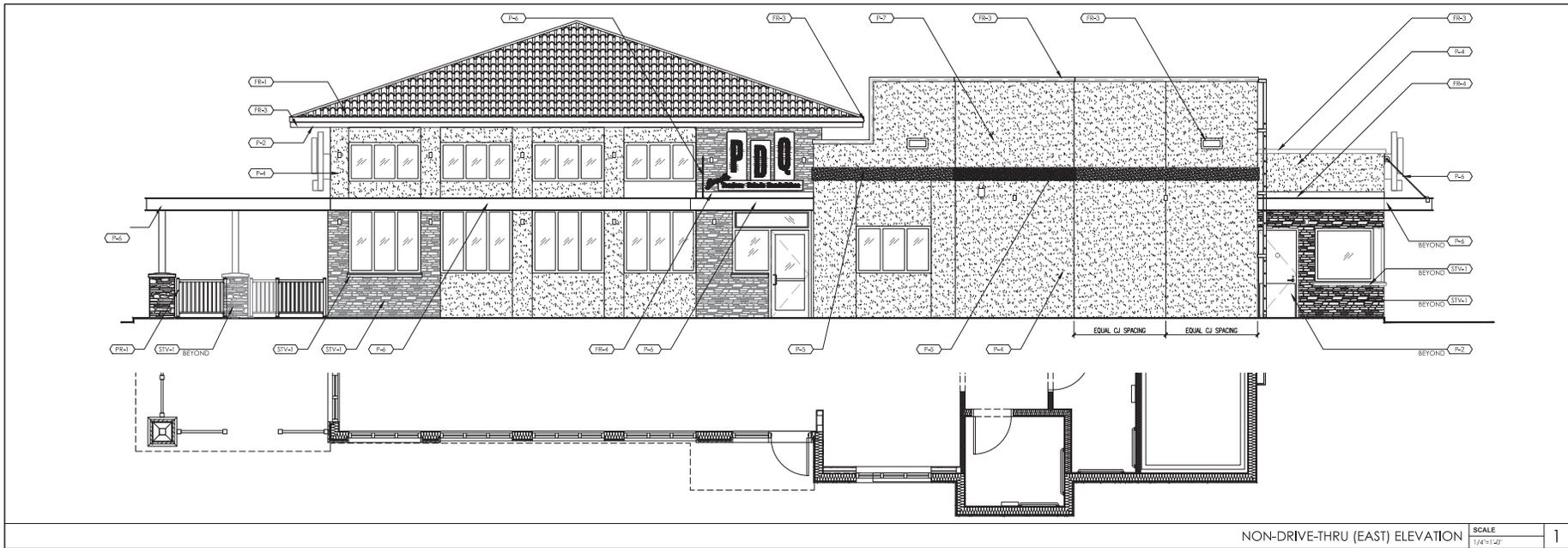
**Oblique Aerial
Looking North**





| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| (P-2) | MANUFACTURER: BENJAMIN MOORE COLOR: PDD MILITARY BLUE PRODUCT: V331/ COROTECH DIM ACRYLIC ENAMEL SURFACE: HOLLOW METAL DOORS PRODUCT: N400 REGAL SELECT EXTERIOR FINISH: FLAT SURFACE: CEMENT PLASTER SOFFIT |
| (P-4) | MANUFACTURER: BENJAMIN MOORE COLOR: PDD HONEY PRODUCT: N400 REGAL SELECT EXTERIOR FINISH: FLAT SURFACE: CEMENT PLASTER WALLS CONSTRUCTION: STUCCO OVER CMU |
| (P-5) | PRODUCT: 550/ REGAL SELECT EXTERIOR PAINT MANUFACTURER: BENJAMIN MOORE COLOR: PDD GREEN STUCCO FINISH: FLAT CONSTRUCTION: STUCCO OVER CMU |
| (P-6) | PRODUCT: V500/ COROTECH ALPHATIC URETHANE MANUFACTURER: BENJAMIN MOORE COLOR: PDD GREEN METAL BAND FINISH: GLOSS SURFACE: ALL EXPOSED STEEL LADDER, LADDER DOOR, SIGNAGE STEEL |
| (P-7) | PRODUCT: N400 REGAL SELECT EXTERIOR PAINT MANUFACTURER: BENJAMIN MOORE COLOR: PDD GOLD FINISH: FLAT CONSTRUCTION: STUCCO OVER CMU |
| (STV-1) | PRODUCT: STONE VENEER (EXTERIOR WALLS) MANUFACTURER: CORONADO STONE STONE VENEER: 1-800-847-8630 QUICK STACK PANELS BROOKSIDE |
| (FR-1) | PRODUCT: CLAY TILE ROOF (SEE ROOF PLAN FOR LOCATION) MANUFACTURER: MATCH EXISTING CENTER ROOF STYLE: PATTERN: COLOR: ORANGE |
| (FR-2) | PRODUCT: PARAPET COPING, METAL ROOF FASCIA, GUTTERS, AND DOWNSPOUTS MANUFACTURER: PAC-CLAD COLOR: MILITARY BLUE |
| (FR-4) | PRODUCT: CANOPY FLASHINGS MANUFACTURER: FRY REGLET COLOR: SIERRA TAN |
| (FR-1) | PRODUCT: PATIO RAILING MANUFACTURER: AWNEX COLOR: PRE-FINISHED ALUMINUM RAILING SYSTEM TO MATCH COLOR P-6 |

NOTE: BUILDING IS 100% MASONRY



PDDQ
RICHARDSON, TX
BLOCK 5 - UNIVERSITY WORLD



SEAL
ARCHITECT: KENNETH MACKENZIE
LICENSE NUMBER: 21A107263000

| Issue | Date | Description |
|-------|------------|-------------|
| | 2016.04.11 | Concept |

PROJECT INFORMATION BLOCK
PROJECT#: PDDQ 00000
DATE: 2016.04.11
DRAWN BY:
CHECKED BY: SPM
COPYRIGHT CORE STATES GROUP

MODEL
3300 PROTO

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A2.1

PDQ
 Richardson, TX
 Block 5- Univeristy World
 April 11, 2016



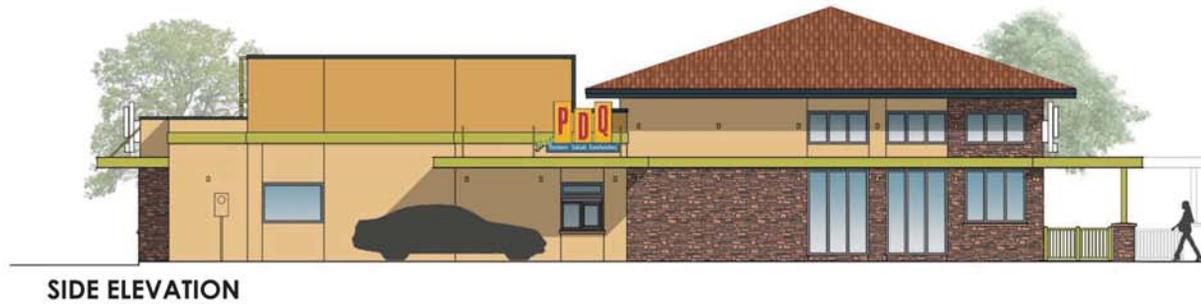
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION



Benjamin Moore
 "PDQ Honey"



Benjamin Moore
 "PDQ Green"



Benjamin Moore
 "PDQ Gold"



Pac-clad
 "Military Blue"



Coronado
 Quick Stack Panels
 "Brookside"



Clay Tile Roof
 Match Existing Center
 "Orange"



Explanation and Description of Request

We are requesting to construct a fast casual restaurant, with drive-through, at the NEC of N. Coit Road & W. Cambell Road. The vacant building currently on site that used to be the home to Beauty Brands will be demolished to make way for the new PDQ restaurant. PDQ will repave portions of the existing lot and provide new landscape in certain areas surrounding the building. The building will be 100% masonry which exceeds the City's Ordinance requirement of at least 85% masonry. PDQ does not have a squawk box for its drive through and does a majority of its sales inside the restaurant (60% - 40% ratio of sit down vs. drive through sales). All of the trees on the west side of the site will remain. As it relates to pedestrian and traffic safety, PDQ's building is oriented such that the drive through traffic that is generated will be forced south, away from the entrance/exit into Lennox Center on N. Coit Road. A rolled curb will also be installed on the east side of the drive through aisle to help delineate the fire lane from the drive through aisle.

Without specific design requirements within Ordinance 3079-A, Exhibit C provides an image showing the original developer's desired "general character" within Lennox Center. Compliance with Exhibit C is achieved by means of 1) PDQ's broad color palette; & 2) PDQ's stucco facade. PDQ's specific building design was chosen to help achieve a design consistent with what most major metro's are requiring more of - masonry. In fact, the Richardson site is now expected to become the new Prototype for all locations nationwide moving forward. PDQ is excited to bring Richardson its 1st PDQ as well as its brand new Prototype.

March 9, 2016

Attn: Chris Shacklett

Re: Lennox Center Parking Analysis for new PDQ Restaurant located at 2060 N. Coit Road

Mr. Chris Shacklett:

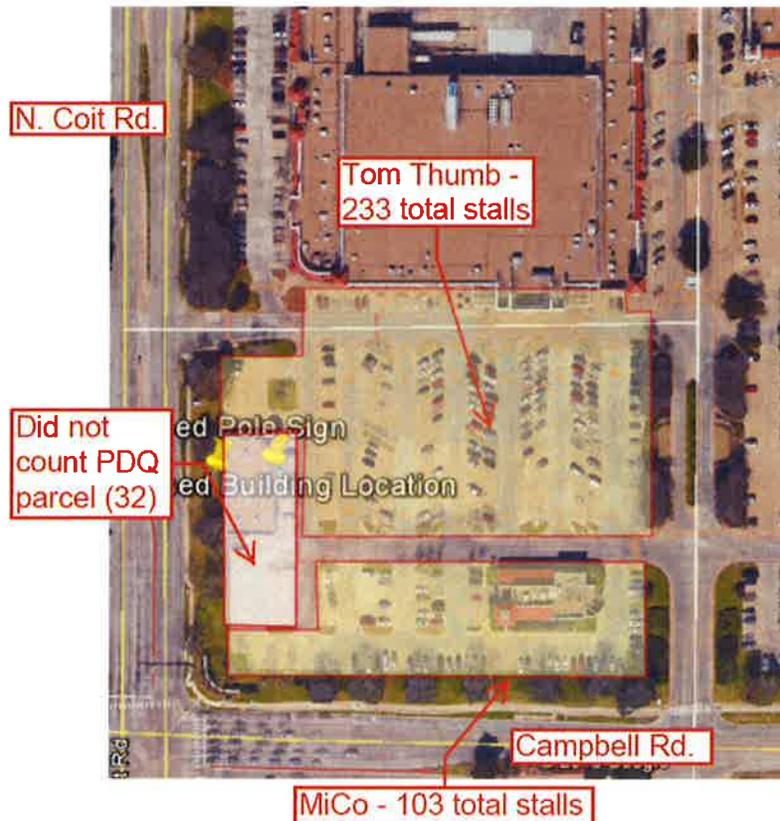
As PDQ's representative for the new drive-thru restaurant being built at 2060 N. Coit Road in Richardson, TX 75080, Foremark was asked by the City to conduct a parking analysis of Lennox Center's: 1) Existing stalls; 2) Required Stalls per code; & 3) Occupied stalls during certain points of the day. Going to these efforts will ensure the City Plan Commission & City Council that the proposed number of the Center's parking stalls being allotted to PDQ within the cross-parking agreement (total of 20 additional stalls) to meet its minimum code requirement will not negatively impact the Center's current parking situation. **Foremark's study found there to be ample parking in the Tom Thumb & Mi Cocina parking fields at all times throughout the day.**

Total Stalls Required vs Total Stalls Provided

- Existing Parking **Stalls Provided** in Lennox Center: **986 parking stalls** (excluding PDQ's parcel, the retail parcel directly north of Tom Thumb & the Farmers Insurance parcel on the northeast side of Lennox Center).
- There is a total of 181,203 square feet within the Center of which the overall parking calculations are derived from.
- There are 4 categories that all Tenants within the Center fall under for required parking calculation for the entire Center: 1) Office; 2) Recreational Private; 3) Restaurant; & 4) Retail. The number of **Stalls Required** are calculated below:
 1. Office: 1 space/250 square feet (up to 75,000 SF) – there are 4 Vacant suites within Lennox Center that use this calculation
 2. Recreational/Private: 1 space/100 square feet of the actual "Activity Area"
 3. Restaurant: 1 space/100 square feet
 4. Retail: 30 spaces for 1st 10,000 square feet + 1 space/200 square feet for the remainder.
 5. **A 10% reduction in required parking is permitted for Centers with over 100,000 square feet of retail space**
 6. **Required Parking Calculations:**
 - i. **Office** (including Vacant suites): 20,578 square feet :: **82.3 stalls**
 - ii. **Recreational/Private:** 2,080 square feet :: **20.8 stalls**
 - iii. **Restaurant:** 36,110 :: **361.1 stalls**
 - iv. **Retail:** 122,435 square feet :: **592.2 stalls**

$82.3+20.8+361.1+592.2 = 1,056.4$ stalls required minus 10% reduction = **951 Total Stalls Required**
- The total number excess stalls within the Center are equal to **35.0** as evidenced by the **Total Stalls Required** (951) – **Total Stalls Provided** (986).

Data Compiled over 4 Separate Days during Breakfast (morning), Lunch (afternoon) & Dinner (evening)



- Wednesday – 1/20/16 – 9:20 a.m. (weekday morning):
 1. Mi Cocina – 9 of 103 stalls occupied = **94 stalls unoccupied**
 2. Tom Thumb – 58 of 233 stalls occupied = **175 stalls unoccupied**
- Tuesday – 1/26/16 – 12:45 p.m.(weekday lunch):
 1. Mi Cocina – 60 of 103 stalls occupied = **43 stalls unoccupied**
 2. Tom Thumb – 100 of 233 stalls occupied = **133 stalls unoccupied**
- Saturday – 1/23/16 – 1:00 p.m.(weekend lunch):
 1. Mi Cocina – 55 of 103 stalls occupied = **48 stalls unoccupied**
 2. Tom Thumb – 150 of 233 stalls occupied = **83 stalls unoccupied**
- Saturday – 1/23/16 – 7:00 p.m.(weekend evening):
 1. Mi Cocina – 65 of 103 stalls occupied = **38 stalls unoccupied**
 2. Tom Thumb – 124 of 233 stalls occupied = **109 stalls unoccupied**
- Sunday – 1/31/16 – 2:00 p.m.(weekend afternoon):
 1. Mi Cocina – 33 of 103 stalls occupied = **70 stalls unoccupied**
 2. Tom Thumb – 142 of 233 stalls occupied = **91 stalls unoccupied**
- Sunday – 1/31/16 – 6:30 p.m.(weekend evening):
 1. Mi Cocina – 54 of 103 stalls occupied = **49 stalls unoccupied**
 2. Tom Thumb – 96 of 233 stalls occupied = **137 stalls unoccupied**
- Tuesday – 3/8/16 – 6:00 p.m.(weekday evening):
 1. Mi Cocina – 45 of 103 stalls occupied = **58 stalls unoccupied**
 2. Tom Thumb – 91 of 233 occupied = **142 stalls unoccupied**

The far west corner of Mi Cocina's parking field (just south of PDQ's parcel) never contained more than 2 cars at any point during the 4 times Foremark's studies were being conducted.

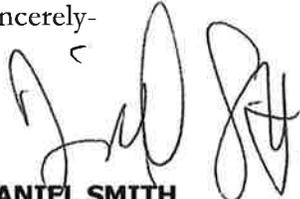
Parking Study - Lennox Center

| 1/250 Office | 1/100 Rec. Private | 1/100 Rest. | 30 spaces + 1/200 over 10,000 SF Retail |
|-----------------|-----------------------|----------------|--|
| 1,622 | 2,080 | 3,972 | 1,573 |
| 1,035 | | 2,582 | 4,674 |
| 2,475 | | 4,500 | 3,183 |
| 1,888 | | 2,601 | 4,517 |
| 4,207 | | 2,820 | 7,943 |
| 2,839 | | 4,500 | 3,940 |
| 3,165 | | 3,216 | 1,500 |
| 1,753 | | 5,721 | 1,474 |
| 1,594 | | 1,660 | 1,491 |
| | | 2,370 | 1,425 |
| | | 2,168 | 1,848 |
| | | | 2,500 |
| | | | 2,306 |
| | | | 1,570 |
| | | | 1,378 |
| | | | 1,268 |
| | | | 995 |
| | | | 1,088 |
| | | | 559 |
| | | | 70,658 |
| | | | 1,894 |
| | | | 2,082 |
| | | | 687 |
| | | | 1,882 |
| | | | 112,435 Total Retail SF with 10,000 SF reduction |
| 82.3 | 20.8 | 361.1 | 592.2 |

SF amounts provided by LL

| Total stalls required | | 10% reduction | | Total provided | | Excess Stalls |
|-----------------------|---|---------------|---|----------------|---|---------------|
| 1,056.4 | > | 950.7 | > | 986.0 | > | 35.3 |

Thank you very much for reviewing our analysis and if you have any questions please give me a call (214) 561-6518 or send me an email dsmith@foremark.com.

Sincerely-


DANIEL SMITH
Project Manager
 214.561.6518 O | 214.563.9207 C | www.foremark.com



(1)

**Existing Building
on Subject Property**



Mi Cocina

Looking East from
Subject Property

(2)



Modum
FRESH FISH MARKET

Walmart

Tom Thumb

Pharmacy

FIRE LANE NO PARKING

Looking Northeast
from Subject Property

(3)



**Lennox Center Retail
Space along Coit Road
(north of subject property)**



115

Ryan Blinnstedt
OPERATING DIRECTOR

**PDQ - Preston Rd &
Plano Pkwy - Plano, TX**

(5)



(6)

**PDQ - Preston Rd &
Plano Pkwy - Plano, TX**



**PDQ - Preston Rd &
Plano Pkwy - Plano, TX**



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

SPECIAL PERMIT

File No./Name: ZF 16-04 / PDQ
Property Owner: Brad Quine, Quine & Associates / TSCA 234 Ltd Partnership
Applicant: Daniel H. Smith / Foremark Real Estate Services
Location: 2060 N. Coit Road (See map on reverse side)
Current Zoning: LR-M(2) Local Retail
Request: A request for approval of a Special Permit for a restaurant with a drive-through facility.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, MARCH 15, 2016
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

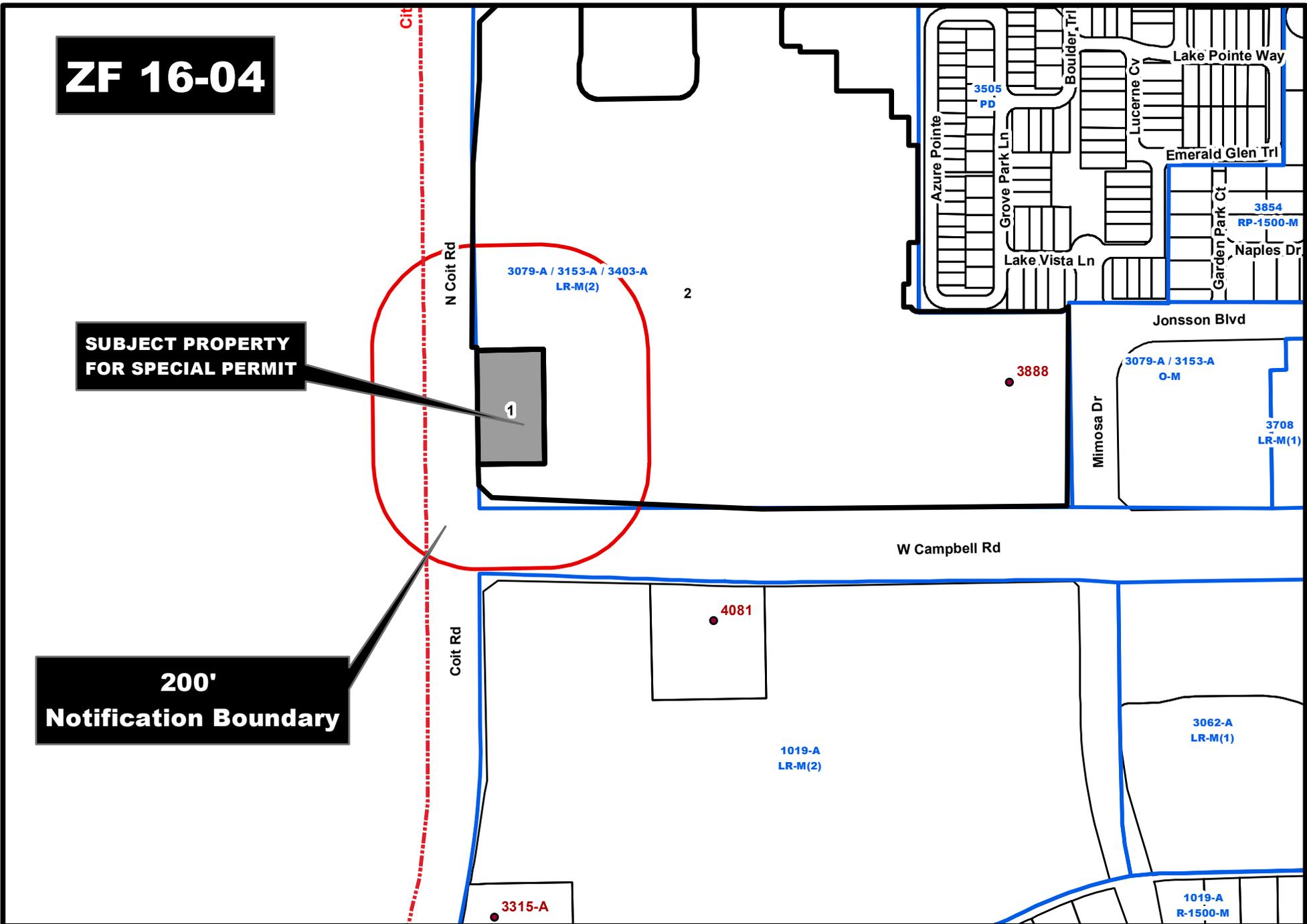
For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 16-04.

Date Posted and Mailed: 03/04/2016

ZF 16-04

**SUBJECT PROPERTY
FOR SPECIAL PERMIT**

**200'
Notification Boundary**



ZF 16-04 Notification Map

Updated By: shacklett, Update Date: February 29, 2016
File: D:\SMapping\Cases\Z\2015\ZF1604\ZF1604 notification with numbers.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1,2-TSCA 234 LTD PARTNERSHIP
301 S SHERMAN ST STE 100
RICHARDSON, TX 75081-4176

FOREMARK REAL ESTATE SERVICES
DANIEL H SMITH
8235 DOUGLAS AVE STE 945
DALLAS, TX 75225

QUINE & ASSOCIATES
BRAD QUINE
301 S SHERMAN ST STE 100
RICHARDSON, TX 75081

CITY OF DALLAS
1500 MARILLA STREET
DALLAS, TX 75201

ZF 16-04

Hasson's
EST. 1909 Jewelers

FEB 29 2016

1360 W. Campbell Rd. Ste 113 Richardson, TX 75080

Phone: 972-437-9911

February 26, 2016

Quine and Asso.

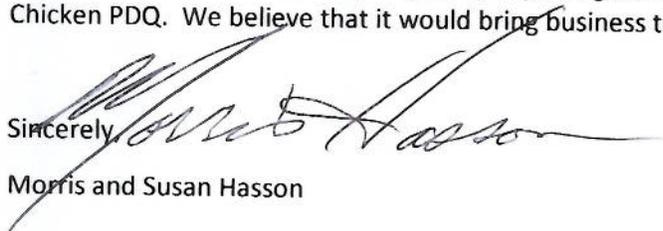
301 S Sherman St Suite 100

Richardson, TX 75081

Dear Alan:

Hasson's Jewelers is definitely in favor of replacing the empty building from Beauty Brands with a Chicken PDQ. We believe that it would bring business to the center which would help us all.

Sincerely,


Morris and Susan Hasson

March 2, 2016

To: City of Richardson – Development Services

From: Mathnasium of Coit and Campbell
1310 W. Campbell Road, Suite 112
Richardson, Texas 75080

**RE: New PDQ Restaurant in Lennox Center
2060 N. Coit Road, Richardson, Texas**

To the City Plan Commission & City Council Members,

We were recently made aware of the new PDQ restaurant that will be coming to the northeast corner of N. Coit Road & Campbell Road in December of 2016. As an established tenant in the development, this was the news we were hoping to hear as it relates to how the Landlord (Quine & Associates) would address the redevelopment of the vacant building on that parcel. PDQ is of a complimentary use and would be a great co-tenant for the Lennox Center, increasing traffic as well as bringing another quality building to the City of Richardson. When we were presented with the intended design of the new PDQ building we felt it was consistent with the overall development. Due to this location being owned by a franchisee (i.e. a local business owner like us) we need to welcome them properly to the City of Richardson.

We are proud to show our support for this new business coming to our Center and cannot wait for December 2016 to get here!

Sincerely,

By: 
Name: Julie A. Haba
Title: Center Director/Owner

March 2, 2016

To: City of Richardson – Development Services

From: Sleep Central
1310 W. Campbell Road, Suite 122
Richardson, Texas 75080

**RE: New PDQ Restaurant in Lennox Center
2060 N. Coit Road, Richardson, Texas**

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Sincerely,

By: 
Name: Allen Albert Harrell, Sr.
Title: Owner

March 2, 2016

To: City of Richardson – Development Services

From: The Color Shack Art Studio
1360 W. Campbell Road, Suite 106
Richardson, Texas 75080

**RE: New PDQ Restaurant in Lennox Center
2060 N. Coit Road, Richardson, Texas**

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Sincerely,

By: 
Name: Lisa Thornton
Title: Owner

March 2, 2016

To: City of Richardson – Development Services

From: The String Bean
1310 W. Campbell Road, Suite 101
Richardson, Texas 75080

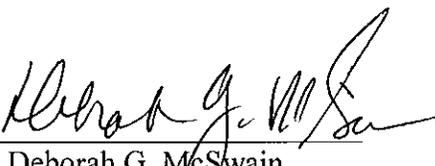
**RE: New PDQ Restaurant in Lennox Center
2060 N. Coit Road, Richardson, Texas**

To the City Plan Commission & City Council Members,

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We are proud to show our support for this new business coming to our Center and cannot wait for December 2016 to get here!

Sincerely,

By: 
Name: Deborah G. McSwain
Title: owner

Note: Also refer to Ord.
#3153-A, 3403-A.

ORDINANCE NO. 3079-A

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AS HERETOFORE AMENDED, SO AS GRANT A CHANGE OF ZONING FROM O-M OFFICE DISTRICT ZONING, WITH SPECIAL CONDITIONS TO LR-M(2) LOCAL RETAIL DISTRICT ZONING, WITH SPECIAL CONDITIONS, ON A 45.146 ACRE TRACT OF LAND DESCRIBED AS TRACT "A" IN EXHIBIT "D" ATTACHED HERETO; TO REVISE THE SPECIAL CONDITIONS ON A 72.896 ACRE TRACT OF LAND DESCRIBED AS TRACT "B" IN EXHIBIT "D", ATTACHED HERETO, WHICH IS ZONED O-M OFFICE DISTRICT ZONING, WITH SPECIAL CONDITIONS. THE PROPERTY IS LOCATED ON THE NORTH SIDE OF CAMPBELL ROAD BETWEEN COIT ROAD AND WATERVIEW PARKWAY AND IS DESCRIBED AS TRACTS "A" AND "B" IN EXHIBIT "D", ATTACHED HERETO; PROVIDING SPECIAL CONDITIONS; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Planning Commission of the City of Richardson and the governing body of the City of Richardson in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion have concluded that the Comprehensive Zoning Ordinance should be amended; **NOW, THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended, so as to grant a change of zoning from O- M Office District Zoning, with special conditions, to LR-M(2) Local Retail District Zoning, with special conditions, on a 45.146 acre tract of land described as tract "A" in Exhibit "D" attached hereto and made a part hereof; and to revise the special conditions on a 72.896 acre tract of land described as tract "B" in Exhibit "D", attached hereto and made a part hereof, which is zoned O-M Office District Zoning, with special conditions. The property is located on the north side of Campbell Road between Coit Road and Water-view Parkway and is described as tracts "A" and "B" in Exhibit "D", attached hereto and made a part hereof for all purposes.

SECTION 2. That the above change in zoning is hereby approved subject to the following conditions, on tract "A", and subject to the revised conditions on tract "B", and subject to conditions on both tracts "A" and "B" as follows, to wit:

TRACT A: LR-M(2) Local Retail with the following special conditions:

1. Uses. Tract A may be developed for any of the following uses:

1.1 Retail as authorized in Sec. 1, Article XVI-B (LR-M(2) Local Retail District) except that the following uses shall be prohibited:

| | |
|-------------------------------|-------------------------------|
| Motor vehicle repair shop | Motor vehicle upholstery shop |
| Bowling alley | Exterminating company, retail |
| Frozen food lockers | Laundry, automatic |
| Motor vehicle service station | Car wash |
| Plumbing shop | Rug cleaning shop |

1.2 Full service hotel. Limited service hotel or suite hotel, subject to the approval of a special permit. No more than one hotel of any type shall be permitted on the LR-M(2) tract.

2. Building Heights. No building shall exceed thirty-two (32) feet in height, except that architectural features, such as embellishments, decorative motifs, and bell towers may exceed thirty-two (32) feet in height, but in no event will they exceed fifty (50) feet in height. A hotel may be constructed with a height of up to 130 feet when within 550' feet of the north property line of Tract A.

3. Building Coverage/Intensity. The maximum building coverage, including parking structures, shall be twenty-five percent (25%), and the maximum Floor Area Ratio (FAR) shall be 0.35:1, excluding parking structures.

4. Setback Requirements.

4.1 Front Yard: All buildings fronting on Coit Road or Campbell Road shall have a front yard setback and landscape easement of not less than 50 feet. The setback from all other streets shall be 30 feet.

~~4.2~~ Side Yard: All buildings shall be set back 25 feet from the side property line. In the case of a lot which has a side yard abutting a dedicated street, the front yard setback shall be observed along the side yard abutting the street.

~~4.3~~ Rear Yard: All buildings shall set back 25 feet from the rear property line.

INTERIOR SIDE & REAR SETBACKS DELETED BY ORD.
#3403-A.

The following improvements are excluded from the above referenced setback requirements: (1) structures below and covered by the ground where such structures will not interfere with provisions for underground utilities; (2) steps, walks, driveways and curbing; and (3) planters, walls, fences or hedges, not to exceed four (4) feet in height, and landscaping, including earthen berms, except that within any visibility easement, a maximum height of 2.5 feet shall apply.

5. Ingress and Egress. Ingress and egress from Tract A shall be limited to the extension of Cullum Street to Coit Road, one (1) driveway on Coit Road and one (1) driveway on Campbell Road. The driveway on Campbell Road is to be aligned with the existing driveway and median opening serving Pavilion One Center located on the south side of Campbell Road. The intersection of Campbell Road and Mimosa Drive is to be controlled by traffic signals and median diverter so as to prohibit direct north/south access across Campbell Road. Access to the extension of Mimosa Drive (north of Campbell) and Cullum Street shall not be limited

6. Building Area Limits. Not more than 400,000 square feet of gross building area, in the aggregate, exclusive of parking structures, may be constructed.

ref. Ord. #3153-A for Revised Concept Plan

7. Development Requirements. The street and open areas within this property shall be developed essentially in accordance with the conceptual plan in a retail "village" style on Tract A. A retail village may consist of one or more structures of a size or sizes as deemed appropriate by the applicable owner, and may include landscaped walkways, seating areas, and other outdoor common areas for pedestrian use.

8. Landscape Requirements. Not less than fifteen percent (15%) of the retail sites shall be provided as landscaped areas, said landscaped area to include street medians, parkways and required setbacks in addition to other landscaped areas.

9. Parking Requirements. Parking for each use in a development shall be provided at the ratio for office, hotel, retail and related uses that is in effect as of the date such use is developed.

10. Exhibits. The following exhibits will be attached to and become a part of the Ordinance zoning the herein described property:

10.1 Tract Map (Exhibit A) defining the limits of Tract A.

10.2 Conceptual Plan (Exhibit B) for purposes of showing circulation, major landscape features and the general character of development, as described above in Item No.

7, Development Requirements. ← *ref. Ord. #3153-A for Revised Concept Plan*

- 10.3 Architectural Image Studies (Exhibit C) indicating the general character of development to be expected within Tract A.
11. Deed Restrictions. Amended and Restated Deed Restrictions reflecting the matters set forth herein shall be submitted to the City Secretary of the City of Richardson, Texas.
12. Thoroughfare Improvements:
 - 12.1 A street easement will be granted within the required 50' landscape buffer area, to allow for a minimum of 10 feet of pavement for the construction of a continuous right turn lane (auxiliary lane) along the north side of Campbell Road between Mimosa and Coit within the existing right-of-way. This auxiliary lane will be constructed by the landowners prior to the issuance of a building permit for more than 200,000 square feet of retail development. This right turn lane will be the extension of the existing right turn lane on Mimosa Drive.

TRACT B: O-M Office with the following special conditions:

1. Uses.

- 1.1 Tract B may be used for any of the following uses:
 - (a) Business and professional offices.
 - (b) Banks and financial institutions.
 - (c) Radio and television studio, but not including transmittal stations or broadcasting towers.
 - (d) Public buildings erected or used by city government.
 - (e) Full service hotel. Limited service hotel or suite hotel, subject to the approval of a special permit. No more than one hotel of any type shall be permitted on the O-M tract.
 - (f) Incidental retail and service activities including specialty shops such as florists, men's and women's clothing stores, cleaners, card and camera shops, gift shops and jewelry stores, but such incidental retail and services may not exceed five percent (5%) of the total gross square footage allowed on Tract B.
2. Building Heights. On Tract B-1, no building shall exceed two (2) standard stories. On Tract B-2, no building shall exceed four (4) standard stories; however, a hotel, with a maximum height of up to 70 feet may be constructed. On Tract B-3 no building shall exceed eight (8) standard stories,; however, a hotel, with a maximum height of up to 130 feet may be constructed when within 550 feet of the north property line of Tract B-3.

3. Building Coverage/Intensity. On Tract B-1, the maximum building coverage, including parking structures, shall be twenty-five percent (25%), and the maximum Floor Area Ratio (FAR) shall be 0.35:1, excluding parking structures. On Tracts B-2 and B-3, the maximum building coverage, including parking structures, shall be forty percent (40%). The maximum FAR on Tract B-2 shall be 0.55:1, excluding parking structures, and the maximum FAR on Tract B-3 shall be 0.60:1, excluding parking structures.
4. Setback Requirements.
 - 4.1 Front Yard: All buildings fronting on Campbell Road or Waterview Drive shall have a front yard setback and landscape easement of not less than 50 feet. The setback from all other streets shall be 30 feet.
 - 4.2 Side Yard: All buildings shall be set back 25 feet from the side property line. In the case of a lot which has a side yard abutting a dedicated street, the front yard setback shall be observed along the side yard abutting the street.
 - 4.3 Rear Yard: All buildings shall set back 25 feet from the rear property line.

The following improvements are excluded from the above referenced setback requirements: (1) structures below and covered by the ground where such structures will not interfere with provisions for underground utilities; (2) steps, walks, driveways and curbing; and (3) planters, walls, fences or hedges, not to exceed four (4) feet in height, and landscaping, including earthen berms, except that within any visibility easement, a maximum height of 2.5 feet shall apply.

5. Ingress and Egress. Ingress and egress from Tract B, shall be limited to the extension of Lake Park Blvd. to Campbell Road and to one (1) driveway on Waterview Drive. The intersection of Campbell Road and Mimosa Drive is to be retained and is to be controlled by traffic signals and median diverters so as to prohibit direct north/south access across Campbell Road. Access to Cullum Street, Jonsson Street, Lake Park Blvd. and Tatum Street shall not be limited.

6. Building Area Limits. Not more than 1,045,000 square feet of gross building area, in the aggregate, exclusive of parking structures, the existing Lennox headquarters (132,000 square feet) building and the existing Credit Union building (5,500 square feet), may be constructed.
7. Development Requirements. The street and open areas within this property shall be developed essentially in accordance with the conceptual plan, in a campus fashion over the entire Tract B.
↖ ref. Ord. #3153-A for revised Concept Plan
8. Landscape Requirements. Not less than twenty-five percent (25%) of the office sites shall be provided as landscaped areas, said landscaped area to include street medians, parkways and required setbacks in addition to other landscaped areas.
9. Parking Requirements. Parking for each use in the development shall be provided at the ratio for office, hotel, retail and related uses that is in effect as of the date such use is developed.
10. Exhibits. The following exhibits will be attached to and become a part of the Ordinance zoning the herein described property:
 - 10.1 The Tract Map (Exhibit A) defining the limits of Tract B-1, B-2 and B-3 as referenced in this Ordinance.
 - 10.2 Conceptual Plan (Exhibit B) for purposes of showing circulation, major landscape features and the general character of development, as described above in Item No. 7, Development Requirements.
← ref. Ord. # 3153-A for revised Concept Plan
11. Deed Restrictions. Amended and Restated Deed Restrictions reflecting the matters set forth herein shall be submitted to the City Secretary of the City of Richardson, Texas.

OVERALL (Tracts A and B)

- I. Thoroughfare Improvements. Development of this property will include the abandonment of portions of the existing rights-of-way in exchange for the dedication of rights-of-way necessary to support changes to the Master Thoroughfare Plan relative to Cullum, Tatum and Mimosa Drive. These thoroughfare changes will occur as the adjacent property develops; however, east/west access through the site shall be maintained at all times from Coit Road to Waterview.
2. Drainage. The development of the entire 119 acre site shall comply with the City's Storm Drainage Design Manual and the retention pond in the southeast corner of the property shall be sized accordingly.

3. Amendments to Concept Plan. Minor amendments to the Concept Plan as determined by the Planning Director or his/her designee (no substantial change in building location, lot coverage, floor area ratio, no decrease in building setback or parking ratios, no substantial changes to access or site circulation) are subject to approval by the City Plan Commission only, without additional public hearings. Major amendments shall be subject to further public hearings in the same manner as a zoning change. Staff shall not be authorized to vary from the conditions of the ordinance governing this property in the determination of a minor amendment to the concept plan. ← ref. Ord. #3153-A for Revised Concept Plan

SECTION 3. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 6. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the
8th day of July, 1996.

APPROVED:



A large, stylized handwritten signature in black ink, written over a horizontal line.

MAYOR

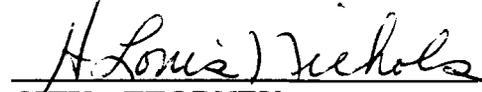
CORRECTLY ENROLLED:



A handwritten signature in black ink, written over a horizontal line.

CITY SECRETARY

APPROVED AS TO FORM:



A handwritten signature in black ink, written over a horizontal line.

CITY ATTORNEY
(HLN/sb 6-26-96)

* POTENTIAL HOTEL SITE
 MAXIMUM HEIGHT = TO
 8 STORY OFFICE BLDG.

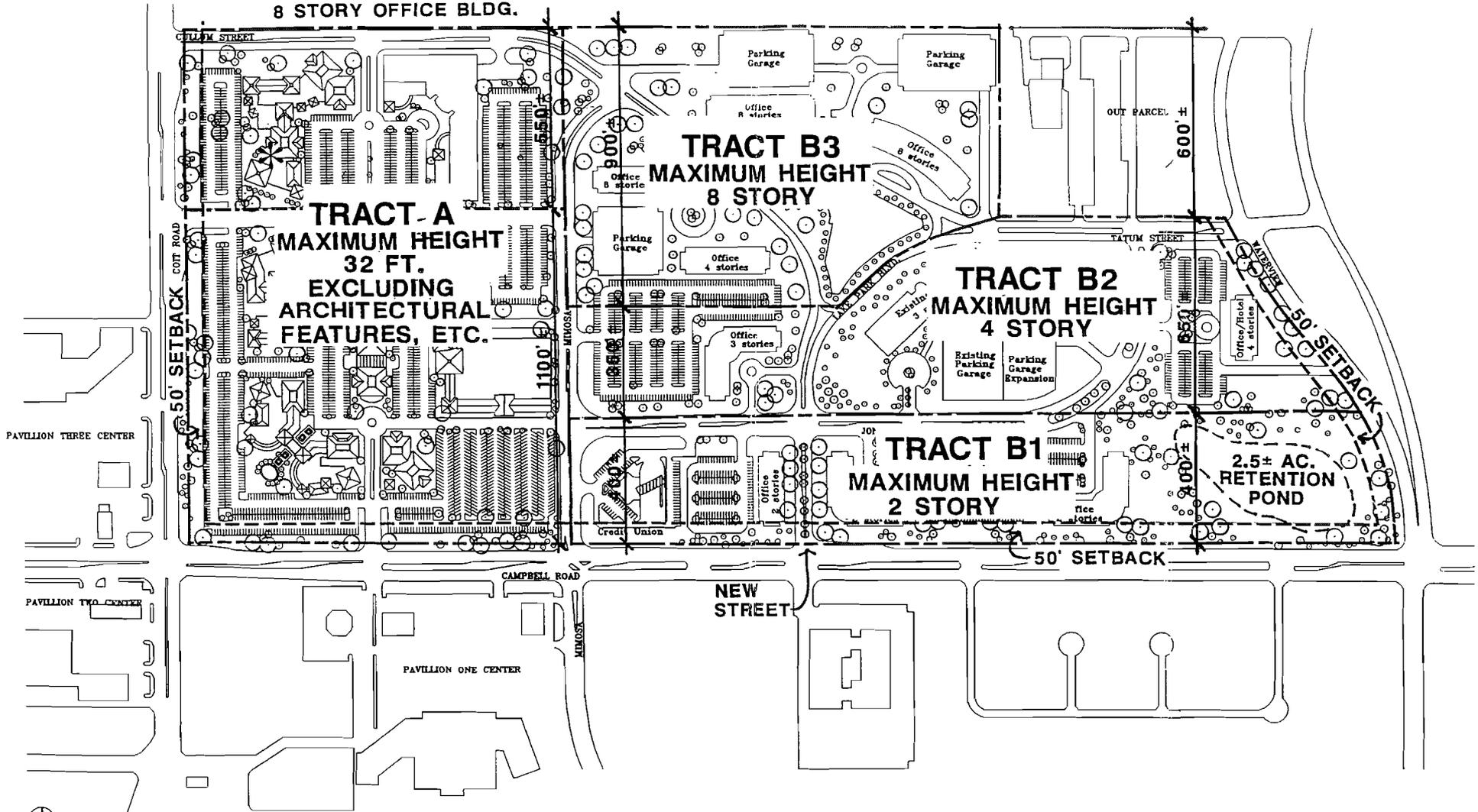


EXHIBIT A - HEIGHT LIMITATIONS

EXHIBIT A

LENNOX CENTER
 Richardson, Texas

Henson-Williams Realty, Inc.
 URBAN DESIGN GROUP, INC.

22 APRIL 1996

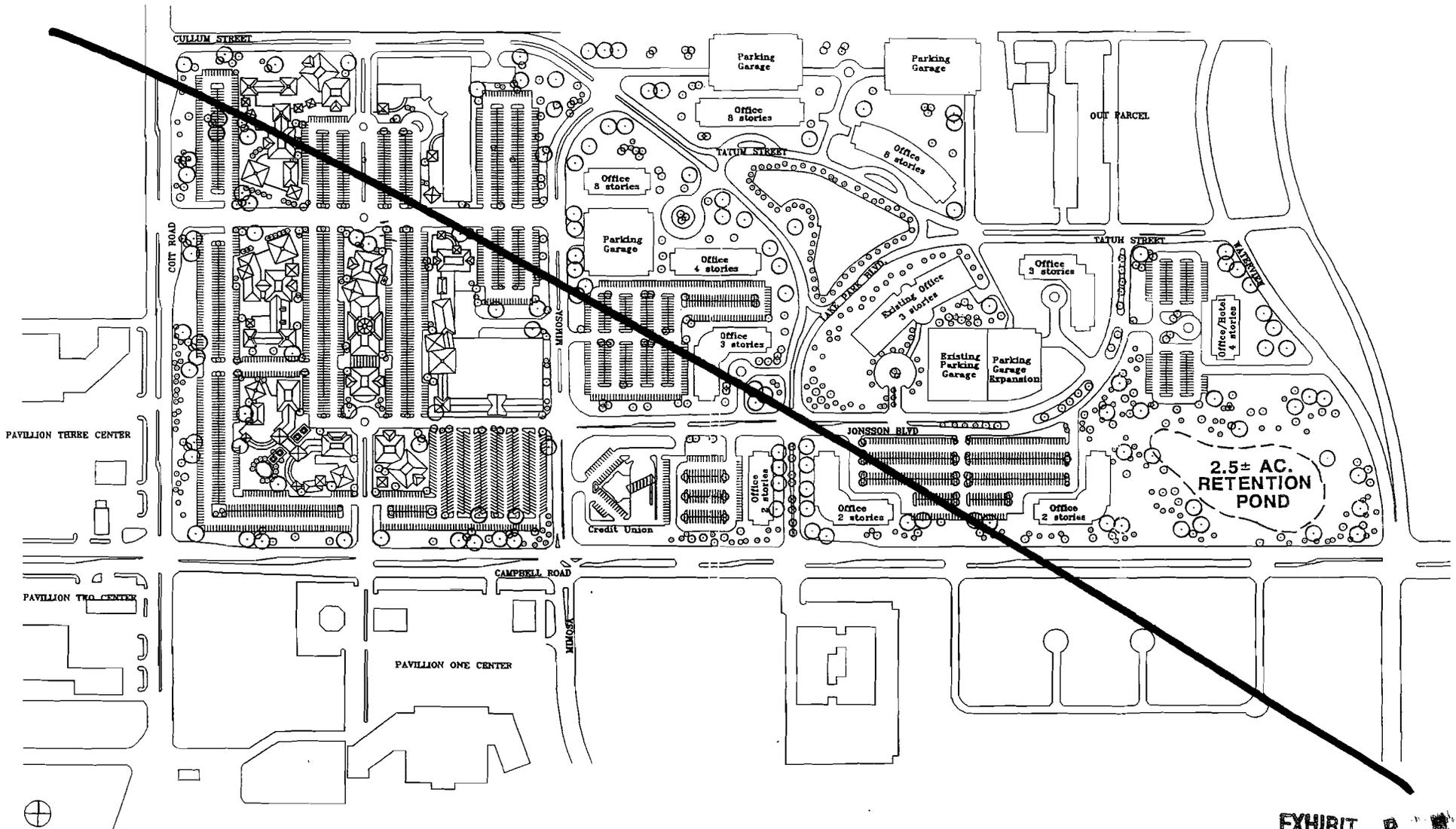


EXHIBIT B - CONCEPTUAL PLAN

LENNOX CENTER
Richardson, Texas

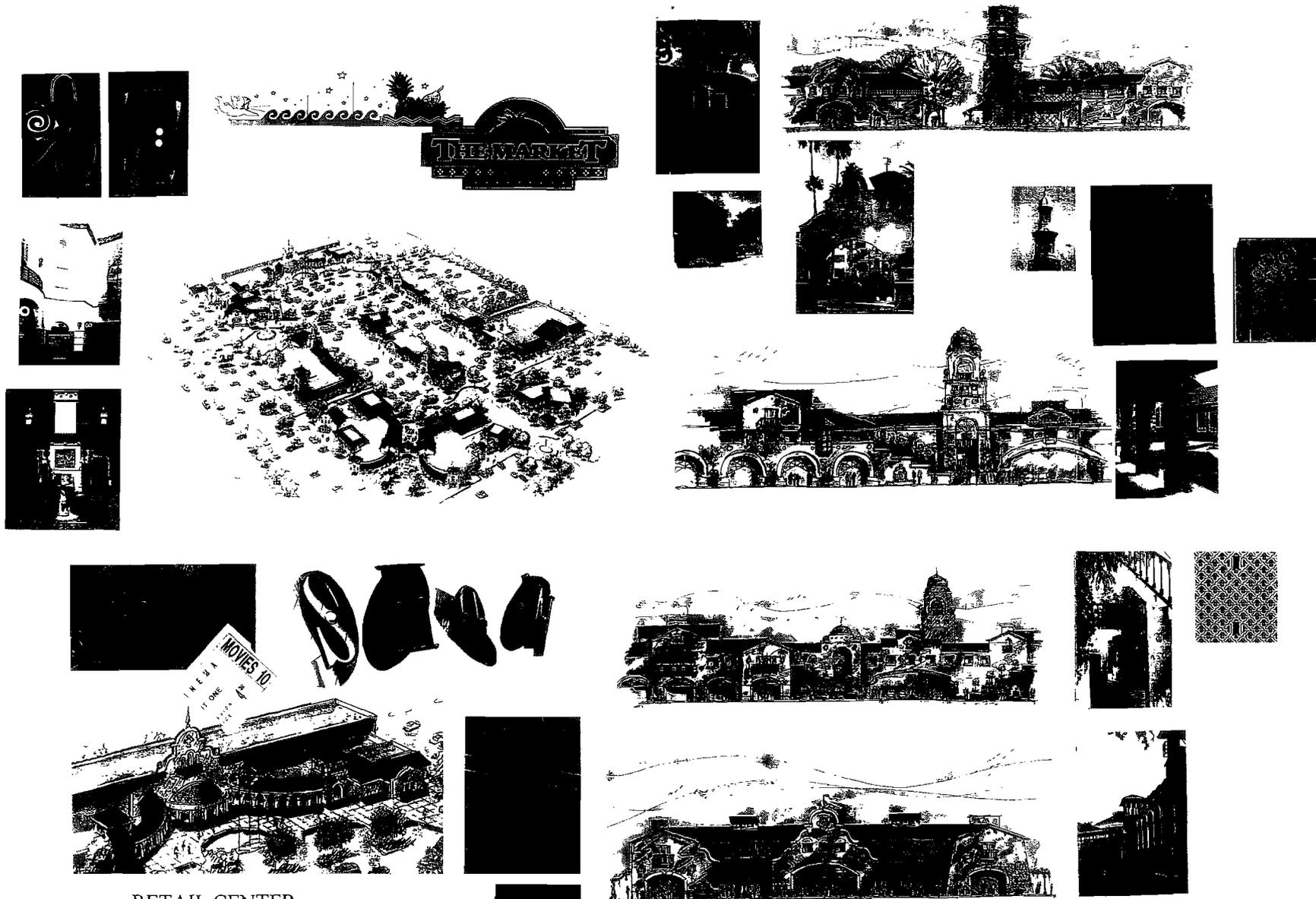
EXHIBIT B

Henson-Williams Realty, Inc.
URBAN DESIGN GROUP, INC.

22 APRIL 1996

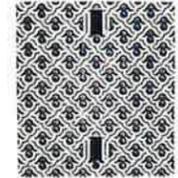
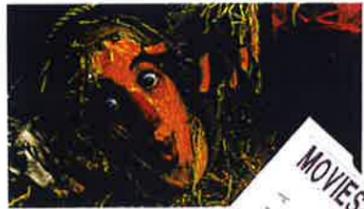
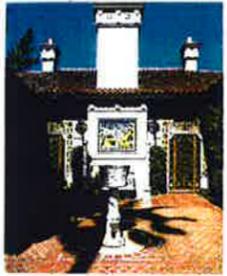
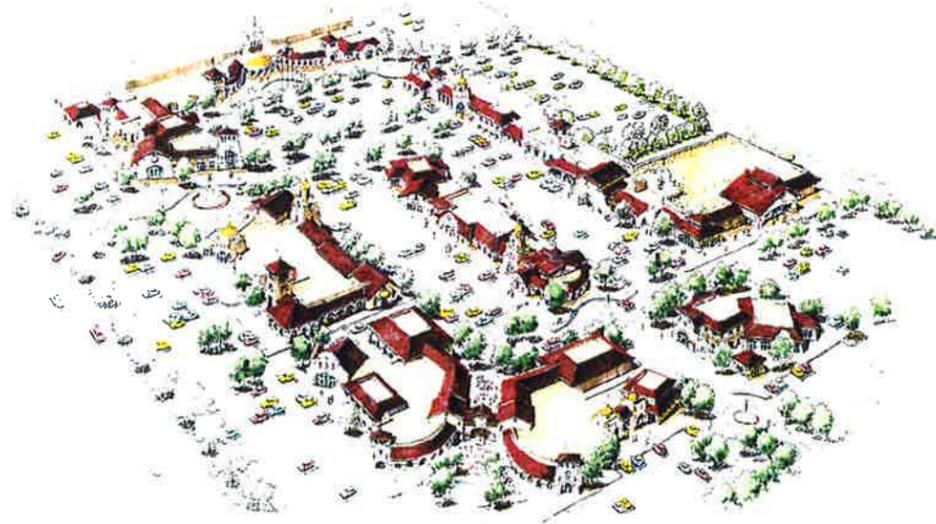
3019

REF. ORD. #3153-A FOR REVISED CONCEPT PLAN.



RETAIL CENTER
 RICHARDSON, TEXAS
 HENSON-WILLIAMS REALTY, INC.

EXHIBIT C – ARCHITECTURAL IMAGE STUDY



RETAIL CENTER
RICHARDSON, TEXAS
HENSON-WILLIAMS REALTY, INC.



EXHIBIT C – ARCHITECTURAL IMAGE STUDY

TRACT A

Being a tract of land situated in the J. W. Curtis Survey, Abstract No. 345, Dallas County, Texas, and being located in the City of Richardson, Texas, and being more particularly described as follows:

BEGINNING at the most northerly corner of a corner-clip at the intersection of the north line of Campbell Road (variable width R.O.W.) and the east line of Coit Road (100 foot width R.O.W.);

TNENCE N00°24'00"E along said east line, 1597.46 feet to a point for corner;

THENCE S89°57'00"E, 1203.81 feet to a point for corner;

THENCE S00°03'00"W, 1627.28 feet to a point for corner in the north line of Campbell Road;

THENCE N89°57'00"W along said north line, 1183.75 feet to a point for corner;

THENCE N44°55'18"W continuing along the street right-of-way, 42.19 feet to a point for corner and the place of beginning and containing 45.146 acres (1,966,574 square feet) of land.

EXHIBIT D

3019

TRACT B

Being a tract of land situated in the J. W. Curtis Survey, Abstract No. 345, Dallas County, Texas, and being located in the City of Richardson, Texas, and being more particularly described as follows:

BEGINNING at a point in the north line of Campbell Road (variable width R.O.W.), said point being $S89^{\circ}57'00''E$ along said north line, 1183.78 feet from its intersection with the most easterly corner of a corner-clip at the east line of Coit Road (100 foot width R.O.W.);

THENCE $N00^{\circ}03'00''E$, 1627.28 feet to a point for corner;

THENCE $S89^{\circ}57'00''E$, 1378.67 feet to a point for corner;

THENCE $S00^{\circ}03'00''W$, 647.28 feet to a point for corner in the centerline of Tatum Street (80 foot width R.O.W.);

THENCE $S89^{\circ}57'00''E$ along said centerline, 674.15 feet to a point for corner in west line of Waterview Parkway (variable width R.O.W.);

THENCE in a southeasterly direction along said west line with a curve to the left, Chord Bearing $S30^{\circ}01'29''E$, said curve having a central angle of $19^{\circ}50'57''$ and a radius of 1227.00 feet, an arc distance of 425.07 feet to a point for corner;

THENCE in a southeasterly direction continuing along said west line with a curve to the right, Chord Bearing $S36^{\circ}39'37''E$, said curve having a central angle of $06^{\circ}34'41''$ and a radius of 1173.00 feet, an arc distance of 134.67 feet to a point for corner;

THENCE $S45^{\circ}45'18''E$ continuing along said west line, 17.13 feet to a point for corner;

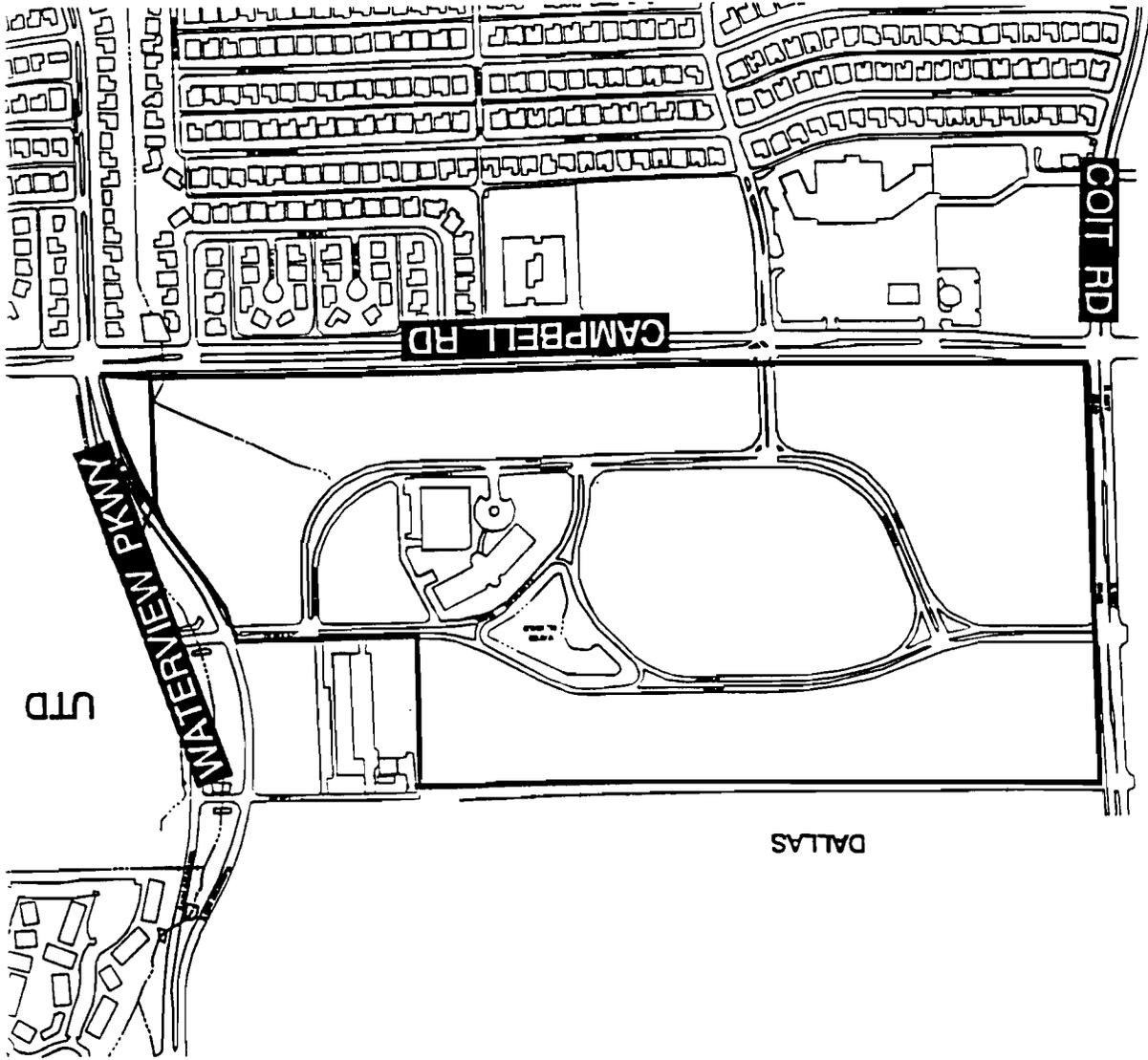
THENCE in a southeasterly direction continuing along said east line with a curve to the right, Chord Bearing $S20^{\circ}22'54''E$, said curve having a central angle of $25^{\circ}58'45''$ and a radius of 1173.00 feet, an arc distance of 531.86 feet to a point for corner in the north line of Campbell Road;

THENCE $N89^{\circ}57'00''W$ along said north line, 2541.60 feet to a point for corner and the place of beginning and containing 72.896 acres (3,175,328 square feet) of land.

EXHIBIT D

3079

ZF 9617



FOR INFORMATION ONLY

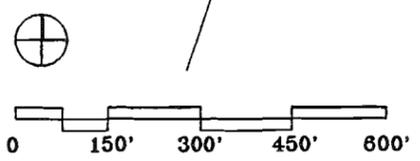
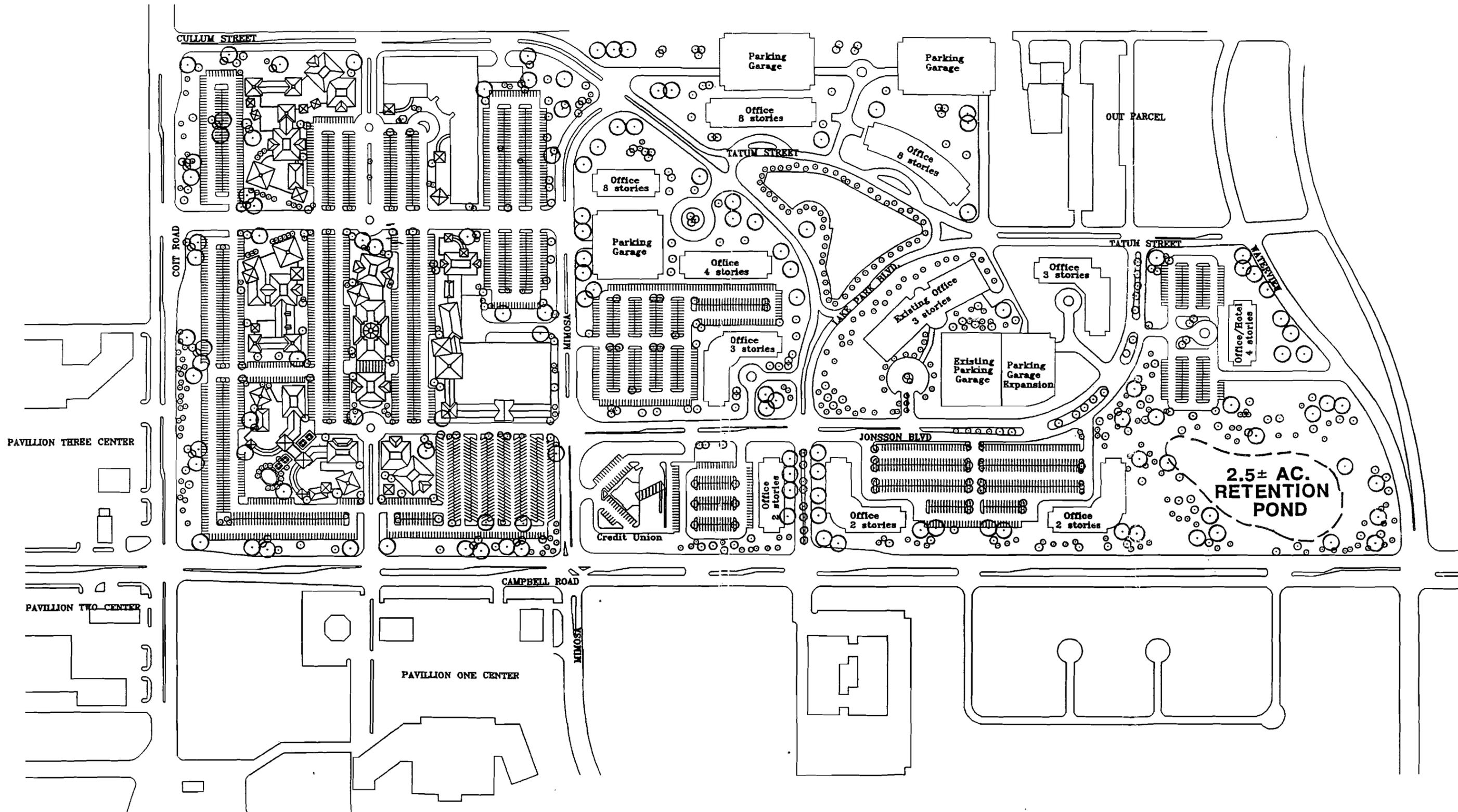


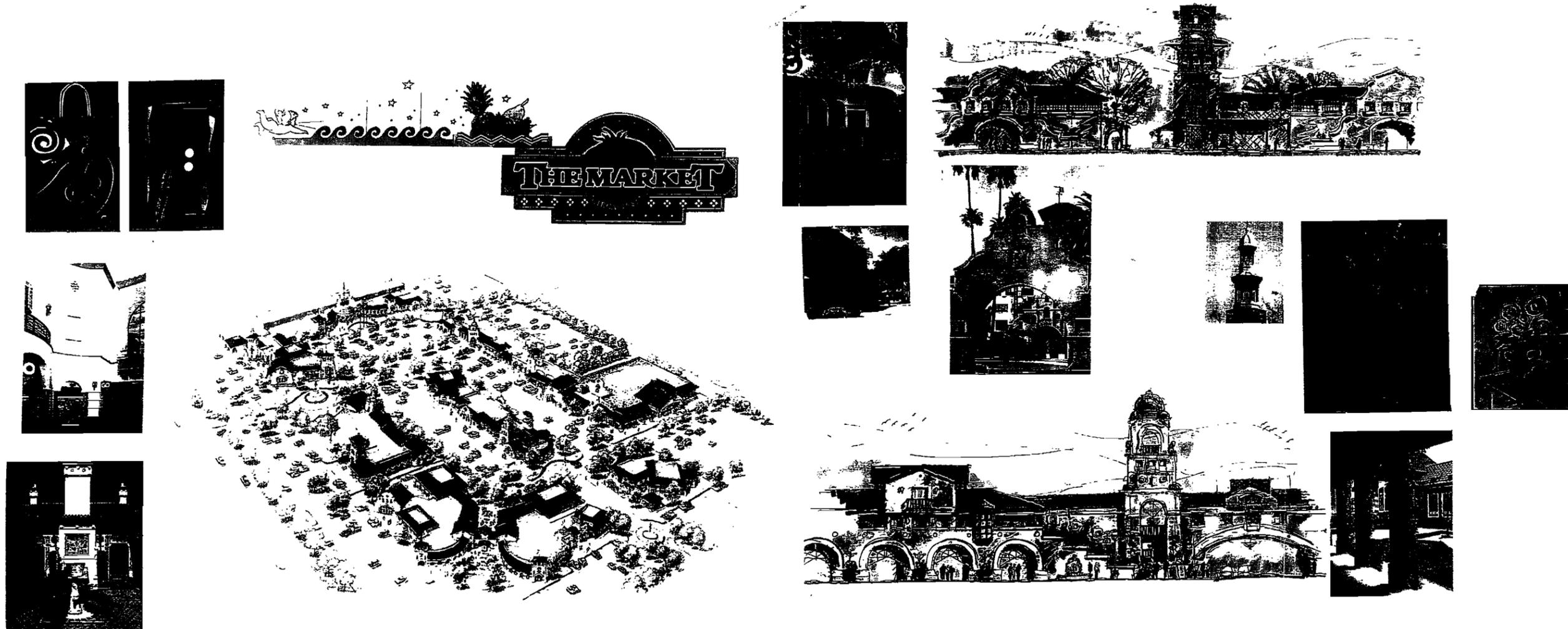
EXHIBIT B - CONCEPTUAL PLAN

LENNOX CENTER
Richardson, Texas

EXHIBIT B

Henson-Williams Realty, Inc.
URBAN DESIGN GROUP, INC

22 APRIL 1996



RETAIL CENTER
 RICHARDSON, TEXAS
 HENSON-WILLIAMS REALTY, INC.

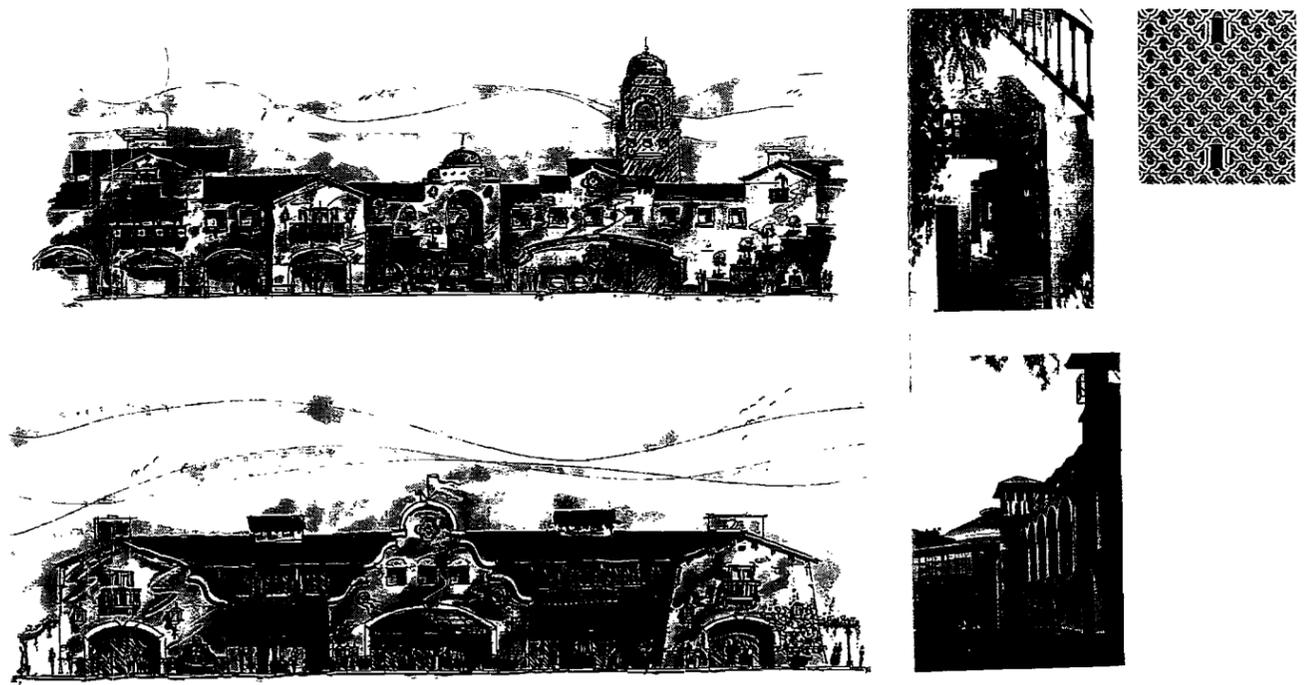


EXHIBIT C – ARCHITECTUAL IMAGE STUDY



MEMO

DATE: May 5, 2016
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 16-07: Special Permit – AutoZone (minor motor vehicle repair shop)

REQUEST

Jeff Kauerz, representing AutoZone Parts, Inc., is requesting approval of a Special Permit for a “motor vehicle repair shop, minor” use to be located at 1325 E. Belt Line Road (on the north side of Belt Line Road, west of Plano Road). The subject property is zoned C-M Commercial and LR-M(2) Local Retail.

BACKGROUND

The site was developed in the 1970’s as part of a supermarket-anchored retail shopping center. Years after the supermarket vacated the center the space was redeveloped as a health club. Other portions of the original shopping center lot have been platted out as separate lots for new pad site development including the Applebee’s restaurant along Plano Road and the 0.7-acre subject property.

In November 2015 City Council denied the same applicant’s request for a Special Permit to allow an AutoZone store, 6,818 square feet in area, on the subject property. Concerns expressed by City Council regarding the previous request included servicing of customer vehicles in the parking lot, configuration of the loading area and dumpster on the north side of the building, and building design.

To address these concerns the applicant revised the concept plan and building elevations to include:

- signs on the building prohibiting customers from servicing vehicles in the parking lot;
- re-orienting the dumpster and ensuring adequate maneuverability space in the loading area; and
- adding stone pilasters, stone wainscoting, a roofline cornice and proposing an alternative color scheme to add architectural interest and greater consistency with existing buildings nearby.

AutoZone sells a variety of motor vehicle parts and accessories, including batteries. The City of Richardson Comprehensive Zoning Ordinance includes definitions for “motor vehicle parts and accessory sales” and “motor vehicle repair shop, minor.” Motor vehicle parts and accessory sales is a use allowed by right, which, by definition, precludes the sale or installation of tires and batteries. Because AutoZone sells batteries, the store is classified as a “motor vehicle repair shop, minor” use and requires approval of a Special Permit.

At the City Plan Commission hearing one (1) resident spoke in favor of the request and one (1) neighboring property owner spoke in opposition to the request. No written correspondence has been received.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 7-0, recommends approval of the request as presented, subject to the attached special conditions.

ATTACHMENTS

Special Conditions
 CC Public Hearing Notice
 City Plan Commission Minutes 04-05-2016
 Staff Report
 Zoning Map
 Aerial Map
 Oblique Aerial Looking North

Zoning Exhibit (Exhibit “B”)
 Building Elevations (Exhibit “C”)
 Color Elevations (Exhibit “D”)
 Applicant’s Statement
 Site Photos
 Notice of Public Hearing
 Notification List

ZF 16-07 Special Conditions

1. A motor vehicle repair shop – minor, as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit “B” shall be allowed and made a part thereof.
2. The motor vehicle repair shop – minor shall be constructed in substantial conformance with the attached concept plan (Exhibit “B”) and building elevations (Exhibit “C”).
3. The Special Permit for a motor vehicle repair shop – minor is limited to the sale of batteries for motor vehicles in addition to motor vehicle parts and accessory sales.
4. Signs prohibiting vehicle repair and/or maintenance work shall be placed on the south elevation of the building, in accordance with Exhibit “B”.



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: April 20, 2016
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: APRIL 22, 2016

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00p.m. on Monday, May 9, 2016, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 16-04

A request by Daniel H. Smith, representing Foremark Real Estate Services, for approval of a Special Permit for a restaurant with drive-through service to be located at 2060 N. Coit Road (east side of Coit Road, north of Campbell Road). The property is currently zoned LR-M(2) Local Retail.

ZF 16-07

A request by Jeff Kauerz, representing Autozone Parts, Inc., for approval of a Special Permit for a "motor vehicle repair shop, minor" use to be located at 1325 E. Belt Line Road (north side of Belt Line Road, west of Plano Road). The property is currently zoned C-M Commercial and LR-M(2) Local Retail.

ZF 16-08

A request by Harold Patin, representing What a Great Dog! Training Center, for approval of a Special Permit for a boarding kennel (limited to dog training, grooming and rehabilitation services), to be located at 655 N. Glenville Drive (northwest corner of Glenville Drive and Columbia Drive). The property is currently zoned I-M(1) Industrial.

ZF 16-10

A request by Bradley Moss, Kimley-Horn and Associates, Inc., representing BCS East Land Investments, LP to amend a 47.9-acre portion of the 62.5-acre of the CityLine East PD to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for "arts, entertainment, and recreation uses". The property is located between CityLine Drive and President George Bush Highway, east of Plano Road. The property is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –APRIL 5, 2016**

PUBLIC HEARING

Zoning File 16-07 – AutoZone: Consider and take necessary action on a request for approval of a Special Permit for a “motor vehicle repair shop, minor” use to be located at 1325 E. Belt Line Road, north side of Belt Line Road, west of Plano Road. The property is currently zoned C-M Commercial and LR-M(2) Local Retail.

Mr. Shacklett stated the applicant was requesting a Special Permit for a motor vehicle repair shop, minor that was similar to the case brought before the Commission in October 2015. At the previous meeting the Commission expressed concerns with the loading dock, possible on-site vehicle maintenance/repair, dumpster location and the lack of a cohesive design with the surrounding retail center.

Mr. Shacklett explained that although the Commission approved the applicant’s request, the City Council denied the application at their November 2015 meeting and the applicant was now back before the Commission with a revised request to address the concerns.

Mr. Shacklett reviewed some of the proposed changes including changes in the color scheme, stacked stone wains coat and stone pilasters, as well as increased landscaping. He added that staff had not received any correspondence and was available for questions from the Commission.

Commissioner Ferrell asked if the applicant was going to remove existing trees from the site and whether there would be signs prohibiting on-site vehicle repair and how that prohibition would be enforced.

Mr. Shacklett replied the trees on the eastern property line may have to be removed depending on the location of the building, and the applicant will have to increase their landscape buffer along Belt Line Road to accommodate the addition of several canopy and ornamental trees.

Regarding signage, Mr. Shacklett said there would be two to four warning signs on the building to advise customers against working on vehicles in the parking lot and the local management of AutoZone would enforce that rule.

Commissioner Ferrell asked if the dumpster would have doors on the enclosure and who would open the doors when the trash truck picks up.

Mr. Shacklett said gates for dumpsters were not required by the City, but if they were placed on an enclosure it would be up to the business to have the gates open when the trash trucks were scheduled to pick up.

With no further questions for staff, Chairman Bright opened the public hearing.

Mr. Jeff Kauerz, AutoZone, 123 S. Front Street, Memphis, Tennessee, said that in addition to the changes outlined by staff, AutoZone would be installing a monument sign as opposed to a pylon sign to blend in with the new building elevation and surrounding businesses.

Commissioner Maxwell asked if it was possible to move the building to the west to maintain the existing tree line along the eastern property line.

Mr. Kauerz replied they could look at moving the building to the west and would work with the City on maintaining the existing trees or replacing any trees as needed.

Chairman Bright asked if a requirement for a monument sign was part of the proposed special conditions.

Mr. Shacklett replied that signs were handled as part of the sign permitting package, but the Commission could add a condition requiring a monument sign as opposed to a pylon sign.

Mr. Kauerz added that if the Commission wanted more warning signs on the building he would be happy to work with the staff to satisfy the request.

Commissioner Frederick asked if AutoZone stores were encouraged to have outside storage or items for sale.

Mr. Kauerz said AutoZone stores do not have outside sales or storage.

Commissioner Roland asked if either the building or monument signs needed to be part of the motion and Mr. Shacklett said if the Commission wanted to require any detached or monument sign that should be made part of the motion. However, the warning signs on the building could simply be a modification to special condition number four.

Commissioner Ferrell wanted to know if the construction material was a split-faced CMU and would the material be painted.

Mr. Kauerz replied the CMU would be painted in earth tones.

Ms. Kristen Roberts, 433 Tall Oaks Lane, Richardson, Texas, stated she was speaking before the Commission as a requirement for a graduate class at the University of Texas at Dallas and said it was hard to witness the earlier decline of the shopping center, but was pleased with the new businesses coming back to the area and was in favor of proposed item.

Mr. Will Toliver, Leon Capital Group, 5619 Miller Avenue, Dallas, Texas, said he was the Managing Director for the property owner and complimented AutoZone on the changes made from their original submittal to comply with requests from the City. He also mentioned previous concerns about cross parking between the Applebee's and AutoZone and stated that Applebee's did not have the right to park on AutoZone's parcel.

Chairman Bright asked staff if there were any concerns about sufficient parking for the Applebee's restaurant.

Mr. Shacklett replied the Applebee's had parking to the north and west of their building and the number of spaces met the parking requirements for their site.

Mr. Jack Winfield, Winfield Jewelry, 129 N. Plano Road, Richardson, Texas said he was opposed to certain aspects of the site plan including the placement of the loading zone and the removal of the drive aisle between the existing Wendy's and the AutoZone parcel. He also felt the comments made by Mr. Toliver about parking were in contradiction to existing covenants and deed restrictions as well as the actual parking conditions experienced on a daily basis.

Mr. Toliver stated he was not concerned with customers from other businesses parking near the AutoZone and felt the surrounding properties were sufficiently parked.

Chairman Bright asked staff if they had any comments regarding the parking and access easements.

Mr. Shacklett replied the approved access easements were from the median opening going north through the lot as well as behind the subject property, but the drive aisle between the Wendy's and the AutoZone property was never platted or granted. In addition, the parking agreements mentioned by Mr. Winfield were private agreements and the City was not part of those agreements.

Commissioner Roland asked if there would be any curbs or driving impediments to prevent someone from driving from Wendy's through the AutoZone property to other areas in the retail center.

Mr. Shacklett confirmed there would be no curbs or other impediments to prevent movement through the parking lots.

With no further comments in favor or opposed, Chairman Bright closed the public hearing.

Commissioner Frederick said she preferred the new elevations as opposed to the previous submittal.

Commissioner Ferrell questioned the size of the loading dock and Mr. Shacklett said the size of the loading dock would allow better maneuverability for trucks.

Motion: Commissioner DePuy made a motion to recommend approval as presented; second by Vice Chair Taylor. Motion approved 7-0.



Staff Report

TO: City Council
THROUGH: Michael Spicer, Director of Development Services **MS**
FROM: Sam Chavez, Assistance Director of Development Services **SC**
DATE: May 5, 2016
RE: **Zoning File 16-07:** Special Permit – AutoZone (minor motor vehicle repair shop)

REQUEST:

Approval of a Special Permit for a “motor vehicle repair shop, minor” use to be located on the north side of Belt Line Road, west of Plano Road. (Please refer to applicant’s statement for further explanation.)

APPLICANT & PROPERTY OWNER:

Jeff Kauerz – AutoZone Parts, Inc. / Will Tolliver – Leon Capital Group

EXISTING DEVELOPMENT:

The 30,205-square foot lot was recently platted as a separate pad site and is currently developed as a parking lot.

ADJACENT ROADWAYS:

Belt Line Road: Six-lane, divided arterial; 33,800 vehicles per day on all lanes, eastbound and westbound, east of Plano Road (February 2015).

Plano Road: Six-lane, divided arterial; 35,900 vehicles per day on all lanes, northbound and southbound, north of Belt Line Road (February 2015).

SURROUNDING LAND USE AND ZONING:

North: Retail/Commercial; C-M Commercial
South: Retail/Commercial; C-M Commercial
East: Retail/Commercial; LR-M(2) Local Retail
West: Retail/Commercial; C-M Commercial

FUTURE LAND USE PLAN:

Community Commercial

Retail centers with multiple anchors, mid-rise office, entertainment, and hospitality uses.

Future Land Uses of Surrounding Area:

North: Community Commercial

South: Community Commercial

East: Community Commercial

West: Community Commercial

EXISTING ZONING:

C-M Commercial (Ordinance Number 164-A) and LR-M(2) Local Retail (Ordinance Number 653-A).

TRAFFIC & INFRASTRUCTURE IMPACTS:

The requested zoning amendment will not have any significant impacts on the surrounding roadway system or the existing utilities in the area.

STAFF COMMENTS:

Background:

The site was developed in the 1970's as part of a grocery-anchored retail shopping center. Since that time, the space was redeveloped as a health club. Also, other portions of the lot have been platted out as separate lots for new pad site developments such as Applebee's along Plano Road.

In 2015, a request was submitted by AutoZone for this use. The request was denied by City Council in November 2015 related to the following issues:

- Vehicle repair/maintenance in the parking lot
- Configuration of loading area and dumpster on the north side of the building and the effects on surrounding businesses
- Cohesiveness of building design with surrounding buildings

Request:

The applicant has since then revised their zoning exhibit and building elevations and addressed the concerns raised by the City Council which are discussed in more detail below and noted in bold text. The proposed 6,816-square foot AutoZone sells a variety of motor vehicle parts and accessories, including batteries. The City of Richardson Comprehensive Zoning Ordinance defines "motor vehicle parts and accessory sales" and "motor vehicle repair shop, minor" as:

Motor vehicle parts and accessory sales means the retail sale of small parts and accessories for the repair and enhancement of motor vehicles, but excluding the sale or installation of tires and batteries, sale of major engine or body components and any motor vehicle repairs on the premises.

Motor vehicle repair shop, minor means a business in which minor repair and service functions are performed on motor vehicles as defined herein, to include tire and battery sales and installation; oil, filter, and lubricant changes; engine tune-ups; motor vehicle parts and accessory sales as defined herein; window tinting and pin-striping; installation of stereo systems or alarm systems; and the performing of state inspections.

Although AutoZone is not a typical motor vehicle repair shop, it is defined as such due to the sale of batteries for motor vehicles; therefore a Special Permit is required since batteries will be sold.

Proposed Development:

- Building Area: 6,816 square feet.
- Building Materials:
The building is constructed of painted split face concrete masonry unit (CMU) utilizing more earth tones than AutoZone’s typical color scheme. The revised building design incorporates stone pilasters and stone wainscoting on all building elevations as well as an EIFS corner and bronze coping. The proposed building exceeds the City’s minimum 85% masonry construction requirement.
- Setbacks and Landscape Buffer:
 - Front: 40 feet along Belt Line Road.
 - No side or rear setbacks required
 - Landscape Buffer: Minimum 10-foot buffer along Belt Line Road.
- Building Height: 1 story / 23’ (top of parapet) – maximum twenty-five (25) feet allowed for a 1-story building.
- Floor Area Ratio: 0.23:1 proposed / Maximum 0.6:1 allowed.
- Landscaping Percentage: 29.5% proposed, 7% required.
- Number of Parking Spaces: 29 proposed; 21 required.

Elements Related to the Request:

Proposed Use – The proposed use is considered a “motor vehicle repair shop, minor” use since batteries for motor vehicles will be sold. If the proposed use did not sell batteries, the use would be allowed by right since it would be defined as a “motor vehicle parts and accessory sales” use.

Prior to 2008, battery sales were allowed as part of a “motor vehicle parts and accessory sales” use; however, in July 2008, the Comprehensive Zoning Ordinance (CZO) was amended to exclude the sale or installation of tires and batteries from the definition of “motor vehicle parts and accessory sales”.

Also, in July 2008, the CZO was amended to include tire and battery sales and installation as part of the definition of “motor vehicle repair shop, minor”; furthermore, the CZO was amended to only allow the use upon approval of a Special Permit in Local Retail, Commercial, and Industrial Districts.

Since the proposed use does not provide service bays, change vehicle fluids, or provide on-site maintenance services, the use is similar to a retail use that is allowed by right. If the sale of batteries were removed, the use would be allowed by right; however, the applicant has stated that battery sales are an important component of the business's sales and cannot be removed.

City Council addressed concerns related to the repair and maintenance of vehicles in the parking areas, typical of AutoZone locations. The applicant stated store management tries to prohibit auto repair taking place on site, but he stated the employees of AutoZone provide assistance such as running diagnostic tests, and replacement of various vehicle parts such as wiper blades, batteries, and bulbs. However, the applicant stated that customers also perform various levels of work on their vehicles in the parking lot.

The revised request includes a provision for signs to be posted on the building advising customers they are prohibited from conducting repairs. However, the intent is to continue to allow AutoZone employees to assist customers with minor vehicle repairs and tests on a courtesy basis. The applicant also addressed a question raised at the November 2015 Council meeting regarding the storage of oil for recycling. He states the above-ground storage tank will be located inside the building with secondary containment provided and that the tank is only accessible to AutoZone employees.

Dumpster Configuration/Loading Area – The City Council stated concerns related to the loading area and dumpster location on the north side of the proposed building; specifically, that the loading area could conflict with the parking and access for the Applebee's parking area located to the west of their building. Also, they stated the dumpster should face away from the Applebee's building.

The applicant revised the plan to rotate the dumpster so it faces away from the Applebee's building, and they have also stated gates will be placed on the dumpster enclosure, and the gates will be closed at all times except for during pick-up times. Although the proposed loading area configuration is very similar to the previously proposed loading area, the applicant states the area has been designed to allow a truck to maneuver in and out of the loading area without encroaching upon the access easement to north of subject property which serves the Applebee's parking area. The applicant has also confirmed deliveries occur generally once per week and occur typically in the morning prior to the store opening, which should reduce the impact on surrounding businesses as well.

Building Elevations – The applicant's previous proposal utilized AutoZone's prototypical design, which is a building constructed of split face concrete masonry unit (CMU) painted with AutoZone's standard color scheme (red, white, orange, light gray and dark gray). Staff advised the applicant to consider a design that is compatible with the other buildings at the northwest corner of Belt Line Road and Plano Road. Photos are attached showing the recently remodeled Youfit health club (former Albertsons), the remodeled Wendy's, and the new Applebee's. Staff also encouraged the applicant to consider additional architectural elements, alternate masonry materials, or additional building articulation. At that time, the applicant stated they preferred to utilize their prototypical design.

The applicant has made several changes to their previous building design to address staff's suggestions as well as statements made by the Council at the November 2015 meeting related to the previous building elevations. The changes include the following:

- **Addition of stone pilasters to all building walls to add depth to the façade and a stone wainscoting along the entire perimeter of the building.**
- **Modification to the building's color scheme to utilize more earth tones rather than the standard AutoZone color scheme.**
- **Addition of a roof line cornice to provide varied height to the parapet wall and to enhance the architectural design of the building cap**

The applicant feels the proposed changes provide a better quality of design for the building and increases the cohesiveness and compatibility of the proposed building and the surrounding buildings, specifically Youfit, Applebee's and Wendy's.

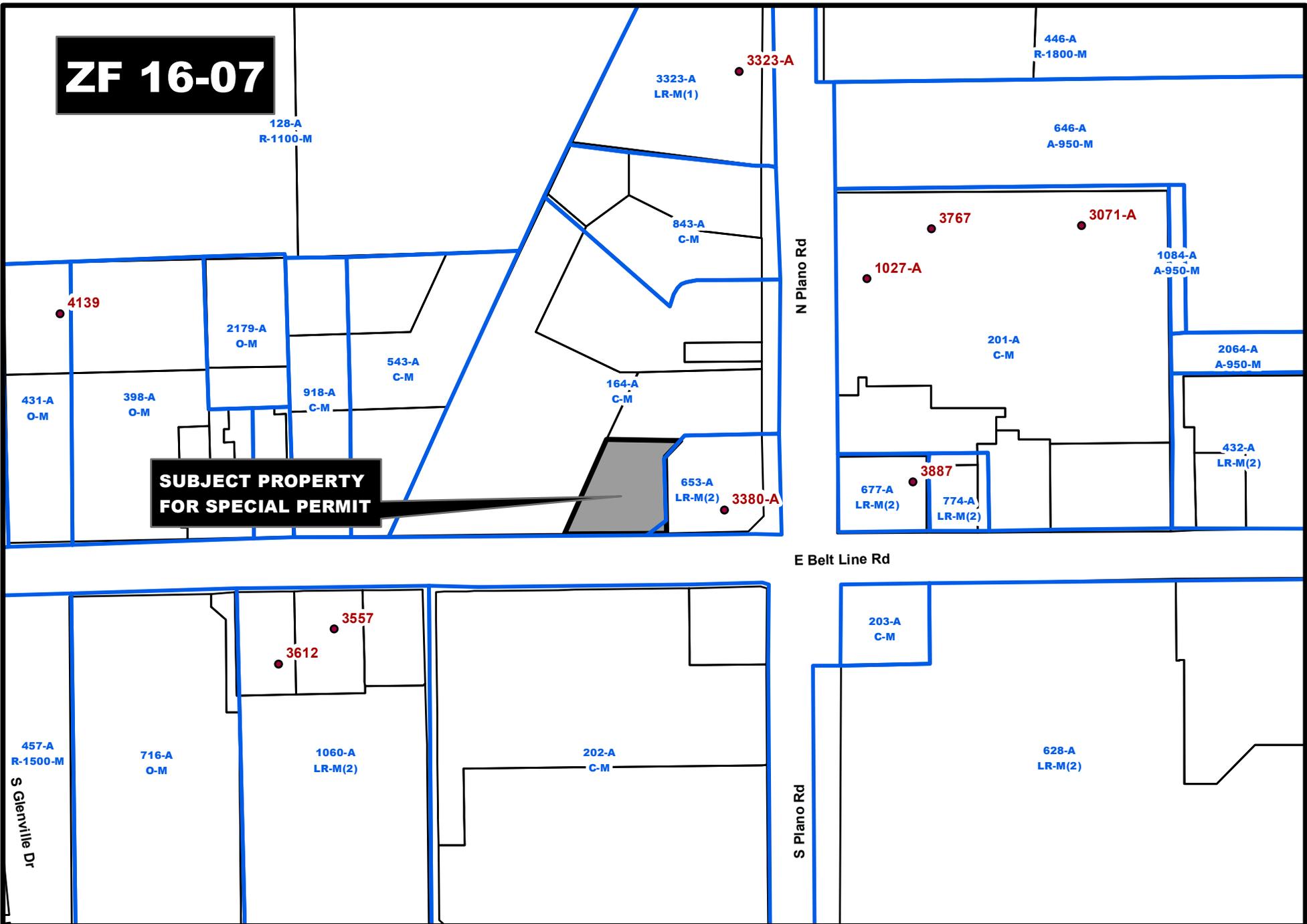
Internal Storage – The existing western driveway does not meet the City's minimum internal storage requirement. The driveway is considered a major driveway since it is served by a median opening on Belt Line Road and provides access to over fifty (50) parking spaces. The minimum requirement, which is measured from the curb line to the end of the landscape island on the site, is seventy-eight (78) feet. Approximately forty-three (43) feet is currently provided. Also, this configuration allows the east-west drive in front of the AutoZone to line up with the driveway to the west of the subject property. Furthermore, when the subject property was platted as a separate lot in 2014, a revised site plan was approved that included an east-west driveway in the same location, thereby providing the same throat depth that was previously approved. No changes to the internal storage are proposed with the revised plan.

Correspondence: As of this date, no correspondence has been received.

Motion: On April 5, 2016, the City Plan Commission recommended approval of the applicant's request as presented, subject to the following conditions:

1. A motor vehicle repair shop – minor, as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit "B" shall be allowed and made a part thereof.
2. The motor vehicle repair shop – minor shall be constructed in substantial conformance with the attached concept plan (Exhibit "B") and building elevations (Exhibit "C").
3. The Special Permit for a motor vehicle repair shop – minor is limited to the sale of batteries for motor vehicles in addition to motor vehicle parts and accessory sales.
4. Signs prohibiting vehicle repair and/or maintenance work shall be placed on the south elevation of the building, in accordance with Exhibit "B".

ZF 16-07



ZF 16-07 Zoning Map

Updated By: shacklett, Update Date: March 21, 2016
File: DSI\Mapping\Cases\Z\2016\ZF1607\ZF1607 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



ZF 16-07

**SUBJECT PROPERTY
FOR SPECIAL PERMIT**



ZF 16-07 Aerial Map

Updated By: shacklett, Update Date: March 21, 2016
File: DSI\Mapping\Cases\Z\2016\ZF1607\ZF1607 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





Youfit

Applebee's

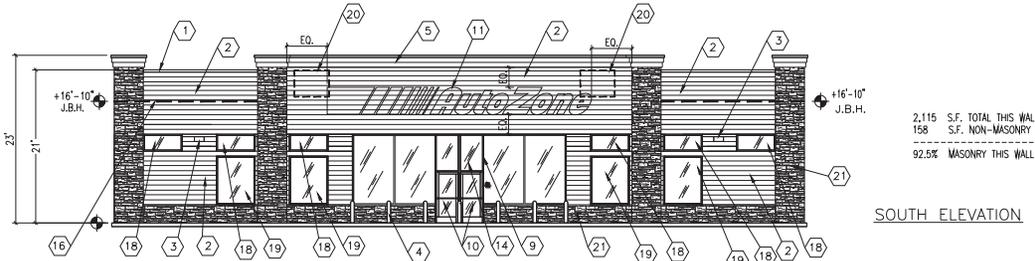
Subject Property

Wendy's

Belt Line Road

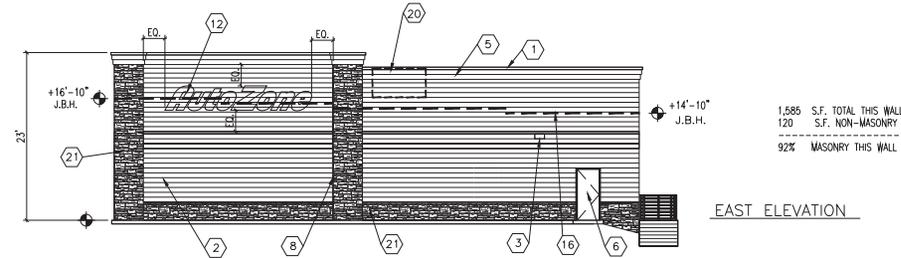
Plano Road

**Oblique Aerial
Looking North**



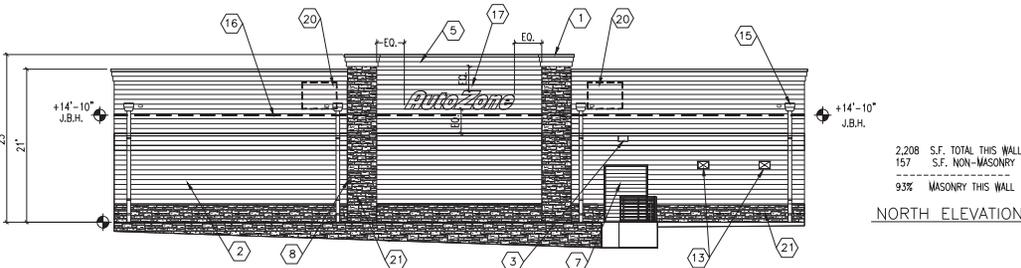
2,115 S.F. TOTAL THIS WALL
158 S.F. NON-MASONRY
92.5% MASONRY THIS WALL

SOUTH ELEVATION



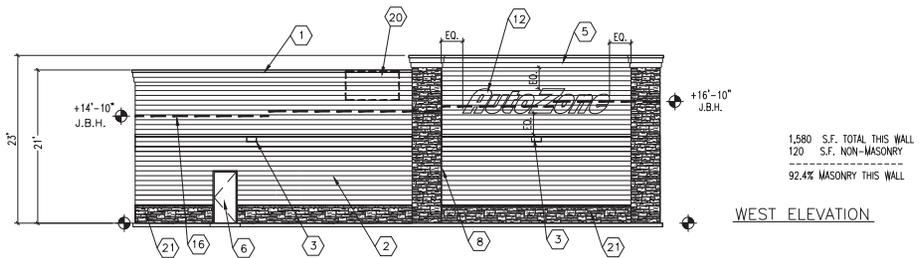
1,685 S.F. TOTAL THIS WALL
120 S.F. NON-MASONRY
92% MASONRY THIS WALL

EAST ELEVATION



2,208 S.F. TOTAL THIS WALL
157 S.F. NON-MASONRY
93% MASONRY THIS WALL

NORTH ELEVATION



1,580 S.F. TOTAL THIS WALL
120 S.F. NON-MASONRY
92.4% MASONRY THIS WALL

WEST ELEVATION

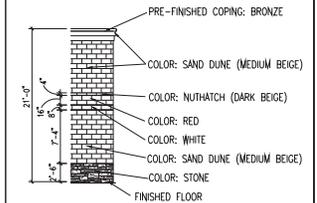
NOTE: SIGNAGE FOR ILLUSTRATIVE PURPOSES ONLY. SUBJECT TO BUILDING INSPECTION APPROVAL.

7,488 S.F. TOTAL BUILDING AREA
555 S.F. NON-MASONRY
92.5% MASONRY ENTIRE BUILDING

- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/16
- 2 SPLIT FACE CONCRETE MASONRY UNITS SEE PAINT DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 FOAM CORNICE: SEE COLOR SCHEME BELOW
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 44" LEFT STRIPES
- 12 RIGHT & LEFT SIDE WALL SIGN - 40" AZ ONLY
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER, FLOWLINE 2" ABOVE ROOF.
- 16 BOND BEAM AT ROOF LINE (APPROX. ROOF DECK LOCATION)
- 17 REAR WALL SIGN - 30" AZ ONLY
- 18 CLERESTORY WINDOW - EVERGREEN GLASS
- 19 FAUX WINDOW - OPAQUE BLACK GLASS
- 20 SCREENED HVAC UNITS
- 21 MONTAN LEDGESTONE VENEER SERIES W/ CAP COLOR: ELDORADO STONE "WALNUT RIDGE"

AWN01W

2 ELEVATION KEY NOTES



3 EXTERIOR WALL COLOR SCHEME

- GENERAL NOTES:
1. REFER TO SECTION 09900 OF THE SPECIFICATIONS FOR PAINT AND EXTERIOR COATINGS. ALL COLORS ARE BY SHERWIN-WILLIAMS PAINT COMPANY.
 2. PAINT RESTROOM WALL VENTS TO MATCH THE ADJACENT WALL COLOR.
 3. SEALANT AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
 4. ALL MASONRY JOINTS TO BE CONCAVE TOOLED.

4 GENERAL NOTES

- SIGNAGE NOTES:
1. AUTOZONE'S SIGN VENDOR WILL FURNISH AND INSTALL ALL SIGNS UNLESS OTHERWISE SPECIFICALLY NOTED ON THE DRAWINGS. WALL SIGNS TO BE INSTALLED ON SURFACES THAT ARE FURNISHED AND PREPARED BY GENERAL CONTRACTOR.
 2. SIGN INSTALLER SHALL OBTAIN SIGN PERMITS AND INSTALL ALL FREESTANDING SIGNS AND THEIR FOUNDATIONS UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL INSURE SIGN LOCATION IS TO GRADE AND SHALL MARK WHERE SIGN IS TO BE LOCATED.
 3. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRICAL, AND FINAL ELECTRICAL HOOK-UP. SEE "SN" SHEETS FOR ADDITIONAL INFORMATION.
 4. SEE SHEET E3 FOR LOCATIONS OF J-BOXES TERMINATING EACH WALL SIGN CIRCUIT.

5 SIGNAGE NOTES - BUILDING

J.B.H. = JOIST BEARING HEIGHT

| REVISIONS | |
|-----------|------------------------------|
| 1 | REVISED MASONRY CALCULATIONS |
| 2 | 04/29/16 |
| 3 | REVISED |
| 4 | REVISED |
| 5 | REVISED |
| 6 | REVISED |

AutoZone Store No. 3667
E. BELTLINE RD.
RICHARDSON TX 75081
EXTERIOR ELEVATIONS AND NOTES

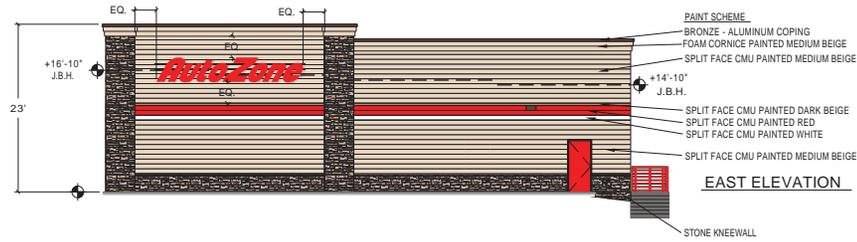
Architect: George Callow
123 South Front Street
Memphis, Tennessee 38103
TEL: 901-495-8705 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
McGraw - Hill Construction Tel. 615-884-1017
www.construction.com

09/15/15
65W2-L

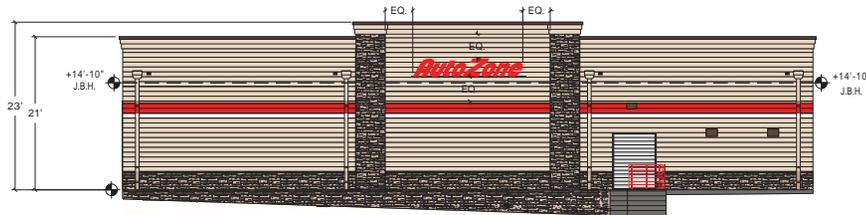
A-2



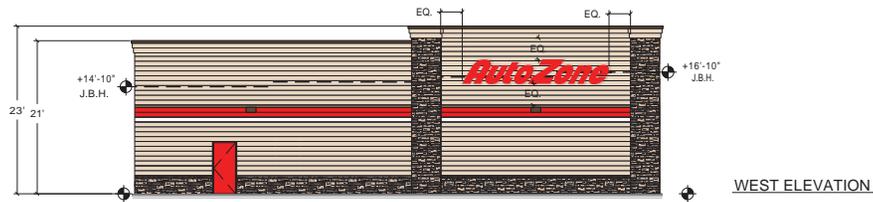
SOUTH ELEVATION



EAST ELEVATION

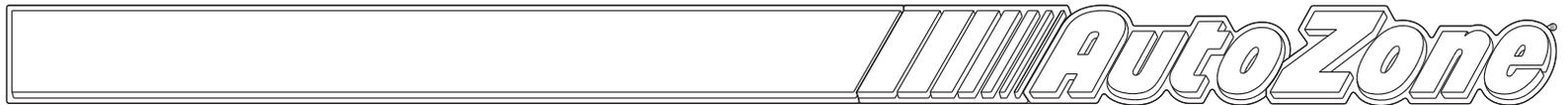


NORTH ELEVATION



WEST ELEVATION

Color Elevation
 AutoZone Store #3667
 Richardson, TX



January 4, 2016

Exhibit D

Autozone Narrative

1. Repairs/maintenance of vehicles
 - Autozone employees will be permitted to assist its customers with minor automotive diagnostic tests, repairs, and replacements to include, but not limited to, batteries, wipers, air filters, lights, hoses, fuses, bulbs, and belts, as long as the services are performed by tenant's employees purely on a courtesy basis. Autozone will post signs to advise customers that they are prohibited from conducting repairs.
2. North side of Building:
 - The dumpster enclosure has been rotated to face away from the Applebees property. The enclosure gates will remain closed and locked at all times except for refuse pickup.
 - The geometrics of the loading area are designed to accommodate the delivery truck that will service the store. This site has been modeled in a truck maneuvering program, and the results confirm the truck can access and occupy the loading area indicated in the plans.
 - Deliveries will generally be once per week and will occur during non-peak hours, typically in the morning prior to the store opening. Delivery times will be scheduled to minimize impacts to surrounding businesses.
3. General Hours (may vary by location): 8AM to 9PM Monday – Saturday; 10AM to 7PM Sunday
4. Oil for recycling is stored within an above-ground tank located within the building. The tank area includes secondary containment. All oil accepted by AutoZone must be transported and received in approved containers. Only AutoZone employees have access to the tank. AutoZone has an Oil Recycling Collection Program Manual that can be provided upon request.
5. The building façade has been revised to be more compatible and cohesive with surrounding businesses. The building color scheme, varying façade materials, and architectural upgrades described below compliment the adjacent building facades.
 - Add stone veneer pilasters to all building walls. The pilasters will add visual depth variation for the façade, while the stone veneer material will add material contrast from the split face block proposed. These additions compliment the building facades for Wendy's, You Fit, and Applebees.
 - Add stone veneer kneewall to all building walls. The varying materials compliment the Wendy's and Applebees building facades for both color and material type.
 - Revise building color scheme to earth tones. The colors compliment and provide cohesiveness with Wendy's, You Fit and Applebees.
 - Roof line cornice and varying height parapet wall, both of which are consistent and compatible with Wendy's, You Fit and Applebees.



(1)

Looking East from
Subject Property



Looking Northeast from
Subject Property



Looking Northwest from
Subject Property



Looking South across
Belt Line Road



SPEED
LIMIT
35

FIRE LANE

Looking West along
Belt Line Road

(5)



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

SPECIAL PERMIT

File No./Name: ZF 16-07 / AutoZone
Property Owner: Will Tolliver / Leon Capital Group
Applicant: Jeff Kauerz / Autozone Parts, Inc.
Location: 1325 E. Belt Line Road (See map on reverse side)
Current Zoning: C-M Commercial and LR-M(2) Local Retail
Request: A request for approval of a Special Permit for a “motor vehicle repair shop, minor” use.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, APRIL 5, 2016
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 16-07.

Date Posted and Mailed: 03/25/2016

1-WIN & WIN INC
129 N PLANO RD
RICHARDSON, TX 75081-3893

2-WENDY PLANO BELT LP
8333 DOUGLAS AVE STE 1500
DALLAS, TX 75225-5822

3-MUNSON REALTY CO THE
305 W WOODARD ST
DENISON, TX 75020-3136

4-SM NEWCO RICHARDSON LP
% URBAN RETAIL PROPERTIES L
404 WYMAN ST STE 365
WALTHAM, MA 02451-1264

5-ZS AMERICAN PROPERTIES LLP
13355 NOEL RD STE 1645
DALLAS, TX 75240-6835

6-LAMOYNE JACK MARITAL TRUST
LAMOYNE JODY TRUSTEE
1938 PALISADE CT
ALLEN, TX 75013-4859

8-LG PLANO BELTLINE LLC
2311 CEDAR SPRINGS RD STE 100
DALLAS, TX 75201-7816

7-EBLR LLC
700 FRONT ST STE 2302
SAN DIEGO, CA 92101-6013

LEON CAPITAL GROUP
WILL TOLLIVER
2301 CEDAR SPRINGS STE 200
DALLAS, TX 75201

AUTOZONE PARTS INC
JEFF KAUERZ
123 S FRONT STREET
MEMPHIS, TN 38103

ZF-16-07



MEMO

DATE: May 5, 2016
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services MS
SUBJECT: Zoning File 16-08: Special Permit – What a Great Dog! Training Center

REQUEST

The applicant's request is for approval of a Special Permit to allow a "boarding kennel" within the building located in the northeast portion of the subject property (655 N. Glenville Drive). The proposed lease space is approximately 16,000 square feet. A boarding kennel is defined by the Comprehensive Zoning Ordinance as:

"an establishment in which five or more domestic animals more than four months of age are housed, groomed, bred, boarded, trained or sold for commercial purposes."

Although the applicant is requesting a Special Permit for this use, they do not intend to board animals; rather, the use would be limited to dog training, grooming, and rehabilitation services.

The primary service offered is dog training classes, including group classes and private lessons. According to the applicant, the clients arrive with their dog on a leash, attend the training session, and then leave with their dog on a leash. Grooming and rehabilitation services are also provided, but are offered on an appointment only basis. The facility will contain a front lobby area where accessory retail uses will be provided. Specifically, the applicant provides pet supply sales intended to serve their training customers, not the general public. The majority of the space will be divided into three (3) open training rings where the class and private training sessions will be conducted. The applicant also intends to replace the existing landscape areas along their lease space frontage with artificial turf and provide pet waste pick-up stations in these areas (see attached site photos of existing location in Frisco).

The applicant has stated that thirty-five (35) parking spaces would be an adequate number of spaces to accommodate their employees as well as clients for all classes taking place at a given time. Based on the tenant mix, the site currently provides a parking surplus of seventy-one (71) spaces. It appears the proposed thirty-five (35) parking spaces will be adequate to accommodate the applicant's needs. Furthermore, the surplus parking on the property could accommodate any unforeseen increase in parking demand. Site observations by staff have documented that many of the parking spaces on-site were vacant during various times on weekdays.

No written correspondence has been received regarding this request. No one spoke in favor or opposition to the request at the City Plan Commission public hearing.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 7-0, recommends approval of the request as presented, subject to the attached special conditions.

ATTACHMENTS

Special Conditions
CC Public Hearing Notice
City Plan Commission Minutes 04-19-2016
Staff Report
Zoning Map
Aerial Map

Oblique Aerial Looking West
Zoning Exhibit (Exhibit "B")
Applicant's Statement
Site Photos
Notice of Public Hearing
Notification List

ZF 16-08 Special Conditions

1. A boarding kennel shall be allowed as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof. The boarding kennel shall be limited to providing dog training, dog grooming, and physical rehabilitation services. Accessory retail sales shall also be allowed.
2. A minimum of thirty-five (35) parking spaces shall be required for the boarding kennel.
3. A minimum of one (1) pet waste pick-up station, to include a trash receptacle as waste pick up bags, shall be provided on the east and south sides of the lease space as shown on Exhibit "B".



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: April 20, 2016
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: APRIL 22, 2016

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00p.m. on Monday, May 9, 2016, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 16-04

A request by Daniel H. Smith, representing Foremark Real Estate Services, for approval of a Special Permit for a restaurant with drive-through service to be located at 2060 N. Coit Road (east side of Coit Road, north of Campbell Road). The property is currently zoned LR-M(2) Local Retail.

ZF 16-07

A request by Jeff Kauerz, representing Autozone Parts, Inc., for approval of a Special Permit for a "motor vehicle repair shop, minor" use to be located at 1325 E. Belt Line Road (north side of Belt Line Road, west of Plano Road). The property is currently zoned C-M Commercial and LR-M(2) Local Retail.

ZF 16-08

A request by Harold Patin, representing What a Great Dog! Training Center, for approval of a Special Permit for a boarding kennel (limited to dog training, grooming and rehabilitation services), to be located at 655 N. Glenville Drive (northwest corner of Glenville Drive and Columbia Drive). The property is currently zoned I-M(1) Industrial.

ZF 16-10

A request by Bradley Moss, Kimley-Horn and Associates, Inc., representing BCS East Land Investments, LP to amend a 47.9-acre portion of the 62.5-acre of the CityLine East PD to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for "arts, entertainment, and recreation uses". The property is located between CityLine Drive and President George Bush Highway, east of Plano Road. The property is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

EXCERPT

CITY OF RICHARDSON

CITY PLAN COMMISSION MINUTES –APRIL 19, 2016

PUBLIC HEARING

Zoning File 16-08 – What a Great Dog! Training Center: Consider and take necessary action on a request for approval of a Special Permit for a boarding kennel (limited to dog training, grooming and rehabilitation services). The property is located at 655 N. Glenville Drive, northwest corner of Glenville Drive and Columbia Drive and is zoned I-M (1) Industrial.

Mr. Shacklett advised that the applicant was requesting a Special Permit for a boarding kennel at 655 N. Glenville Drive and under the City's Comprehensive Zoning Ordinance a boarding kennel was defined as: "*an establishment in which five or more domestic animals more than four months of age are house, groomed, bred, trained or sold for commercial purposes.*" However, the proposed business would only have animals present for dog training, grooming and rehabilitation and kennel services would not be provided.

Mr. Shacklett stated the applicant would convert the existing landscaping beds on the south and east sides of the lease space from the current ground cover to an artificial turf for ease of maintenance as well as clean-up of pet waste. In addition, the applicant was aware of the need for specific wall construction to bring the business up to code when animals are present in a building adjacent to other businesses.

Mr. Shacklett said the City did not have an established parking ratio for a boarding kennel use and staff was proposing to park the business similar to an office, which would require a minimum of 35 parking spaces and the site was currently over parked by 71 spaces.

Mr. Shacklett concluded his presentation by noting that staff had not received any correspondence and if the item was approved by the Commission the earliest City Council meeting date would most likely be May 9, 2016.

Commissioner Ferrell asked if the parking ratio was determined by the entire site or did each building have a set number of spaces based on the occupancy. He also wanted to know if the minimum parking spaces were a requirement that was tied to dog kennel or training facilities.

Mr. Shacklett replied that if the proposed business was an office use it would require approximately 60 parking spaces (1:250), or 16 parking spaces for a warehouse. (1:1,000), but staff felt the proposed use fell in between an office and a warehouse.

Mr. Shacklett suggested that if the item was approved, the Commission might consider adding a condition requiring a minimum of two pet waste stations - one on the south and one on the east sides of the building.

With no further questions for staff, Chairman Bright opened the public hearing

Ms. Maureen Patin, 3730 East Prosper Trail, Prosper Texas, stated that she and her partners currently own What A Great Dog Training Center, in Frisco, Texas, located in a multi-tenant building in the Frisco Commerce Center and the Richardson site was where they were hoping to open their second location.

Ms. Patin said their business would be a grooming, training and rehabilitation only with some retail sales for their clients. She added that group and private classes would be held seven (7) days a week.

Ms. Patin stated the current landscaping on the south and east side of the building would be replaced with a layer of decomposed granite topped by artificial turf to make it easier for cleaning and disinfecting. In addition, there would be one pet waste receptacle located in each area for owners to dispose of the pet waste.

Commissioner Ferrell asked how the applicant would market their business and how long she had been a trainer.

Mr. Patin replied that most of their marketing was done through area veterinarians and that she had been a professional trainer for nine (9) years.

Commissioner Southard asked what area they anticipated drawing their customers from.

Ms. Patin replied that about half of the business was pet training and the majority of those customers would come from the immediate area. The other half of the business was specialty training and those clients could pull from a larger area. She added that the new location would open up the eastern side of the Metroplex and beyond (i.e., Rockwall, Wyle, and Garland).

Commissioner DePuy asked about the operating hours and if there were night classes. She also wanted to know if guard dog training would be provided.

Ms. Patin replied they would be open from 9:00 a.m. to 8:00 p.m. Monday through Friday and the weekends from 9:00 a.m. – 4:00 p.m., and protective dog training would not be provided because of safety concerns.

With no further comments in favor or opposed, Chairman Bright closed the public hearing.

Motion: Commissioner Ferrell made a motion to recommend approval of Zoning File 16-08 as presented; second by Vice Chair Taylor.

Chairman Bright asked Commissioner Ferrell if he would accept an amendment for a special condition to require a minimum of two (2) pet waste pick up stations - one on the south and one on the east sides of the building.

Commissioner Ferrell accepted the amendment; second by Vice Chair Taylor: Motion approved 7-0.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, Assistance Director of Development Services *SC*

DATE: May 5, 2016

RE: **Zoning File 16-08:** What a Great Dog! Training Center – 655 N. Glenville Drive

REQUEST:

Approval of a Special Permit for a boarding kennel (limited to dog training, grooming, and rehabilitation services) to be located in an office/industrial development located at 655 N. Glenville Drive. The site is located on the west side of Glenville Drive, north of Columbia Drive. (See applicant's statement for further explanation.)

APPLICANT / PROPERTY OWNER:

Harold Patin – What a Great Dog! Training Center / David Cartwright, Managing Member – Atlas 35-75 Industrial LP.

EXISTING DEVELOPMENT:

The 14-acre site is developed with six (6), single-story office/industrial buildings totaling approximately 227,000 square feet.

ADJACENT ROADWAYS:

Glenville Drive: Four-lane, divided arterial; no traffic counts are available.

Columbia Drive: Undivided local street; no traffic counts are available.

SURROUNDING LAND USE AND ZONING:

North: Industrial; I-M(1) Industrial
South: Industrial; I-M(1) Industrial
East: Industrial; I-M(1) Industrial
West: Industrial; I-M(1) Industrial

FUTURE LAND USE PLAN:

Enhancement/Redevelopment

These are areas where reinvestment and redevelopment is encouraged. Further study may be necessary to understand the full potential for redevelopment. This property is located in the East Arapaho/Collins enhancement/redevelopment area. This area has been challenged in recent years by evolving markets, technology, and user requirements. Redevelopment, enhancement, and building format changes should be considered. Mid-rise office uses are appropriate throughout the area and mixed-use buildings with ground-floor retail could be appropriate at key locations, including adjacent to the Arapaho Center rail transit stations.

Future Land Uses of Surrounding Area:

North: Enhancement/Redevelopment

South: Enhancement/Redevelopment

East: Enhancement/Redevelopment

West: Enhancement/Redevelopment

EXISTING ZONING:

I-M(1) Industrial (Ordinance Number 301-A) and a Special Permit for a retail tire store (Ordinance 2322-A).

TRAFFIC & INFRASTRUCTURE IMPACTS:

The request will not have any impacts on the existing utilities or traffic in the area.

STAFF COMMENTS:

Request:

The applicant's request is for approval of a Special Permit to allow a "boarding kennel" within the building located in the northeast portion of the subject property. The proposed lease space is approximately 16,000 square feet. A boarding kennel is defined by the Comprehensive Zoning Ordinance is as:

"an establishment in which five or more domestic animals more than four months of age are housed, groomed, bred, boarded, trained or sold for commercial purposes."

Although the applicant is requesting a Special Permit for this use, they do not intend to board animals; rather, the use would be limited to dog training, grooming, and rehabilitation services.

The applicant currently operates a facility in Frisco that is very similar to the proposed location in terms of size, scope, and operations. The primary service offered is dog training classes (both group classes and private lessons). According to the applicant, the clients arrive with their dog on a leash, attend their training session, and then leave with their dog on a leash. Additional services including grooming and rehabilitation services are provided, but they are offered on an appointment only basis.

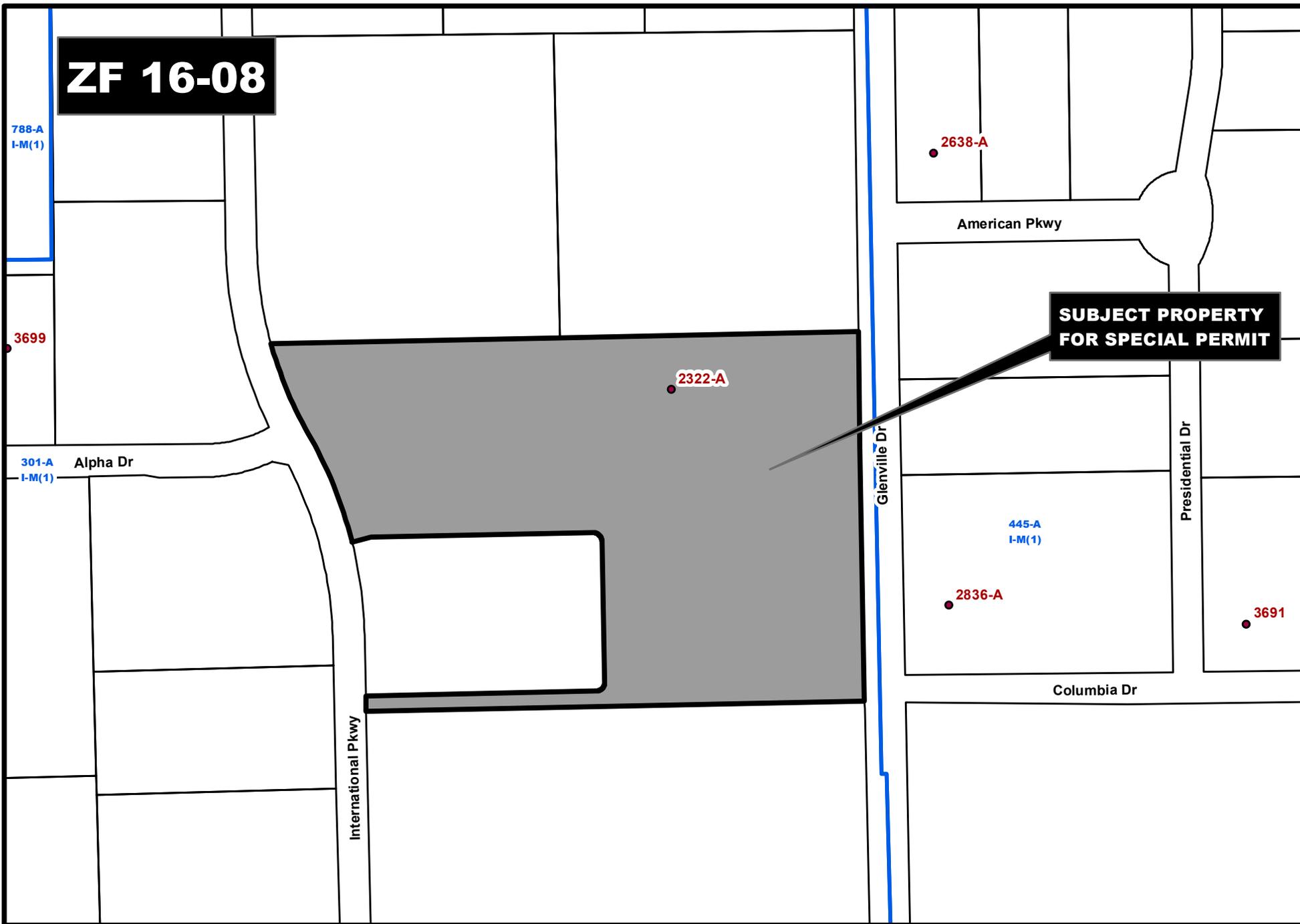
The facility will contain a front lobby area where accessory retail uses will be provided. Specifically, the applicant provides pet supply sales intended to serve their training customers, not the general public. The majority of the space will be divided into three (3) open training rings where the class and private training sessions will be conducted. The applicant also intends to replace the existing landscape areas along their lease space frontage with artificial turf and provide pet waste pick-up stations in these areas (see attached site photos of existing location in Frisco).

The subject property is developed with six (6) buildings totaling 227,322 square feet. Approximately 1/3 of the building area is utilized for office space; the remaining space is warehouse space. Based on the tenant mix, the site currently provides a parking surplus of seventy-one (71) spaces. The applicant has stated that thirty-five (35) parking spaces would be an adequate number of spaces to accommodate their employees as well as clients for all classes taking place at a given time. It appears the proposed thirty-five (35) parking spaces will be adequate to accommodate the applicant's needs. Furthermore, the surplus parking on the property could adequately accommodate any unforeseen increase in parking demand. Site observations by staff have documented that many of the parking spaces on-site were vacant during various times on weekdays.

Correspondence: As of this date, no correspondence has been received.

Motion: On April 19, 2016, the City Plan Commission recommended approval of the applicant's request as presented, subject to the following conditions:

1. A boarding kennel shall be allowed as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof. The boarding kennel shall be limited to providing dog training, dog grooming, and physical rehabilitation services. Accessory retail sales shall also be allowed.
2. A minimum of thirty-five (35) parking spaces shall be required for the boarding kennel.
3. A minimum of one (1) pet waste pick-up station, to include a trash receptacle as waste pick up bags, shall be provided on the east and south sides of the lease space as shown on Exhibit "B".



ZF 16-08 Zoning Map

Updated By: shacklett, Update Date: April 1, 2016
 File: DSI\Mapping\Cases\Z\2016\ZF1608\ZF1608 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



ZF 16-08



SUBJECT PROPERTY
FOR SPECIAL PERMIT

ZF 16-08 Aerial Map

Updated By: shacklett, Update Date: April 1, 2016
File: D:\Mapping\Cases\Z\2016\ZF1608\ZF1608 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



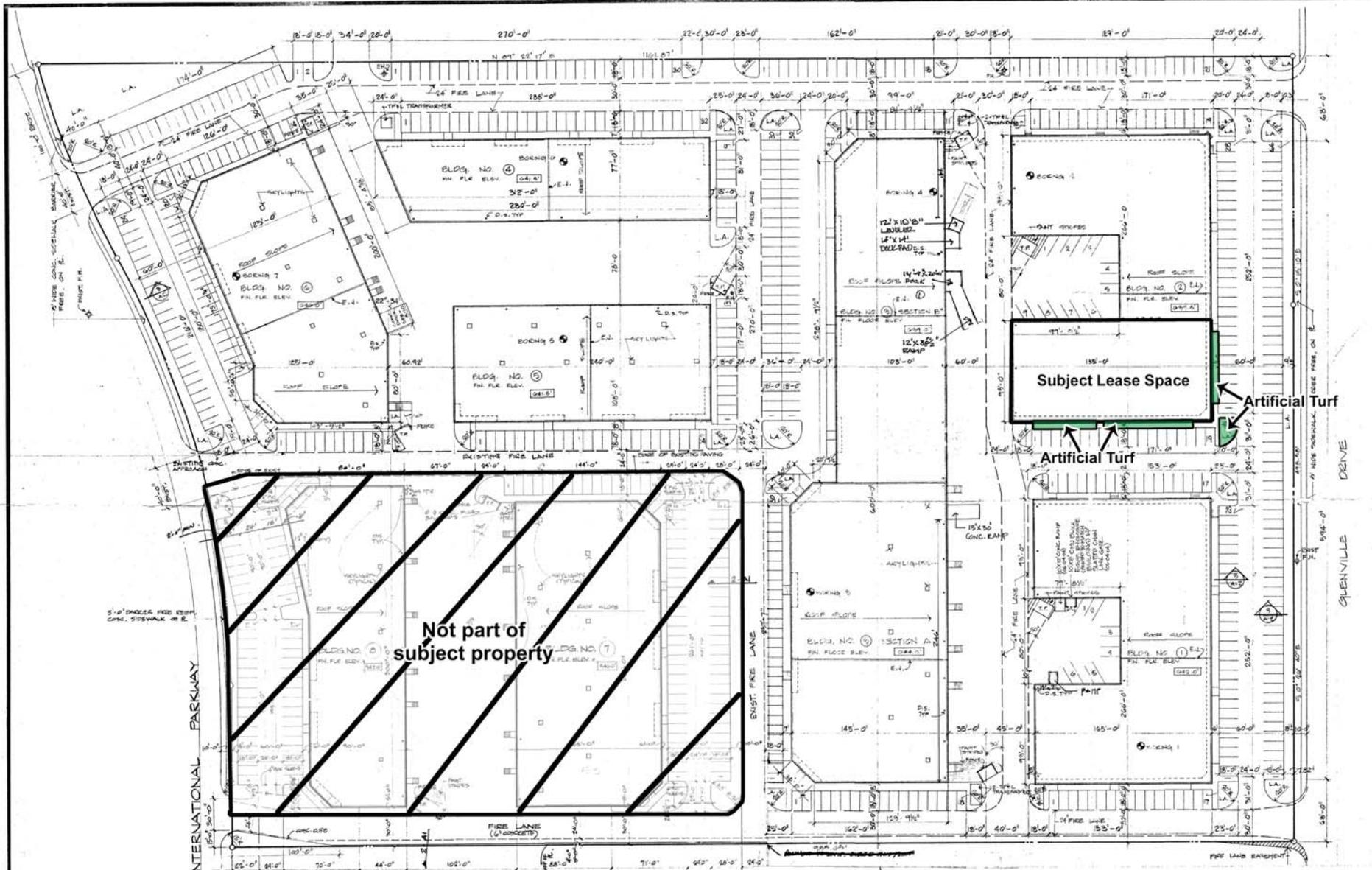
International Parkway

**Subject
Lease
Space**

Glenville Drive

**Oblique/Aerial
Looking West**





3'-0" SHOULDER FIRE ESCAPE CONC. SIDEWALK ON E.

INTERNATIONAL PARKWAY



SCALE: 1" = 40'-0"

Not part of subject property

Subject Lease Space

Artificial Turf

Artificial Turf

Zoning: I-M(1) Industrial
 Total Building s.f. - 227,322 s.f.
 (73,489 s.f. office / 138,062 s.f. warehouse /
 subject lease space s.f. - 15,771 s.f.)
 Required Parking - 467 spaces
 Provided Parking - 538 spaces

Exhibit B - Part of Ordinance
 601-675 GLENVILLE

JOB NO. 0505
 DRAWN BY J.O.
 DATE 10/15/11
 REVISIONS
 1-1-11
 4-1-11
 4-1-11
 4-1-11



ROBERT D. TROY AND ASSOCIATES, INC.
 PLANNING ARCHITECTURE
 4333 NORTH CENTRAL EXPRESSWAY
 DALLAS, TEXAS 75205 • 214/958-4890

RICHARDSON Business Center
 A TRAMMELL CROW COMPANY DEVELOPMENT

ZF 16-08

Explanation and Description of Request

What a Great Dog! Training Center (WAGD) is requesting a Special Use Permit to lease the described property to operate a dog training center. WAGD currently operates an indoor 16,164 square foot training center in the Frisco Commerce Center in Frisco, Texas. The plan for the Richardson location is nearly identical to the Frisco location in terms of size, scope and operating model. WAGD has operated at the Frisco location since October 2012, and operated in Prosper, Texas for 5 years prior to that. Extensive information, photos and a virtual tour of the current location may be found at www.whatagreatdog.com.

Operating Model

WAGD offers group classes (typically 50 minutes long) and private lessons (typically 30 minutes long) in dog training. All of the training is done with the owner and his/her dog. The clients arrive with their dogs on leash, attend their group class or private session, then leave with their dog on leash. Dog training is the core of the WAGD business, with most of the training occurring in group classes. However, as a service to our clients, WAGD will also provide ancillary grooming (nail trims) and rehabilitation services. These services are offered only on a scheduled basis and are used almost entirely, by our training clientele. No dogs are boarded at the facility at any time.

Parking Load

Up to three group classes and two private sessions may be conducted concurrently. The group classes will be comprised of 5 - 8 students. Private lessons will have one student. The staffing level will be 5 - 7 WAGD staff members at a time. Open buffer times (15 mins. for privates and 25 mins for classes) are scheduled between all classes and sessions to manage the flow of dogs. That also greatly limits the amount of parking overlap which will be experienced. We estimate the maximum parking load to be 35 cars.

Finish Out

The planned interior finish out consists largely of three big, open training rings. Those areas will be open to the roof deck. The remaining areas will have a drop ceiling.



**Looking West along
South Wall of Subject
Lease Space**

(1)



**Looking North along
East Side of Subject
Lease Space**



(3)

**Frisco Location
(Artificial Turf Area)**



(4)

**Frisco Location
(Artificial Turf Landscape Island)**



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

SPECIAL PERMIT

File No./Name: ZF 16-08 / What a Great Dog! Training Center
Property Owner: David Cartwright, Managing Member, Atlas 35-75 Industrial LP
Applicant: Harold Patin / What a Great Dog! Training Center
Location: 655 N Glenville Drive (See map on reverse side)
Current Zoning: I-M(1) Industrial
Request: A request for approval of a Special Permit for a boarding kennel (limited to dog training, grooming, and rehabilitation services).

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, APRIL 19, 2016
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

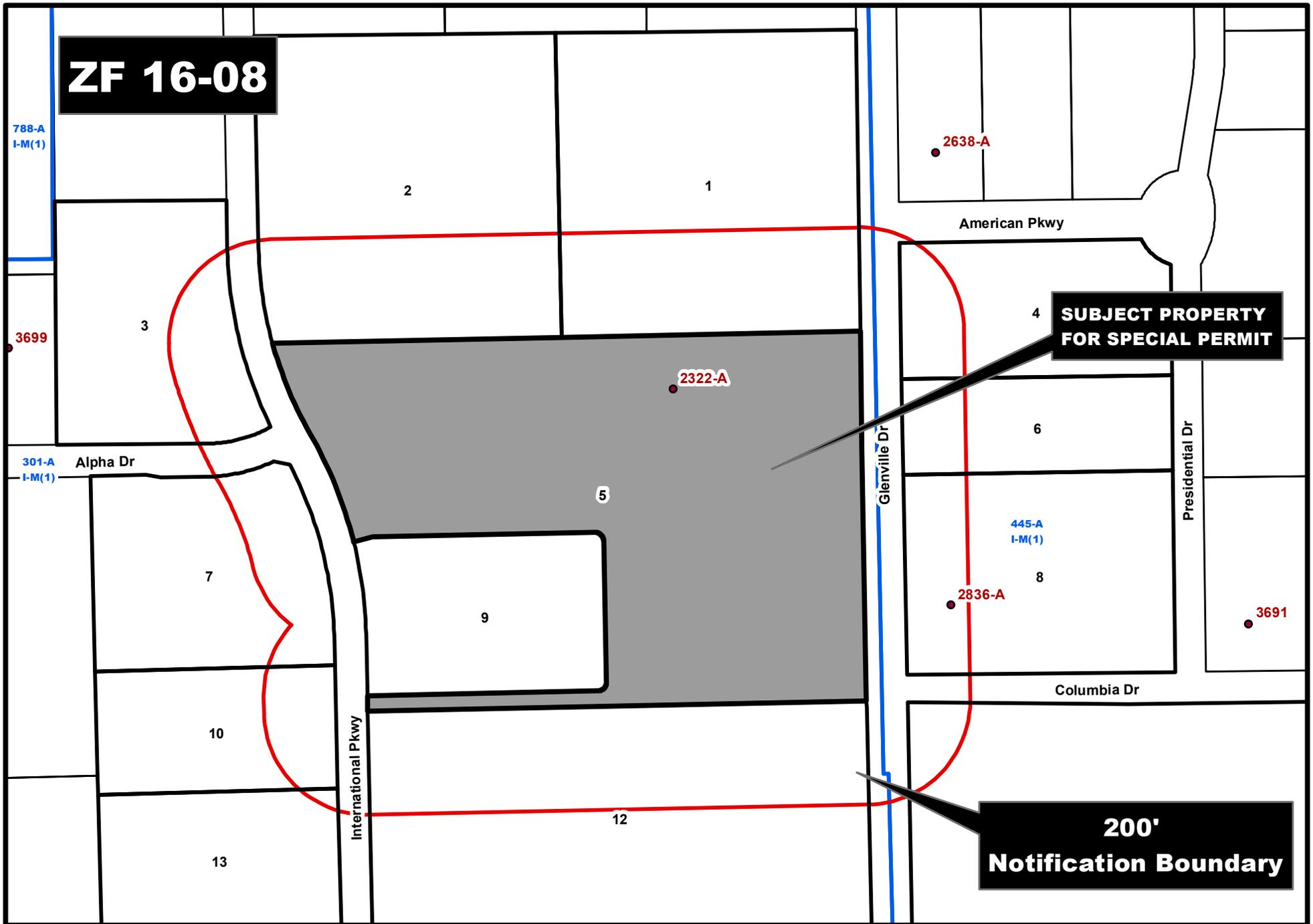
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 16-08.

Date Posted and Mailed: 04/08/2016



ZF 16-08 Notification Map

Updated By: shacklett, Update Date: April 1, 2016
 File: DSI\Mapping\Cases\Z\2016\ZF1608\ZF1608 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1-IC BP III HOLDINGS III LLC
701 N GLENVILLE DR
RICHARDSON, TX 75081-2835

2-COUNTERPOINT CENTER INC
PO BOX 638
ADDISON, TX 75001-0638

ARAPAHO PLACE INC
PO BOX 638
ADDISON, TX 75001-0638

4-PRESIDENTIAL PROPERTIES L
% SCOTT FILLEBROWN
1250 AMERICAN PKWY
RICHARDSON, TX 75081-2931

5-ATLAS 35 75 INDUSTRIAL LP
2821 DANIEL AVE
DALLAS, TX 75205-1513

6-PS BUSINESS PARKS LP
701 WESTERN AVE
GLENDALE, CA 91201-2349

7-RT TEXAS INDUSTRIAL LP
PO BOX 638
ADDISON, TX 75001-0638

8-PS BUSINESS PARKS LP
701 WESTERN AVE
GLENDALE, CA 91201-2349

9-RMB RICHARDSON BUSINESS
PO BOX 794005
DALLAS, TX 75379-4005

10-TRUGLO PROPERTIES LLC
ATTN: TONY LOROCCO
525 INTERNATIONAL PKWY
RICHARDSON, TX 75081-2282

11-RICHARDSON CITY OF
TAX DEPT SUITE 101
411 W ARAPAHO RD STE 101
RICHARDSON, TX 75080-4543

12-MCI WORLDCOM NETWK SVCS
% PPTY TAX DEPT- C2-3-548
PO BOX 2749
ADDISON, TX 75001-2749

13-PCCP DALLAS ACQUISITIONS I
601 UNION ST STE 5300
SEATTLE, WA 98101-1356

13-DALLAS FLEX LLC
40 WEST 5TH STREET
4TH FLOOR
NEW YORK, NY 10019-0000

HAROLD PATIN
10550 JOHN W ELLIOTT DR
SUITE 200
FRISCO, TX 75033

DAVID CARTWRIGHT
ATLAS 35-75 INDUSTRIAL LP
12001 N. CENTRAL EXPWY, STE 875
DALLAS, TX 75243

ZF 16-08



MEMO

DATE: May 5, 2016
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 16-10: CityLine East PD Amendments

REQUEST

The request is to amend a 47.9-acre portion of the 62.5-acre CityLine East PD Planned Development to allow temporary parking lots, one (1) surface parking lot as a primary use, and approve revised Building Design Standards for “arts, entertainment, and recreation” uses. The property is located on the east side of Plano Road, between CityLine Drive and President George Bush Highway.

The property was rezoned to PD Planned Development in 2014 to accommodate a mix of uses including retail, restaurant, office, entertainment, and residential. State Farm Building 4 is currently under construction within the PD. Additionally, there are two (2) projects under review along the east side of Plano Road, between State Street and CityLine Drive which will be developed as approximately 500 urban apartment units and 22,600 square feet of ground floor retail in one (1) of the apartment buildings.

KDC is requesting to amend the current CityLine East PD to accommodate the future development of property within the PD (specifically Tract 2 as a movie theater, a 1.4-acre tract shown on Exhibit “B”) for an arts, entertainment, or recreation use as defined by Section 6 of the Code. The changes include modifications to:

- minimum transparent storefront glass requirements;
- minimum required material percentages; and
- vertical façade rhythm requirements.

To further accommodate the development of Tract 2 for the above uses, the applicant is also requesting that a surface parking lot be allowed on Tract 3 as a primary use (3.2-acre tract shown on Exhibit “B”).

The applicant is also requesting the ability to provide temporary parking lots throughout the CityLine East PD (referred to as Tract 1) to provide replacement parking that may be necessary as future tracts within the area develop. The temporary parking lots would include limitations in number, size, and duration. They would also only be allowed to be constructed to replace approved and constructed parking spaces being disturbed or removed as part of a future development.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 6-1 (Commissioner Springs opposed), recommends approval of the request as presented, subject to the attached special conditions.

ATTACHMENTS

| | |
|---|--|
| Special Conditions | Oblique Aerial Looking North |
| CC Public Hearing Notice | Zoning Exhibit (Exhibit “B”) |
| DRAFT City Plan Commission Minutes 05-03-2016 | Applicant’s Statement |
| Staff Report | Notice of Public Hearing |
| Zoning Map | Notification List |
| Aerial Map | CityLine East Planned Development Code |

ZF 16-10 Special Conditions

The CityLine East PD Planned Development Code (the Code) shall be amended in accordance with the following conditions and shall be limited to the tracts as described in the zoning exhibit attached hereto as Exhibit “B”.

1. Tract 1 shall be amended to allow temporary parking lots in accordance with the following conditions:
 - a. A temporary parking lot may only be constructed to provide parking to replace approved and constructed parking spaces being disturbed and/or removed as part of a future development.
 - b. No more than three (3) temporary parking lots shall be permitted to be constructed at any one (1) time.
 - c. No individual temporary parking lot shall exceed 500 parking spaces.
 - d. Temporary parking lots may be constructed of asphalt.
 - e. Once a temporary parking lot is constructed, it shall be removed after the lesser of (i) forty-two (42) months or (ii) no more than six (6) months after the issuance of a certificate of occupancy for the development for which the temporary parking lot was constructed.
2. Tract 2 shall be amended to allow the following exceptions to Section 8. Building Design Standards of the Code for “arts, entertainment, and recreation uses” as listed in Table 6.1 of the Code:
 - a. The façade rhythm requirement in Section 8.1.5.i shall be waived along the west façade.
 - b. The minimum ground floor transparent storefront window percentage requirements in Section 8.1.6.ii shall be:
 - i. Minimum 30% along the west façade
 - ii. Minimum 5% along the north façade
 - iii. Minimum 0% along the south façade
 - c. Architectural metal panels shall be counted as a “masonry” material as described in Section 8.1.7.i.
3. Tract 3 shall be amended to allow a surface parking lot as listed in Table 6.1 of the Code as a primary use in accordance with the following conditions:
 - a. The surface parking lot shall be constructed of concrete.
 - b. Should streets be constructed directly adjacent to the surface parking lot, the pedestrian easement area shall be constructed in accordance with the applicable street section established in Section 9 of the Code. Furthermore, the surface parking lot shall be screened in accordance with Section 7.2.6 of the Code.



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: April 20, 2016
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: APRIL 22, 2016

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00p.m. on Monday, May 9, 2016, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 16-04

A request by Daniel H. Smith, representing Foremark Real Estate Services, for approval of a Special Permit for a restaurant with drive-through service to be located at 2060 N. Coit Road (east side of Coit Road, north of Campbell Road). The property is currently zoned LR-M(2) Local Retail.

ZF 16-07

A request by Jeff Kauerz, representing Autozone Parts, Inc., for approval of a Special Permit for a "motor vehicle repair shop, minor" use to be located at 1325 E. Belt Line Road (north side of Belt Line Road, west of Plano Road). The property is currently zoned C-M Commercial and LR-M(2) Local Retail.

ZF 16-08

A request by Harold Patin, representing What a Great Dog! Training Center, for approval of a Special Permit for a boarding kennel (limited to dog training, grooming and rehabilitation services), to be located at 655 N. Glenville Drive (northwest corner of Glenville Drive and Columbia Drive). The property is currently zoned I-M(1) Industrial.

ZF 16-10

A request by Bradley Moss, Kimley-Horn and Associates, Inc., representing BCS East Land Investments, LP to amend a 47.9-acre portion of the 62.5-acre of the CityLine East PD to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for "arts, entertainment, and recreation uses". The property is located between CityLine Drive and President George Bush Highway, east of Plano Road. The property is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**DRAFT - EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –May 3, 2016**

PUBLIC HEARING

Zoning File 16-10 – CityLine East PD Amendments: Consider and take necessary action on a request to amend a 47.9-acre portion of the 62.5 acres of the CityLine East PD to allow temporary parking lots; to allow one (1) surface parking lot as primary use; and for approval of revised Building Design Standards for “arts, entertainment, and recreation uses”. The property is located between CityLine Drive and President George Bush Highway east of Plano Road.

Mr. Shacklett stated the applicant was requesting an amendment to the CityLine East PD (PD) to allow for a surface parking lot as a primary use on Tract 3, to allow temporary parking lots with conditions on Tract 1, and revised building standards for “arts, entertainment, and recreation uses” on Tract 2. He added that State Farm Building 4 had been removed from the proposed PD amendment as the amendments would not pertain to that lot.

Regarding Tract 2, Mr. Shacklett explained the three proposed amendments would apply only to Tract 2 and would be limited to “the development of an arts, entertainment or recreation use”, and outlined the proposed changes:

- Allow reduced window area requirements for ground floor transparent store front windows.
- Remove the façade rhythm requirement, specifically on the western façade.
- Allow architectural metal panels to count as part of the 85% of the primary building materials as opposed to the 15% listed in the code.

Mr. Shacklett stated that on Tract 3, the applicant was requesting to allow a surface parking lot as a primary use on a separate lot as opposed to an “accessory use” which is not allowed for in the PD. The applicant’s intent was not to indefinitely maintain a surface parking on Tract 3, but to provide additional parking that could be later incorporated into a parking structure upon future development on the Tract.

Regarding Tract 1, Mr. Shacklett noted that the proposed amendments would allow three (3) temporary parking lots that would act as parking for parking being displaced due to development. He added the applicant was proposing several conditions that would be placed on temporary parking lots within the development if the request was approved. The conditions are as follows:

- A temporary parking lot may only be constructed to provide parking for previously approved and constructed parking spaces being disturbed or removed as part of a future development.
- No more than three (3) temporary parking lots shall be permitted at any one (1) time.
- No more than 500 parking spaces would be allowed in a single temporary parking lot.
- Temporary parking lots may be constructed of asphalt.

- Once a temporary parking lot is constructed, it shall be allowed to remain for the lesser of (i) forty-two (42) months or (ii) six (6) months after the issuance of a certificate of occupancy for the use associated with the permanent replacement spaces.

Commissioner Roland asked what some of the other anticipated uses were for the property in question under the PD. He also wanted to know if the lots would be used for parking construction vehicles during development phases.

Mr. Shacklett replied that the temporary parking would not be used for construction vehicles, but used by residents and customers, including employees in the area. Also, at the current time, the PD allows retail, restaurant, office, residential, multi-family units, as well as arts and recreational uses.

Commissioner Roland asked if the three changes proposed for Tract 2 would blend in with the consistent theme across the CityLine development.

Mr. Shacklett said the same materials are currently being used on other projects in CityLine, although in different percentages.

Commissioner Maxwell asked if the amendments being discussed would be incorporated into Exhibit B of the packet.

Mr. Shacklett replied that Exhibit B was the CityLine East Code and if the current proposal was approved, there would be a zoning ordinance stating that the CityLine East Code remained in effect with the exception of the proposed amendments that will be listed and called out separately from the Code.

Commissioner Springs asked to confirm that the 3.2-acre surface parking lot would not be a temporary parking lot, and he wanted to know if the building elevations would come before the Commission.

Mr. Shacklett stated the 3.2-acre surface parking lot would be allowed under the proposed amendments and would not have a time limit.

Regarding the building elevations, Mr. Shacklett said that if the proposed amendments were approved, it would not change the approval process as stated in the original code and the elevations would be approved administratively.

With no further questions for staff, Chairman Bright opened the public hearing. No comments in favor or opposed were received and Chairman Bright closed the public hearing.

Chairman Bright asked if there were any concerns about the request for architectural metal panels to be considered as masonry material.

Commissioner Maxwell said he did not think the intent was to consider the metal panels as masonry, but the applicant was requesting permission to allow those panels as part of the 85% required primary building materials.

Commissioner Springs said that speaking as an architect he did not have concerns with the metal panels; however, he was concerned about the elevations being approved administratively as opposed to coming before the Commission. He also wanted to know what type of enforcement action would be available to the City if the temporary parking lot was there longer than 42 months.

Mr. Shacklett replied that with the restriction listed in the zoning ordinance, there were daily monetary fines associated with violating the ordinance.

Commissioner Maxwell pointed out that it was standard procedure for staff to administratively approve items in form based zoning and staff had been doing so with many of the other projects in the City.

Commissioner Roland concurred and thought staff had been doing a good job with following the form based code previously approved by the Commission.

Motion: Commissioner DePuy made a motion to recommend approval of Item 3 as presented; second by Commissioner Roland. Motion approved 6-1 with Commissioner Springs opposed.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, Assistant Director of Development Services-Planning *SC*

DATE: May 5, 2016

RE: **Zoning File 16-10:** CityLine East PD Amendments – East side of Plano Road, between CityLine and President George Bush Highway

REQUEST:

Amend a 47.9-acre portion of the 62.5-acre CityLine East PD Planned Development to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for “arts, entertainment, and recreation” uses. The property is located on the east side of Plano Road, between CityLine Drive and President George Bush Highway. (see applicant’s statement for further explanation)

APPLICANT / PROPERTY OWNERS:

Bradley Moss, Kimley-Horn and Associates / Walt Mountford, KDC, representing BCS East Land Investments, LP

EXISTING DEVELOPMENT:

The subject properties are undeveloped. The area within the CityLine East PD, not included in this request, has been developed as State Farm, Building 4. The 17-story building, totaling approximately 570,000 square feet, contains office space and ground floor space for retail and restaurant.

ADJACENT ROADWAYS:

President George Bush Highway: Freeway/Turnpike; 86,000 vehicles per day on all lanes, eastbound and westbound, east of Central Expressway (2015).

Plano Road: Six-lane, divided arterial; 31,100 vehicles per day on all lanes, northbound and southbound, south of Renner Road (2015).

CityLine Drive: Four-lane, divided collector; no traffic counts.

SURROUNDING LAND USE AND ZONING:

North: City of Plano
South: Retail/Commercial; PD Planned Development
East: Future Open Space; PD Planned Development
West: Office/Retail/Apartments; PD Planned Development

FUTURE LAND USE PLAN:

Regional Employment

Higher density development is appropriate with the primary use being high-rise office. Secondary uses include retail centers and entertainment venues.

Future Land Uses of Surrounding Area:

North: City of Plano
South: Regional Employment (developing as Retail/Commercial)
East: Regional Employment
West: Transit Village

EXISTING ZONING:

PD Planned Development (Ordinance Number 4049) – CityLine East Planned Development Code) within the TOD Mixed Use Character Zone. The subject property is located allows a mix of uses, including retail, restaurant, office uses, entertainment, and residential uses.

TRAFFIC/ INFRASTRUCTURE IMPACTS:

The request will not have any significant impacts on the surrounding existing utilities in the area.

STAFF COMMENTS:

Background:

In 2012, approximately 147 acres (bounded by Renner Road to the south, Plano Road to the west, PGBT to the north and Wyndham Lane to the east) was rezoned to PD Planned Development to accommodate a mix of uses, including retail, restaurant, office, entertainment, and residential uses. All residential uses were concentrated in the NW quadrant in the area (subject property). This area was subsequently rezoned as CityLine East in 2014.

The CityLine East PD allows uses, including retail, restaurant, office, entertainment, and residential uses. State Farm Building 4 is currently under construction within the PD. Additionally, there are two (2) projects under review along the east side of Plano Road, between State Street and CityLine Drive which will be developed as approximately 500 apartment units and 22,600 square feet of ground floor retail in one (1) of the apartment buildings. Within the

CityLine East PD, a total of 1,925 residential units and 2.5 million square feet of non-residential development are currently allowed.

Request:

Since 2012, the owner/developer, KDC, has acquired 186 acres between the DART Light Rail and Wyndham Lane and developed a significant portion of the land for the following (currently open or under construction:

- Over 200,000 square feet of retail and restaurant space
- Over 900 apartment units
- 148-room hotel
- 40,000-square foot wellness office and fitness center
- Over 2.5 million square feet of office space
- Multiple open space areas

KDC is requesting to amend the current CityLine East PD to accommodate the future development of property within the PD (specifically Tract 2 as a movie theater) for an arts, entertainment, or recreation use as defined by Section 6 of the Code. Uses in this category include, but are not limited to, art galleries, theaters, cinemas, museums, and fitness clubs. These changes include modifications to the minimum transparent storefront glass requirements, minimum required material percentages, and vertical façade rhythm requirements. To further accommodate the development of Tract 2 for the above uses, the applicant is also requesting that a surface parking lot be allowed on Tract 3 as a primary use. Lastly, the applicant is requesting the ability to provide temporary parking lots throughout the CityLine East PD (referred to Tract 1) to provide replacement parking that may be necessary as future tracts within the area develop. These three requests are discussed in detail below.

Tract 2 Modifications:

The area noted as Tract 2 on the zoning exhibit is the future location for a movie theater. The property would be bounded by Civic/Open Space to the north, a Type ‘A’ street to the west, a Type ‘B’ street to the south, and an alley to the east. The applicant states the building cannot conform to all requirements of the PD due to the unique design requirements of a movie theater facility.

Window Area – The design of a building to accommodate this use requires higher than normal façade height for a 1-story building, as well as predominantly opaque construction materials. A typical 1-story building is less than twenty-five (25) feet in height; however, the proposed building would exceed forty (40) feet in height. For these reasons, the applicant states the minimum required percentages for transparent storefront windows cannot be provided. The requirements and requested reductions are as follows:

- North façade (Civic/Open Space) – The minimum required percentage is 50%. The applicant is proposing to provide a minimum 5%. The majority of this façade would likely be adjacent to theaters.
- West façade (Type ‘A’ Street – Wilshire Way) – The minimum required percentage is 50%. The applicant is proposing to provide a minimum of 30%. This area would likely be adjacent to the lobby area so a higher percentage can be provided. Furthermore, within the lower twenty-five (25) feet of façade area, approximately 47% is provided; however,

the upper portions of the façade would not provide windows, thereby reducing the overall percentage of windows.

- South façade (Type 'B' Street – Hunt Street) – The minimum required percentage is 15%. The applicant is proposing to provide a minimum of 0%. This façade would likely be adjacent to theaters; it would also be the side of the building where trash services and ground mounted utilities would likely be located.

Façade Rhythm – The CityLine East PD requires that buildings shall maintain a 20-40 foot façade rhythm along Type 'A' frontages. This requirement would apply along the west façade along Wilshire Way. Façade rhythm may be expressed by changing materials, color or using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade. The applicant is requesting the waiver to allow the use longer expanses of building materials as part of the unique design of the proposed building.

Building Materials – The CityLine East PD requires at least 85% of each building's façade along all streets be finished in materials such as brick, stone, 3-step process stucco, architectural pre-cast concrete panels, cast stone, rock, marble, granite, curtain glass, or glass block. Additionally, up to 15% of each façade along a street may use accent materials such as wood, architectural metal panels, split-face concrete block, or tile. The applicant proposes to use architectural metal panels as a building material that would exceed the 15% limitation on building facades to provide the unique building design desired for this specific use.

In the CityLine East PD, architectural metal panels are treated as an accent material, but codes such as the West Spring Valley Corridor PD and Main Street/Central Expressway Form Based Code have allowed ventilated façade systems as primary building materials. These systems routinely utilize various types of metal as the exterior finish of the system. Although, a ventilated façade system and architectural metal panels differ in terms of their application, the appearance of the two (2) materials is similar.

Tract 3 Modification:

The area noted as Tract 3 on the zoning exhibit is the future location for a surface parking lot that will provide additional parking for the movie theater. The lot would provide approximately 250 parking spaces. It would be accessed via an alley along the west property line, separating the parking lot from the movie theater. Although the movie theater's required parking will be met within the parking garage of the State Farm Building 4, the theater anticipates additional parking will be necessary to accommodate the daytime matinee demand. Since the proposed surface parking lot would be located on a lot separate from the movie theater, the parking lot is considered the primary use of the property, and therefore it is prohibited. If the two (2) were platted together, the surface parking would be allowed as an accessory use to the movie theater.

The developer anticipates the tract to be developed in the future, possibly with a multi-story building with an incorporated parking garage. At such time, the surface lot would likely be incorporated as the ground floor of the parking structure. However, the timing of such development is uncertain at this time, and the applicant is requesting the surface parking lot be allowed without a time limit. The lot would be required to be constructed of concrete, and at such time streets are constructed along the edges of the surface parking lot, the pedestrian areas

as shown in Section 9.4 (Street Sections) and the surface parking lot would also be required to be screened in accordance with Section 7.2.6 of the Code.

Tract 1 Modification:

The area noted as Tract 1 on the zoning exhibit encompasses the entirety of the CityLine East PD, excluding the property developed as State Farm Building 4 and the open space area along the eastern edge of the PD. The amendment for Tract 1 is to allow temporary surface parking lots throughout the PD to facilitate the ultimate development of the surface parking lot on Tract 3 as well as allow for the future increase in density of other CityLine developments. As additional tracts develop within the CityLine East development, the developer anticipates the need for temporary relocation of parking areas to accommodate construction and interim parking demands.

The applicant is proposing several conditions that would be placed on temporary parking lots within the development if the request is approved. The conditions are as follows:

- A temporary parking lot may only be constructed to provide parking for previously approved and constructed parking spaces being disturbed or removed as part of a future development.
- No more than three (3) temporary parking lots shall be permitted at any one (1) time.
- No more than 500 parking spaces would be allowed in a single temporary parking lot.
- Temporary parking lots may be constructed of asphalt.
- Once a temporary parking lot is constructed, it shall be allowed to remain for the lesser of (i) forty-two (42) months or (ii) six (6) months after the issuance of a certificate of occupancy for the use associated with the permanent replacement spaces.

Although the developer is requesting 500 spaces within each lot to provide flexibility for future parking needs, their intent is not to build three (3) lots at maximum capacity, but rather to provide the flexibility in their size and capacity since the nature of all future developments are uncertain. Additionally, the time limitation associated with the temporary parking lots provide the City with assurances that ultimate buildout within the PD will be in accordance with the CityLine East PD regulations.

Correspondence: As of this date, no correspondence has been received.

Motion: On May 3, 2016, the City Plan Commission recommended approval of the applicant's request on a vote of 6-1 (Commissioner Springs opposed), subject to the following conditions:

The CityLine East PD Planned Development Code (the Code) shall be amended in accordance with the following conditions and shall be limited to the tracts as described in the zoning exhibit attached hereto as Exhibit "B".

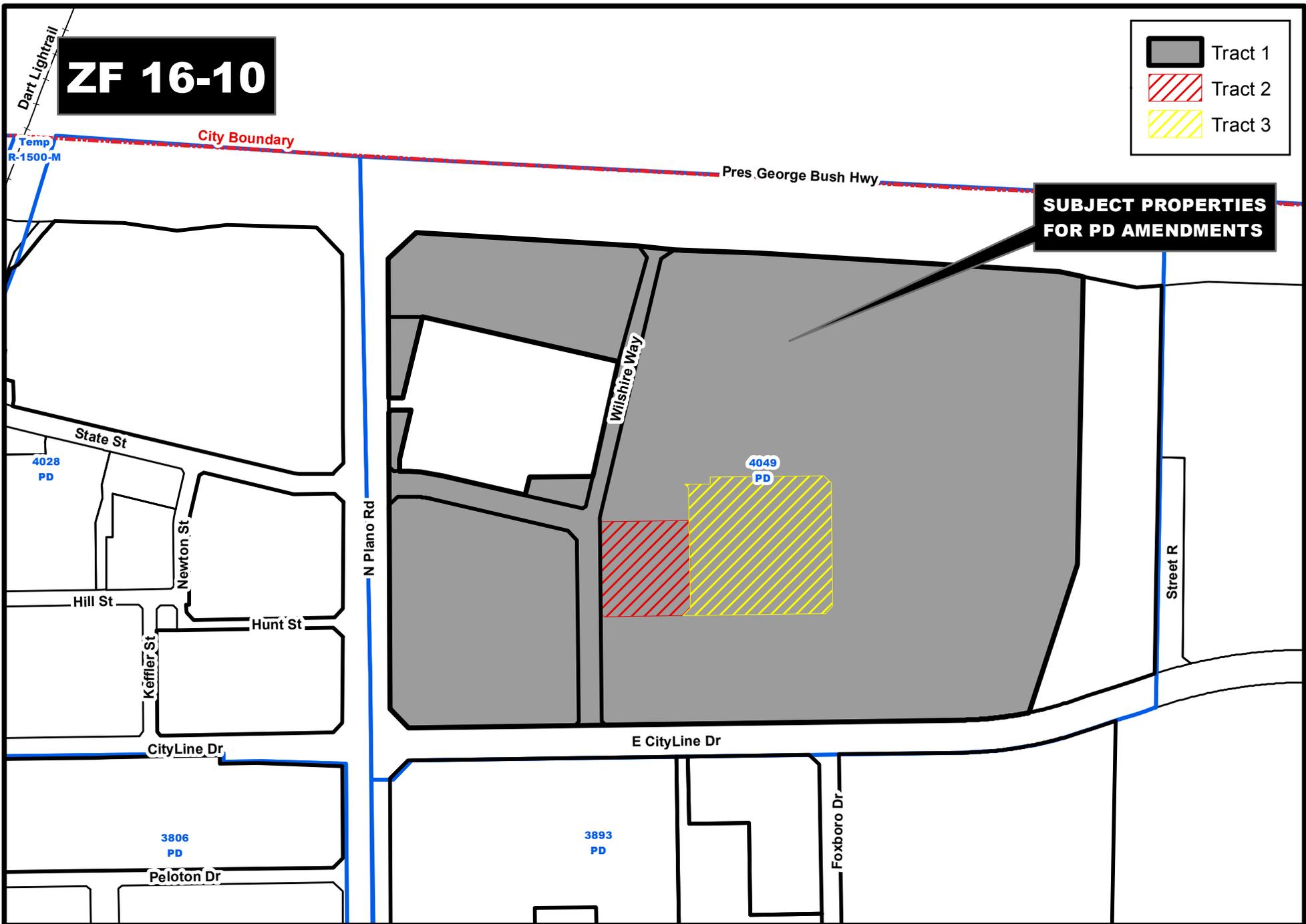
1. Tract 1 shall be amended to allow temporary parking lots in accordance with the following conditions:

- a. A temporary parking lot may only be constructed to provide parking to replace approved and constructed parking spaces being disturbed and/or removed as part of a future development.
 - b. No more than three (3) temporary parking lots shall be permitted to be constructed at any one (1) time.
 - c. No individual temporary parking lot shall exceed 500 parking spaces.
 - d. Temporary parking lots may be constructed of asphalt.
 - e. Once a temporary parking lot is constructed, it shall be removed after the lesser of (i) forty-two (42) months or (ii) no more than six (6) months after the issuance of a certificate of occupancy for the development for which the temporary parking lot was constructed.
2. Tract 2 shall be amended to allow the following exceptions to Section 8. Building Design Standards of the Code for “arts, entertainment, and recreation uses” as listed in Table 6.1 of the Code:
 - a. The façade rhythm requirement in Section 8.1.5.i shall be waived along the west façade.
 - b. The minimum ground floor transparent storefront window percentage requirements in Section 8.1.6.ii shall be:
 - i. Minimum 30% along the west façade
 - ii. Minimum 5% along the north façade
 - iii. Minimum 0% along the south façade
 - c. Architectural metal panels shall be counted as a “masonry” material as described in Section 8.1.7.i.
3. Tract 3 shall be amended to allow a surface parking lot as listed in Table 6.1 of the Code as a primary use in accordance with the following conditions:
 - a. The surface parking lot shall be constructed of concrete.
 - b. Should streets be constructed directly adjacent to the surface parking lot, the pedestrian easement area shall be constructed in accordance with the applicable street section established in Section 9 of the Code. Furthermore, the surface parking lot shall be screened in accordance with Section 7.2.6 of the Code.

ZF 16-10

Tract 1
Tract 2
Tract 3

**SUBJECT PROPERTIES
FOR PD AMENDMENTS**

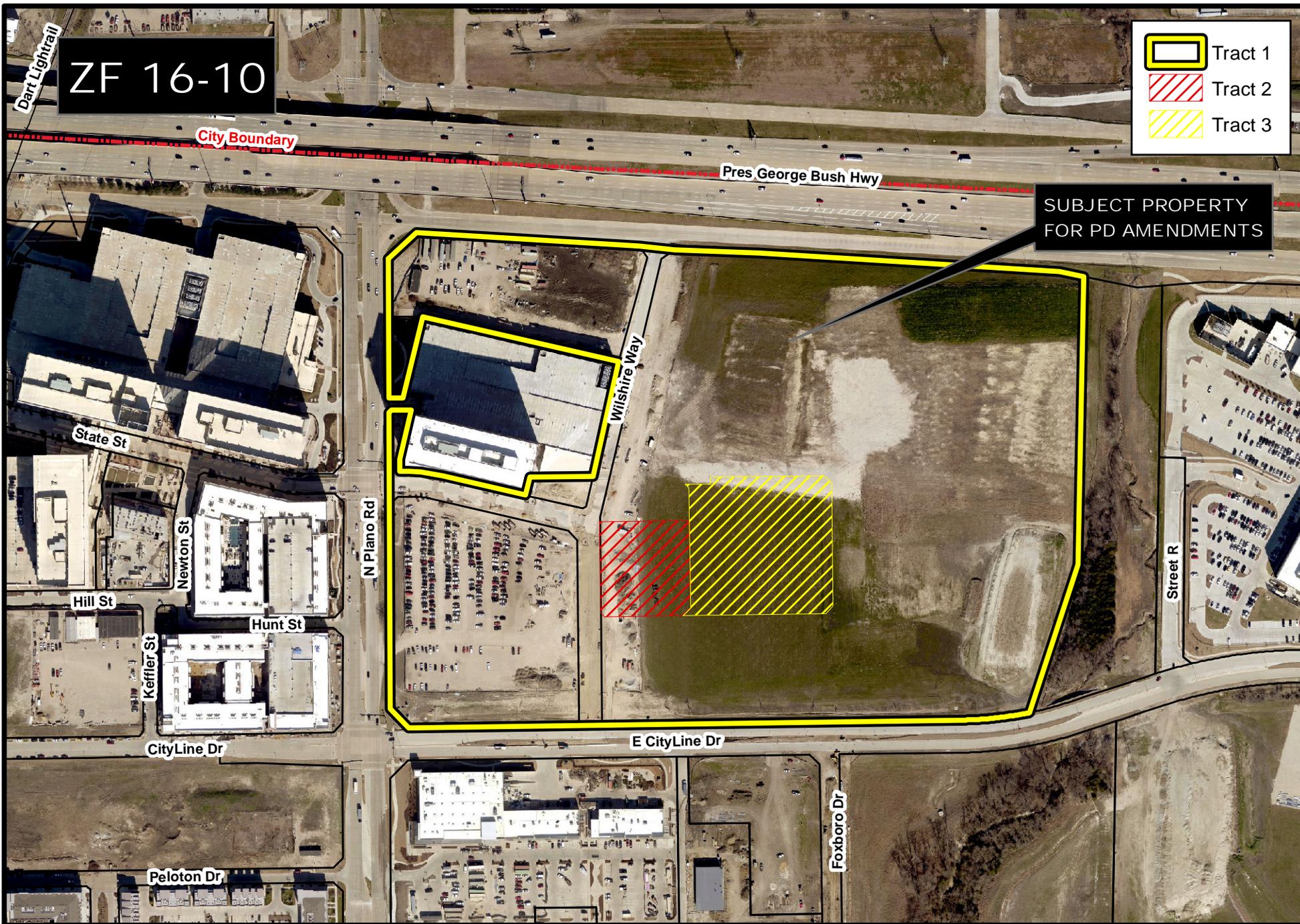


ZF 16-10 Zoning Map

Updated By: shacklett, Update Date: April 18, 2016
File: DSI\Mapping\Cases\Z\2016\ZF1610\ZF1610 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 16-10 Aerial Map

Updated By: shacklett, Update Date: April 18, 2016
 File: D:\Mapping\Cases\Z\2016\ZF1610\ZF1610 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



President George Bush Highway

Tract 1

State Street

Tract 2

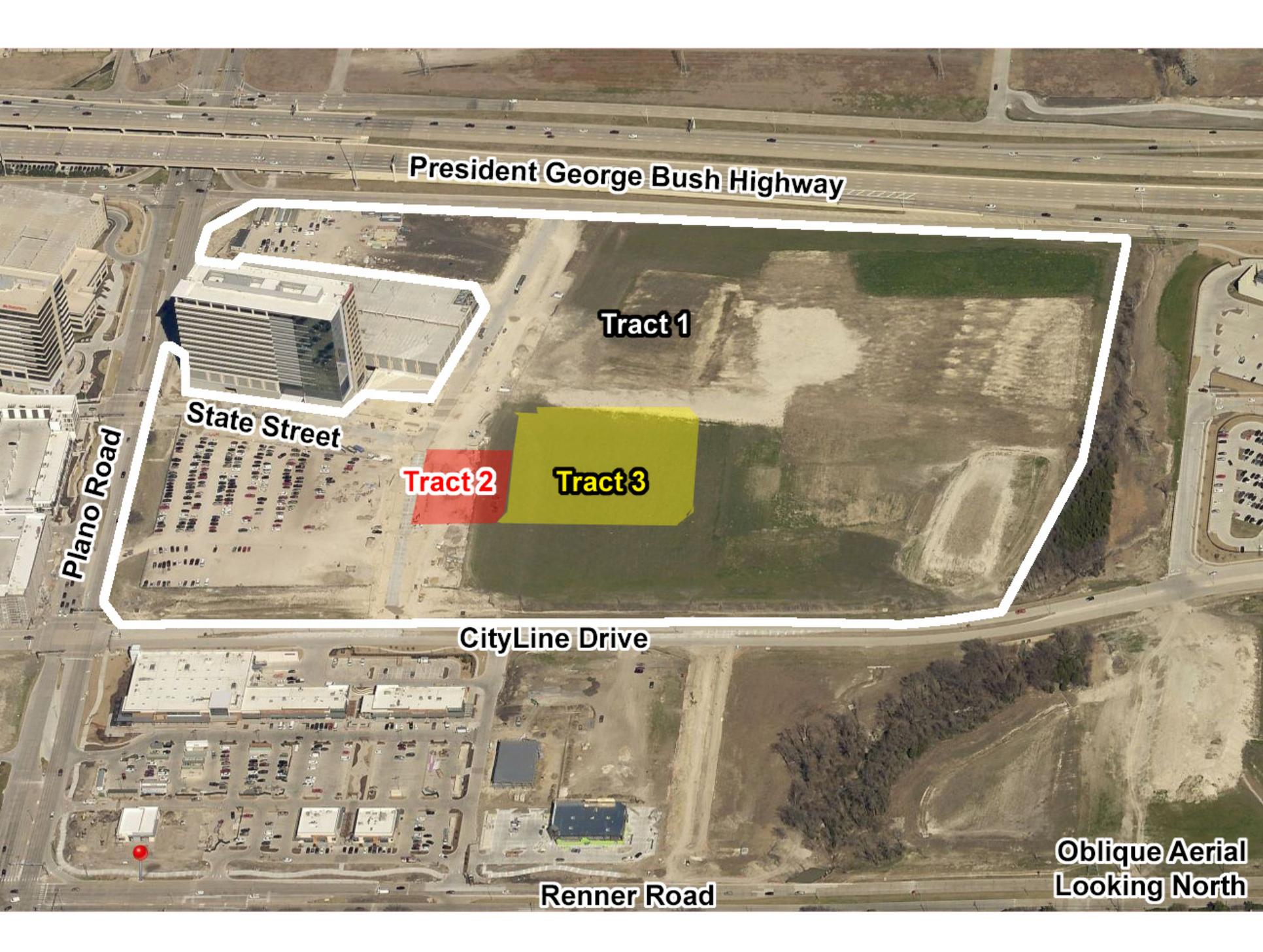
Tract 3

Plano Road

CityLine Drive

Renner Road

Oblique Aerial
Looking North



CityLine East Zoning Amendment

Background

In late 2012, KDC acquired 186 acres just east of the newly renamed CityLine/Bush Station and endeavored to create a new age environment to attract and retain corporate America's targeted "new millennial" employee. The market reception to what would become know as CityLine was immediate, significant, and continues to grow and create critical mass. In addition to a four-building corporate commitment of 2.1 million square feet of office and training, CityLine currently boasts:

- *Retail:* Over 170,000 square feet of leased restaurant and retail space that incorporates an array of mixed price point food offerings and includes a Whole Foods Market. Another 30,000 square feet of retail space is under construction at the base of Four CityLine,
- *Residential:* Over 900 completed apartments,
- *Hospitality:* 148 hotel rooms that are under construction,
- *Medical:* A 40,000-square-foot wellness office building including a fitness center,
- *Corporate Office:* A 489,000-square-foot corporate campus,
- *Parks:* An under construction, 3.5-acre CityLine Park.

By the end of 2017, CityLine will have:

- *Retail:* Over 220,000 square feet of restaurant and retail space,
- *Entertainment:* A 12-screen movie theater,
- *Residential:* Nearly 1,800 completed apartments and 32 private residences,
- *Hospitality:* 148 rooms and ancillary meeting space in an Aloft Hotel,
- *Medical:* A 40,000-square-foot wellness office building and fitness center,
- *Corporate Office:* A 489,000-square-foot corporate campus,
- *Parks:* A 3.5-acre CityLine Park and a 17-acre CityLine East Park.

The Requested Re-zoning

An entertainment venue is important to support the overall success of CityLine's restaurants, as it will generate important nighttime and weekend costumers for these establishments.

KDC is requesting that the current form-based zoning code on the east side of Plano Road be modified slightly for a specific property for a specific use category (Arts, Entertainment, and Recreation Uses) in order to facilitate the development of a movie theater. Specifically, due to the buildings unusually high façade and its use that necessitates predominately opaque construction materials, several exceptions are required. Namely, KDC is requesting reductions in the current minimum facade areas that contains transparent storefront, an inclusion of metal panels as masonry, and the elimination of a vertical rhythm requirement along the main western façade.

Additionally, KDC is requesting that the property directly to the east of the proposed theater site be allowed to provide an adjacent surface parking lot as its primary use, in order to meet the daytime matinee customer demand. This lot will be required to be constructed of concrete and, when directly adjacent streets are developed, final applicable street sections are required to be implemented. Parking demand for the theater will also be met with the public parking at CityLine.

Finally, in order to facilitate the ultimate development of the adjacent surface parking lot, as well as to increase the density of other CityLine developments, KDC is requesting that temporary surface parking be permitted as an allowable use on all property that it owns in the PD. Any temporary lot will be constructed using asphalt. Additionally, no single lot shall exceed 500 parking spaces, no more than three lots shall be permitted at any one time, and, once constructed, the temporary lot shall be allowed for a limited period of time.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

PLANNED DEVELOPMENT

File No./Name: ZF 16-10 / CityLine East PD Amendments
Property Owner: Walt Mountford, KDC / BCS East Land Investments, LP
Applicant: Bradley Moss / Kimley-Horn and Associates, Inc.
Location: East side of Plano Road, between CityLine Drive and President George Bush Highway (See map on reverse side)
Current Zoning: PD Planned Development
Request: A request to amend a 47.9-acre portion of the 62.5-acre CityLine East PD to allow temporary parking lots, to allow one (1) surface parking lot as a primary use, and for approval of revised Building Design Standards for “arts, entertainment, and recreation uses”.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, MAY 3, 2016
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

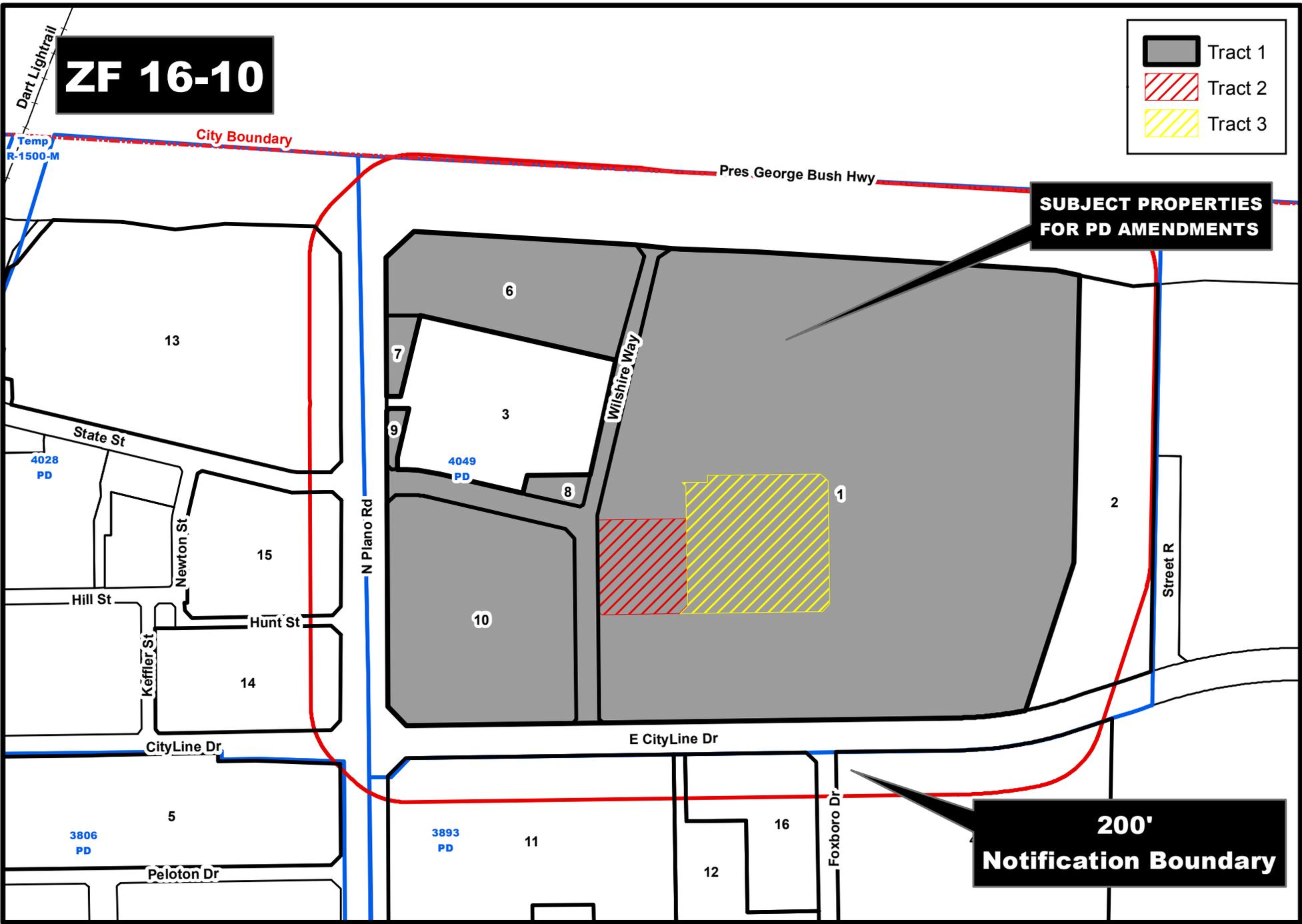
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 16-10.

Date Posted and Mailed: 04/22/2016



ZF 16-10 Notification Map

Updated By: shacklett, Update Date: April 18, 2016
 File: DSI\Mapping\Cases\Z\2016\ZF1610\ZF1610 notification with numbers.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1-BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

4-BCS EAST LAND INVESTMENTS LP
DBA GALATYN PARK NORTH
HOMEOWNERS ASSOCIATION
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

7-BCS OFFICE INVESTMENTS TWO LP
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

10-BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

13-BCS OFFICE INVESTMENTS ONE LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

16-BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

**CITY OF PLANO - PLANNING
DEPARTMENT
1520 K AVENUE
PO BOX 860358
PLANO, TX 75086-0358**

2-BCS EAST LAND INVESTMENTS LP
DBA GALATYN PARK NORTH
HOMEOWNERS ASSOCIATION
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

5-BCS MF II LLC
ATTN: MANAGER
8333 DOUGLAS AVE
DALLAS, TX 75225-5845

8-BCS OFFICE INVESTMENTS TWO LP
ATTN: SCOTT OZYMY
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

11-CITYLINE-REG LLC
C/O REGENCY CENTERS CORPORATION
8480 E. ORCHARD RD STE 6900
GREENWOOD VILLAGE, CO 80111-5033

14-CH REALTY VI-JLB FM RICHARDSON
STATE STREET I LP
C/O JLB REALTY LLC
3890 W NORTHWEST HWY FL 7
DALLAS, TX 75220-8108

**FACILITY PLANNING & CONSTRUCTION
ATTN: TONY PEARSON - PLANO ISD
6600 ALMA DR STE E
PLANO, TX 75023**

**KIMLEY-HORN AND ASSOCIATES
ATTN: BRADLEY MOSS
12750 MERIT DRIVE, STE 1000
DALLAS, TX 75251**

3-BCS OFFICE INVESTMENTS TWO LP
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

6-BCS EAST LAND INVESTMENTS LP
C/O KDC DEVELOPMENT LLC
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

9-BCS OFFICE INVESTMENTS TWO LP
8115 PRESTON RD STE 700
DALLAS, TX 75225-6344

12-CITYLINE-REG LLC
C/O REGENCY CENTERS CORPORATION
8480 E. ORCHARD RD STE 6900
GREENWOOD VILLAGE, CO 80111-5033

15-CH REALTY VI-JLB FM RICHARDSON
STATE STREET I LP
C/O JLB REALTY LLC
3890 W NORTHWEST HWY FL 7
DALLAS, TX 75220-8108

**SUPERINTENDENT OF SCHOOLS
PLANO ISD
2700 W 15TH ST
PLANO, TX 75075-7524**

**BCS EAST LAND INVESTMENTS LP
ATTN: WALT MOUNTFORD
8115 PRESTON RD STE 700
DALLAS, TX 75225**

ZF 16-10

CITYLINE EAST PLANNED DEVELOPMENT DISTRICT

Exhibit B



DRAFT
APRIL 11, 2014

DEVELOPED FOR



BY
GATEWAYPLANNING
A VIALTA GROUP PARTNER

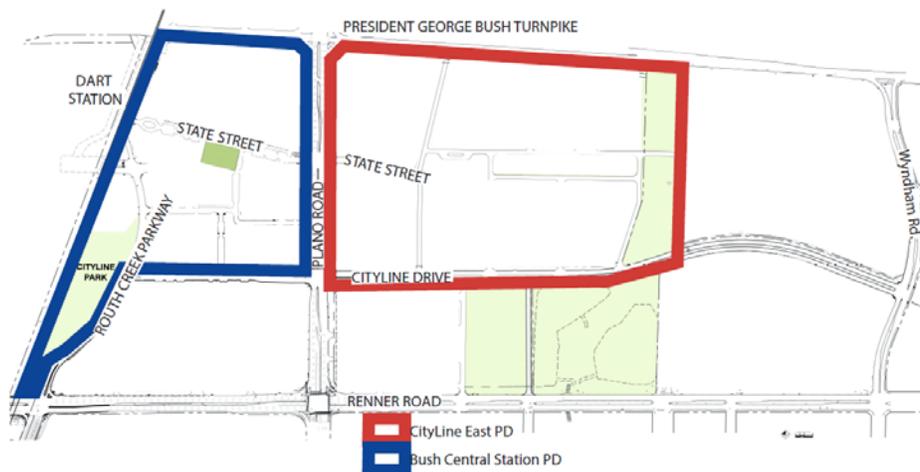
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Section 1. Purpose and Intent:

The purpose of the CityLine East Planned Development Code, hereafter known as the CityLine East PD, is to support the expansion of the Bush Central Station eastward across Plano Road into a pedestrian-oriented, mixed-use urban development environment. It builds on the success of the Bush Central Station development with convenient access to rail transit, shopping, employment, housing, and regional retail services. The goal of the CityLine East PD is to promote the expansion of a regional employment center within an efficient, compact land use pattern; encourage pedestrian activity; reduce the reliance on private automobiles; and provide a more functional and attractive community through the use of recognized principles of urban design.

- 1.1 Economic Development – The CityLine East PD and corresponding standards are created to support economic development, sustainable tax base, and job creation by establishing adjacency predictability of private development within a flexible, market responsive framework that supports and leverages investment in and around the CityLine East PD.
- 1.2 Implement the Design Goals of the CityLine East – In conjunction with Bush Central Station PD, the objective of the CityLine East PD is to foster a major regional employment center with significant regional retail and residential uses within convenient walking distance from the existing transit station and potential transfer station to the Cotton Belt rail line. The existing transit station provides a connection to 12 member cities of Dallas Area Rapid Transit (DART) including Dallas. Development within this area would be of high intensity, accommodating large scale office and retail users while providing for moderate scale mixed use and residential within portions of the CityLine East PD (see location map below).
- 1.3 Establish Specific Development Standards – The CityLine East PD implements the vision for Bush Central Station as established in the City’s Comprehensive Plan and the CityLine East Regulating Plan, hereafter known as the Regulating Plan (Appendix A). The Regulating Plan shall provide guidance to property owners, developers, and the City on the form, character, and intensity of future development in the CityLine East. Creation of different Character Zones within CityLine East enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote sustainability, public welfare, walkable mixed use development, housing variety and transportation choice.



CityLine East Location Map

Section 2. Components of the Code:

2.1 The standards in this CityLine East PD shall apply to all CityLine East development unless otherwise specified in this Code. Development of property within the CityLine East PD shall comply with all applicable development standards set forth in this Code. The components of this CityLine East PD consist of:

2.1.1 CityLine East Regulating Plan: The CityLine East PD Regulating Plan, hereafter known as the “Regulating Plan”, is its official zoning map (Appendix A). It identifies the applicable character zones within CityLine East including:

- i. Character Zones – The CityLine East PD is divided into different “Character Zones”. A Character Zone creates a distinct urban form within that Zone which is different from urban forms in other Character Zones. Each Character Zone shall establish use and development standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots within the CityLine East into one of two Character Zones.
- ii. Special Frontage Standards – The Special Frontage Standards establish exceptions and special conditions for all buildings along designated frontages. Special Frontage Standards shall apply in addition to the underlying Character Zone standards.
- iii. Street Network, Type, and Development Frontage Designations– The Street Network within the CityLine East PD shall be generally classified by Mandatory and Non-Mandatory Streets. Mandatory Streets shall be required and shall generally meet the locational and connectivity goals of the Regulating Plan. Non-Mandatory Streets indicate the desired locations of future streets needed to implement the overall vision of the proposed development. The alignment of Non-Mandatory Streets is intended to be flexible. Street Type designations shall establish the actual cross section characteristics of the street. Appropriate Street Types are provided within Section 9 of this Code as a palette of pedestrian-oriented streets. Development Frontage designations relate to the appropriate development context by denoting them on the Regulating Plan as Required or Recommended Type ‘A’ or Type ‘B’ Frontages.
- iv. Civic/Open Space – Mandatory: Mandatory Civic/Open Space areas shown on the Regulating Plan designate the locations of proposed civic/open spaces (including parks, plazas, greens, and squares).
- v. Civic/Open Space -60% Mandatory and 40% Non-Mandatory: This Civic/Open Space designation indicates the general locations of desired civic/open space of which at least 60% of the area designated as Civic/Open Space shall be mandatory and the remainder of the designated area is optional. The optional aspect provides planning flexibility as the property is developed overtime. The combined total area of all Civic/Open Space shall be no less than 10% of the CityLine East PD.

2.1.2 Development Standards: The CityLine East PD (the text portion of this Code) enumerates the development standards with text and graphics for Character Zones, Special Frontages, building form, civic open space, landscape, building design, signage, lighting, and related standards for all streets, public and private development.

Section 3. Administration

This section sets forth the provisions for reviewing and approving development applications within the CityLine East PD. The intent is to ensure that all development is consistent with the provisions of this Code. All sections of this Code shall be applied during the review process.

3.1 The development standards under Articles XIII-A thru XVI and Article XXI-C of the City of Richardson Comprehensive Zoning Ordinance, as amended, shall not apply to the CityLine East PD except as specifically referenced herein. Development standards not addressed in this ordinance shall be governed by the City of Richardson Comprehensive Zoning Ordinance to the extent they are not in conflict with the intent or text of the CityLine East PD.

3.2 Sign Standards under Chapter 18, as amended, of the City of Richardson Code of Ordinances, shall not apply to the CityLine East PD except as specifically referenced herein.

3.3 Using this Code:

The following basic steps should be followed to determine the uses and development standards applicable on property within the CityLine East PD:

3.3.1 Locate the subject property on the Regulating Plan.

3.3.2 Identify:

- i. the Character Zone in which the property is located;
- ii. the Street Network and Type designation along all its street frontages; and,
- iii. any Special Frontage Requirements that may be applicable to the subject property.

3.3.3 Review the Schedule of Uses by Character Zone as listed in Table 6.1 to determine allowed uses.

3.3.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section 7 to determine the applicable development standards.

3.3.5 Refer to Section 5.5 for Special Frontage Standards and Section 5.6 for Civic/Open Space Standards.

3.3.6 Refer to Section 8 for Building Design Standards.

3.3.7 Refer to Section 9 for Street Type and Streetscape Standards.

The information from the above listed steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it.

3.4 Development within CityLine East PD that complies with the provisions of this Code shall follow the City's development process as outlined in Chapter 21, Article II of the City of Richardson's Code of Ordinances and shall be approved by the City Manager or designee (see Appendix C for flow chart of the review process). In addition to complying with applicable City regulations that are not in conflict with this Code, the applicant shall provide the information required to adequately show compliance with this Code.

3.5 Standard for Approval of development plans: If a development plan conforms to the standards set forth in this Code and applicable City regulations not in conflict with this Code, the development plan shall be approved. Upon request by an applicant, the authority charged with approving the development plan shall certify the reason(s) for an action taken on a development plan.

- 3.6 The City Manager or designee shall be responsible for the following:
- 3.6.1 Reviewing development plan applications for compliance with the requirements of CityLine East PD.
 - 3.6.2 Approving development plan applications that are in compliance with the requirements of the CityLine East PD.
 - 3.6.3 Making determinations on the applications and interpretations of standards in this Code.
 - 3.6.4 Approving revisions to previously approved development plans that comply with this Code and all applicable city ordinances.
 - 3.6.5 Approving any minor modifications to the approved CityLine East PD Regulating Plan and Code per Section 3.8.
 - 3.6.6 Making recommendations on any SDP applications to the City Plan Commission (CPC) and City Council.
- 3.7 Special Development Plans: A request for a modification to any of the standards of this Code other than minor modifications permitted under Sections 3.8 shall be reviewed and processed as Special Development Plans.
- 3.7.1 Special Development Plans (SDP) are intended to allow applicants development flexibility to address specific market opportunities and/or contexts. An application for a Special Development Plan shall be processed as an amendment to the zoning ordinance under Article XXIX of the City of Richardson Zoning Ordinance and may only be considered by the City Council (CC) after the CPC has made a recommendation. The City Manager or designee shall review, make recommendations on any SDPs, and shall forward all SDP applications to the CPC. In evaluating an SDP, CC may consider the extent to which the application meets any of the following:
 - i. provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area; or
 - ii. fits the adjoining context by providing appropriate transitions.

- 3.8 Minor Modifications to the CityLine East PD:
- The City Manager or designee shall have the authority to approve a request for minor modifications to CityLine East PD that:
- 3.8.1 Does not materially change the circulation and building location on the site;
 - 3.8.2 Does not increase the height beyond what is allowed under this section of the Code;
 - 3.8.3 Does not change the relationship between the buildings and the street;
 - 3.8.4 Does not allow a use not otherwise authorized in this Code;
 - 3.8.5 Does not allow reduction of any parking requirement beyond what is allowed under this section of the Code; or
 - 3.8.6 Allows changes to established street cross sections per Table 3.1 below and Section 9 of this Code.

The City Manager or designee shall also have the authority to approve minor modifications outlined in Table 3.1. Any appeals to the decisions of the City Manager on minor modifications shall be heard by the City Council. Any City Council denials of minor modifications or any changes beyond those that meet the criteria above, the thresholds established in Table 3.1, shall be processed as an amendment to this Code under Article XXIX of the City of Richardson Comprehensive Zoning Ordinance.

Table 3.1 Minor Modifications Allowed

| <i>Standard</i> | <i>Minor Modification Allowed</i> | <i>Comments</i> |
|----------------------------------|--|---|
| Area/boundary of Character Zones | No more than a 25% change (increase or decrease) in the area of any Character Zone (aggregate or per | <ul style="list-style-type: none"> • Shall not eliminate any Character Zone • 25% measurement shall be based on the total area of that specific Character Zone within the entire CityLine East PD |

| <i>Standard</i> | <i>Minor Modification Allowed</i> | <i>Comments</i> |
|--|---|---|
| | block) | |
| Location of a Required new Street | Location shall not move more than 150' in any direction | <ul style="list-style-type: none"> • Shall maintain the connectivity intended by the Regulating Plan |
| Addition of new streets not shown on the Regulating Plan | New streets and additional blocks not on the regulating plan may be permitted | <ul style="list-style-type: none"> • Streets shall be selected from the palette of streets established in Section 9 of this Code and based on the development context proposed • In no case shall block faces be smaller than 200' |
| Building height | No more than 20% increase in the building height permitted within each character zone | <ul style="list-style-type: none"> • Allowed in both character zones |
| Building Form and Development Standards | | |
| <ul style="list-style-type: none"> • Build to zones/ setbacks | No more than a 20% change in the maximum or minimum setback or BTZ. | <ul style="list-style-type: none"> • Changes to the build-to-zones or setbacks may only be due to any changes to the street cross sections, change in the width of a sidewalk, or if needed to accommodate Porte-cocheres or other utility easements. • In no case shall the sidewalk be less than 6 feet in width. |
| <ul style="list-style-type: none"> • Development Frontage | No more than a 15% reduction in the required development frontage along each block face of a Required Type 'A' Frontage | <ul style="list-style-type: none"> • Any reduction in the required Development Frontage shall be to accommodate Porte-cocheres for drop-off and pick-up. |
| <ul style="list-style-type: none"> • Development Frontage Designation | Up to 30% of a required Type 'A' frontage may be converted to a Type 'B' Frontage along any given block face | <ul style="list-style-type: none"> • Changes to the Development Frontage designation shall be based on: <ul style="list-style-type: none"> ○ maintaining continuity of Type 'A' Frontages to the extent possible ○ addressing ground floor parking garage access and frontages along the outer blocks of the development (blocks along CityLine or PGBT access road), ○ Minimizing impact on opposite block face frontages, and maintaining a consistent streetscape along the street • Ground floor parking garage facades shall be treated consistently with the rest of the block (with respect to façade rhythm and materials) and any view of parked cars shall be architecturally screened. |
| <ul style="list-style-type: none"> • Required Off-Street Parking | No more than a 20% reduction in the required off-street parking | <ul style="list-style-type: none"> • Shared parking agreements may be required between adjoining properties. • A parking demand analysis may be required based on the mix of uses being proposed. |
| <ul style="list-style-type: none"> • Street screen | Waiver of Street screen requirement along a Type 'B' Frontage | <ul style="list-style-type: none"> • Requirement for a street screen may only be waived along a Type 'B' Frontage along the frontage of any interim surface parking lot (off-street) that is intended to be in-filled with a parking structure. • In no case shall any portion of the surface parking have frontage along a Required Type 'A' Frontage without a required street screen • In no case shall the (off-street) surface parking lot be located at a street intersection with a Required Type 'A' Frontage designation for a minimum depth of 30' along each street frontage. |
| Street Cross Sections | Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation, and street tree planting | <ul style="list-style-type: none"> • Any changes in the street cross sections shall be based on creating a specific and unique development context and to address any existing vegetation, natural features, drainage, and fire access and is subject to approval by the City. • Street cross sections may allow encroachment of Porte-cocheres into the street right-of-way and parking lanes, but not within any travel lanes, subject to approval by the City. |
| Street Cross Sections | On-street parking configuration adjustments | <ul style="list-style-type: none"> • On-street parking may be eliminated or adjusted from angled to parallel or angled to drop-off lanes to accommodate valet drop-off and pick up and similar functions subject to a Development Plan or parking plan submitted by the applicant and subject to approval by the City. |

Section 4. Definitions

In addition to Definitions in Article I of the City of Richardson Comprehensive Zoning Ordinance, the following terms shall have the corresponding interpretations.

Arcade means a portion of the building façade line is at or near the sidewalk at the ground floor and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

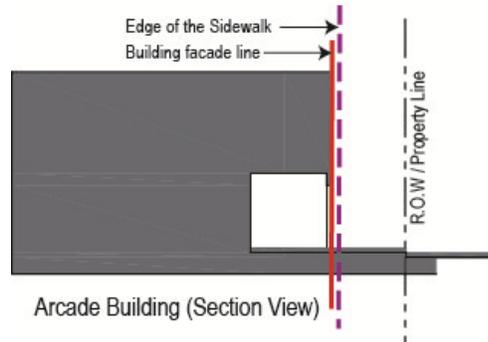


Image of an arcade or colonnade

Attics/Mezzanines means the interior part of a building contained within a pitched roof structure or a partial story between two main stories of a building.

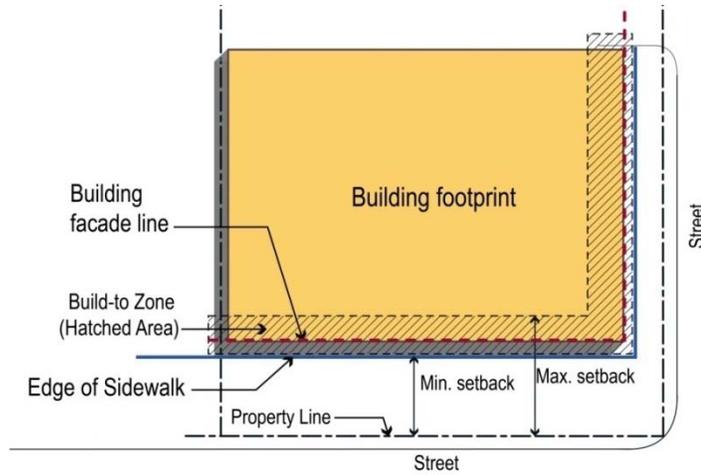
Auto-Related Sales and Service Uses means establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Block Face Dimensions means the linear dimension of a block along one of its street frontages.

Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed on all sides by streets.

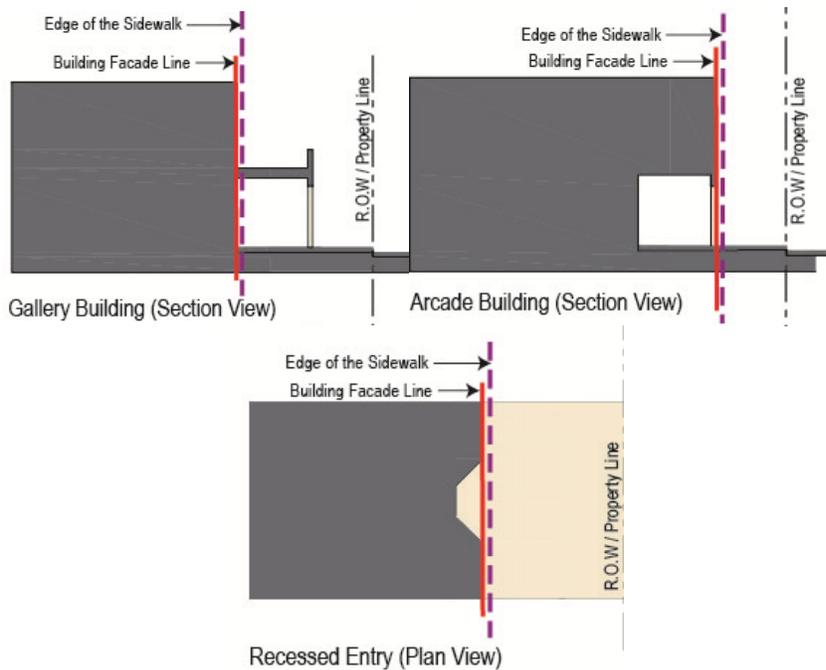
Build-to Line means the line at which the principal building's front façade at the ground floor shall be built.

Build-to Zone (BTZ) means the area within which the principal building's front façade at the ground floor is to be built.



Build-to-zone Illustration

Building Façade Line means the vertical plane along a lot where the building’s ground floor front façade is actually located.



Building Façade Line Illustrations

Building Form Standards means the standards established for each Character Zone that specify the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage means the percentage of the building’s ground floor front façade that is required to be located at the front Build-to Line or Zone as a proportion of that lot’s frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

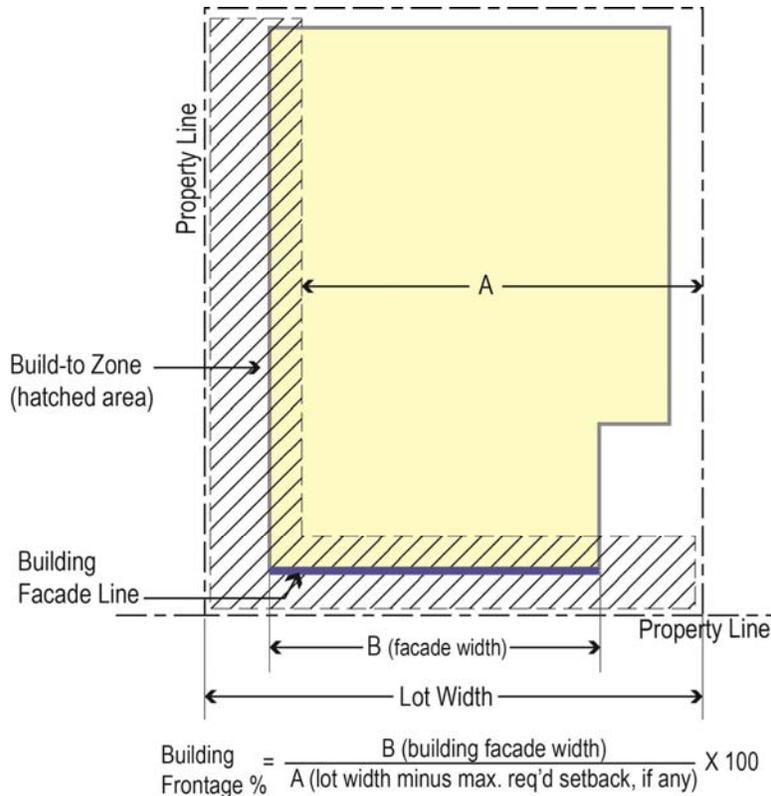


Image showing how a lot's building frontage is calculated.

Character Zone means an area within the CityLine East PD that creates a distinct urban form different from other areas within the CityLine East PD. Character Zones are identified in the Regulating Plan.

City Manager means the City Manager of the City of Richardson or his/her designee.

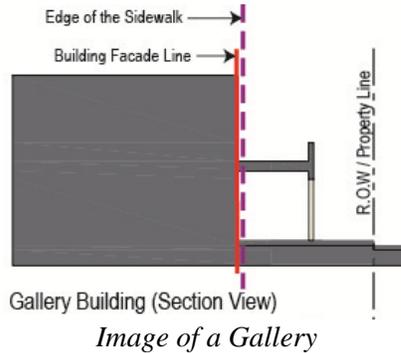
Civic/Open Space means publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, linear greens, pocket parks, playgrounds, etc. Section 11 establishes a palette of appropriate civic/open space types within the CityLine East PD. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of this ordinance. Building façades facing a Civic/Open Space shall be treated as a Type 'A' Frontage. Kiosks are permitted within any of the Civic/Open Spaces below. Permanent Kiosks may occupy no more than 10% of the area of any Civic/Open Space nor shall the size of each kiosk be larger than 2,500 sq.ft. The design and quality of permanent kiosks shall be consistent with the overall development character of CityLine East development (refer to the images under the definition of Kiosks for appropriate character and design).

Comprehensive Plan means the City of Richardson Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City as adopted on the effective date of this Code.

Development Plan means any submittal as defined by Chapter 21, Article II of the City of Richardson's Code of Ordinances.

Encroachment means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R.O.W, or above a height limit.

Gallery means an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.



Kiosk means a small temporary or permanent structure often open on one or more sides used for retail sales or food service in civic/open spaces.



Images of appropriate permanent kiosk structures for food or retail sales and service

Live-Work Unit means a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Living Screen means a Street Screen composed of landscaping in the form of vegetation.

Main Street Frontage means a special frontage requirement along identified Required Type ‘A’ Frontages as indicated in the Regulating Plan.

Mandatory New Street means a required new street to meet the street network standards as established in the Regulating Plan.

Master Sign Plan means a unique sign plan to implement a specific vision for a portion or all of the development that meets Section 10.2 of this Code.

Minor Modification means any changes to the CityLine East PD that meet the threshold criteria established in Section 3.8 and Table 3.1.

Non-Mandatory New Street means an optional new street intended to meet the street network as established in the Regulating Plan. A Non-Mandatory New Street may be at the option of the developer.

Optional Transitional Campus Frontage means a special frontage requirement that may be applied as indicated in the Regulating Plan. The images included in this section are only illustrative of some of the screening options that are to be employed along the Optional Transitional Campus Frontage.



Illustrative Images for treatment options along the Optional Transitional Campus Frontage

Pedestrian Easement means a grant of use of private property for pedestrian access and use.

Recommended Type 'A' Frontage means the development frontages identified as such on the Regulating Plan. Recommended Type 'A' Frontage designations are intended to be the primary pedestrian-oriented streets and development along Type 'A' Frontages are intended to be held to the highest standard of pedestrian-oriented design. At least one block-face of each block within the CityLine East PD shall be developed to meet the Type 'A' Development Frontage requirement in that Character Zone (see standards in Section 5.3).

Required Type 'A' Frontage means the development frontages identified as such on the Regulating Plan. Required Type 'A' Frontage designations are the primary pedestrian streets and

development along Required Type 'A' Frontages shall be held to the highest standard of pedestrian-oriented design with respect to continuous development frontage, limitation of parking uses on the ground floor, and ground floor façade treatment.

Regulating Plan means the Zoning Map attached hereto as Appendix A that shows the Character Zones, Street Designations, Civic Spaces, location of Special Frontages, Streets, and other Special Requirements applicable to the CityLine East PD subject to the standards in this Code. For the purposes of this Code, the Regulating Plan shall also be the Concept Plan for the CityLine East PD.

Residential Loft means a residential unit that is built to commercial standards and adapted for residential uses.

Retail Sales Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Service Uses means a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Special Development Plan means a development application that meets Section 3.7 of this Code.

Special Frontage Requirements means standards applied to certain blocks as indicated in the Regulating Plan in order to address specific requirements and transitions based on street frontage and adjacency in addition to the underlying Character Zone standards.

Street Screen means a freestanding wall or living screen built along the BTZ or in line with the building façade line or immediately behind the pedestrian easement along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Type means a specific cross section for permitted streets in CityLine East that establishes a certain character to improve walkability within the CityLine East PD.

Street Network means the network for new and existing streets within the CityLine East PD as established in the Regulating Plan. Street segments within the overall street network may be designated as Mandatory or Non-Mandatory.

Tree Well means an unpaved area around the trunk of a tree within the sidewalk area that is either landscaped with ground cover or covered with a tree grate.



Example of a tree well with a tree grate



Example of a tree well with landscaping

Type 'B' Frontage means the frontages identified as such on the Regulating Plan. Type 'B' Development Frontages are intended to primarily accommodate access to parking, service, and other auto-related functions.

Section 5. The Regulating Plan

- 5.1 The Regulating Plan (Appendix A) is hereby adopted as the official zoning map for the CityLine East PD.
- 5.2 Character Zones Established – the following Character Zones are established. The boundaries of the specific Character Zones shall be established in the Regulating Plan.
- 5.2.1 TOD Core: The TOD Core provides the most opportunity for the highest intensity development. It is the area that has significant development impact and the highest pedestrian activity due to the mix of uses and intensity. The TOD Core consists of the highest density and height, with the greatest variety of uses. Development within the TOD Core Zone shall meet the Building Form and Development Standards in Section 7.1 of this Code.
- 5.2.2 TOD Mixed Use: The TOD Mixed Use is the area adjacent to the TOD Core that is intended for high intensity commercial and residential uses in addition to supporting retail and restaurant uses. Development within the TOD Mixed Use Zone shall meet the Building Form and Development Standards in Section 7.2 of this Code.
- 5.3 Development Frontage Designations Established – The Regulating Plan shall establish the following Development Frontage Designations.
- 5.3.1 Required Type ‘A’ Frontages Established – Required Type ‘A’ Frontages shall be the primary pedestrian streets and development along Type ‘A’ Frontages shall be held to the highest standard of pedestrian-oriented design. Required Type ‘A’ Frontages are as identified in the Regulating Plan.
- 5.3.2 Recommended Type ‘A’ Frontages Established – Recommended Type ‘A’ Frontages indicate the desired development frontages along primary pedestrian streets and buildings along these frontages are intended to be held to the highest standard of pedestrian-oriented design. Recommended Type ‘A’ Frontages are as identified in the Regulating Plan. A minimum of one block face per each block shall be required to be developed to meet the standards of Required Type ‘A’ Development Frontage and the Type ‘A’ Development Frontage shall be maintained on both sides of the street. Maintaining continuity of adjacent street or block face Type ‘A’ frontages shall inform the selection of the specific block face to be converted to Required Type ‘A’ Frontage.
- 5.3.3 Type ‘B’ Frontages Established – Type ‘B’ Frontages are intended to balance pedestrian orientation with automobile orientation. Development along Type ‘B’ Frontages may be permitted to accommodate some service and auto-related functions including parking. The Type ‘B’ Frontages are as identified in the Regulating Plan. Type ‘B’ Frontages may be converted to Type ‘A’ Frontages at the time of development plan.
- 5.4 Street Network and Street Type Standards – The Street Network indicates the location of Mandatory and Non-Mandatory new streets needed to implement the CityLine East PD Regulating Plan. All new streets in the CityLine East shall be chosen from the palette established in Section 9 based on the development context and design criteria established in Section 9. Per Section 3.8 and Table 3.1, additional new streets may be added within the CityLine East PD.
- 5.5 Special Frontage Requirements – In order to address specific requirements and transitions based on street frontage and adjacency, the following Special Frontages have been established per the Regulating Plan:

- 5.5.1 Main Street Frontage: Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by parking uses, residential units, and/or lodging rooms in hotels to a minimum depth of 30 feet as measured from the front building line.
- 5.5.2 Optional Transitional Campus Frontage: Buildings with this frontage may be developed to the alternative development and frontage standards established in Section 7.1.3 and 7.2.3 upon selection by the developer.
- 5.6 Civic/Open Space – The Regulating Plan indicates Mandatory and 60% Mandatory/40% Non-Mandatory Civic/Open Spaces. The specific standards for Civic/Open Space are established in Section 11. Mandatory Civic/Open Space designation indicates locations where all the area shown as Mandatory Civic/Open Space shall be required. The 60% Mandatory/40% Non-Mandatory designation indicates the general locations of desired civic/open space of which at least 60% of the area designated as such shall be mandatory and the remainder of the designated area is optional. The area shall be based on the cumulative area designated in the Regulating Plan as 60% Mandatory/40% Non-Mandatory over the entire PD. The optional aspect provides planning flexibility as the property is developed over time.
- 5.7 Terminated Vistas – Buildings which are located on axis with a terminating street (as indicated on the Regulating Plan) or at the intersection of streets shall be considered as feature buildings. Buildings with features that take advantage of that location, such as an accentuated entry and a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line. Buildings at a terminated vista shall not include a blank wall, service areas, or parking uses on the ground floor to a minimum depth of 30 feet from the building façade line.

Section 6. Schedule of Permitted Uses

6.1 Generally: Due to the emphasis on urban form over land uses in this PD, general use categories have been identified by character zones. Uses not listed in the following schedule, but are substantially similar, may be permitted upon the approval of the City Manager or designee, subject to appeal directly to the City Council.

6.2 Schedule of Uses:

Table 6.1

| Character Zone | TOD Core | TOD Mixed Use |
|--|----------|---------------|
| Land Use | | |
| Commercial Uses (Office, Retail, Sales & Service Uses) | | |
| Retail Sales or Service with <u>no drive through facility</u> (includes alcohol sales which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances). Excluded from this category are Auto-Retail Sales and Service Uses (see Section 4 of the Code for Definition of Retail, Service uses, and Auto-related Sales and Service) | P | P |
| Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u> | P | P |
| Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc. | P | P |
| Research laboratory headquarters, laboratories and associated facilities | P | P |
| Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u> Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances. | P | P |
| Any use with a drive through facility | P/C | P/C |
| Auto-related Sales and Service | NP | NP |
| Arts, Entertainment, and Recreation Uses | | |
| Art galleries | P | P |
| Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service) | P | P |
| Games arcade establishments | P | P |
| Theater, cinema, dance, music or other entertainment establishment | P | P |
| Museums and other special purpose recreational institutions | P | P |
| Fitness, recreational sports, gym, or athletic club | P | P |
| Parks, greens, plazas, squares, and playgrounds | P | P |
| Educational, Public Administration, Health Care and Other Institutional Uses | | |
| Business associations and professional membership organizations | P | P |
| Child day care and preschools | P | P |
| Schools, libraries, and community halls | P | P |
| Universities and Colleges | P/C | P/C |
| Hospital | P | P |
| Civic uses | P | P |
| Social and fraternal organizations | P | P |
| Social services and philanthropic organizations | P | P |
| Religious Institutions | P | P |
| Funeral homes | P | P |
| Residential Uses | | |
| Home Occupations | P/A | P/A |
| Multi-family residential | | |
| Ground Floor | P/C | P |
| Upper Floors | P | P |
| Residential Lofts | P | P |
| Live-work unit | P | P |
| One- and two-story multi-family residential | NP | NP |

| Character Zone | TOD Core | TOD Mixed Use |
|--|----------|---------------|
| Other Uses | | |
| Model homes for sales and promotion** | P | P |
| Hotels, full-service | P | P |
| Hotels, limited service and suite hotels | P/SUP | P/SUP |
| Parking, surface (primary use of property) | NP | NP |
| Parking, surface (accessory use of property) | P | P |
| Parking, structured | P | P |
| Sales from kiosks | P | P |
| Veterinary clinic | NP | P |
| Community garden | P | P |
| Incidental Outdoor Display (subject to standards in Section 7 of the Code) | P/A | P/A |
| Antennas including cell, accessory, and mounted on top of buildings. | P/A/C | P/A/C |
| Wind energy equipment | P/A | P/A |
| Solar energy equipment | P/A | P/A |
| Special Event | P | P |
| Rain harvesting equipment | P/A/C | P/A/C |
| Utility equipment (includes electrical transformers, gas meters, etc) | P/A/C | P/A/C |

** Model homes are limited to a time period until all the homes are sold in the neighborhood.

P= Permitted by right NP= Not Permitted P/C= Permitted with design criteria per Table 6.2 P/A = Permitted Accessory Use NA= Not applicable
A = Accessory use to not exceed 25% of the primary use building square footage P/SUP = Permitted with a Special Permit (standards in the City of Richardson Comprehensive Zoning Ordinance shall apply)

6.3 Use Criteria: All uses listed as P/C in Table 6.1 shall also meet the following standards in Table 6.2

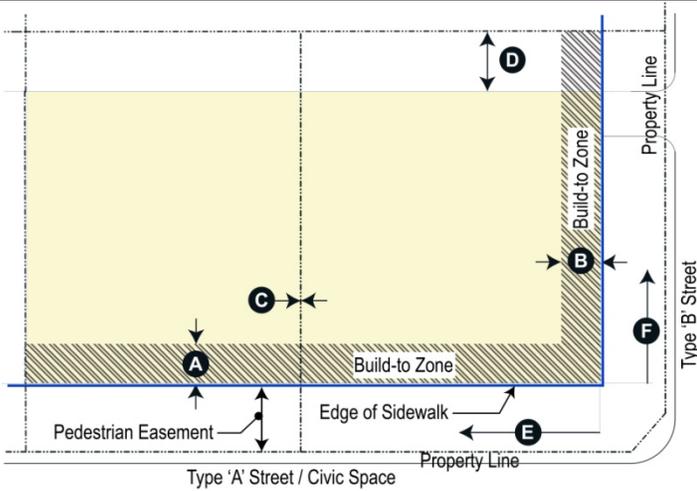
| Use | Zone | Location & Design Criteria |
|---|--------------------------|---|
| Non-Residential Uses | | |
| Any permitted use with a drive through facility | TOD Core, TOD Mixed Use | <ul style="list-style-type: none"> All drive through access (driveways) shall be from Type 'B' Frontages. Drive through lanes and/or canopies shall not have frontage along on or be located along any Type 'A' Frontage designation. Drive through areas screened by a 4' high Street Screen. |
| Universities and Colleges | TOD Core & TOD Mixed Use | <ul style="list-style-type: none"> Shall be required to provide structured parking as part of the build-out for the university/college campus |
| Residential Uses | | |
| Multi-family residential Ground Floor | TOD Core | <ul style="list-style-type: none"> Ground floors may be occupied by residential uses unless designated as Main Street Frontage. Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by parking uses, residential units, or lodging rooms to a minimum depth of 30 feet as measured from the front building line. |
| Other Uses | | |
| Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings) | TOD Core & TOD Mixed Use | <ul style="list-style-type: none"> Antennas shall be permitted on rooftops. Antennas shall be screened entirely with a screen of same color as the principal building. Antennas shall not be visible from any adjacent Type 'A' Frontage. |
| Rain water harvesting equipment | TOD Core & TOD Mixed Use | <ul style="list-style-type: none"> Rain water harvesting equipment may not be installed along Type 'A' Frontage. On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened. |
| Utility equipment (includes electrical transformers, gas meters, etc) | TOD Core & TOD Mixed Use | <ul style="list-style-type: none"> On all frontages, utility equipment shall be screened with a Street Screen at least as high as the equipment being screened. On Type 'A' Frontages, utility equipment shall also be recessed into the building. |

Section 7. Building Form and Development Standards

The following section establishes the Building Form and Development Standards for the two Character Zones within the CityLine East PD. Diagrams and reference letters are used for illustrations purposes only. Reference letters may not be in continuous sequence.

7.1 TOD Core Zone

7.1.1 Building Placement



Legend



Build-To Zone (BTZ)

(Distance from edge of sidewalk to edge of the BTZ) (see #12)

| | | |
|---|-----------------------------------|----------|
| Front (Type 'A' and Civic Space Frontage) (unless the Optional Transitional Campus Frontage in 7.1.3 is chosen) | 0 – 10 feet | A |
| Front (Type 'B' Frontage except PGBT Frontage Road) | 0 – 10 feet (see #1) | B |
| Front (PGBT Frontage Road) | 10' min. setback; no max. setback | |

Setback

| | | |
|---------------------------|-----------------|----------|
| Side (from property line) | 0 feet (see #2) | C |
| Rear (from property line) | 5 feet | D |

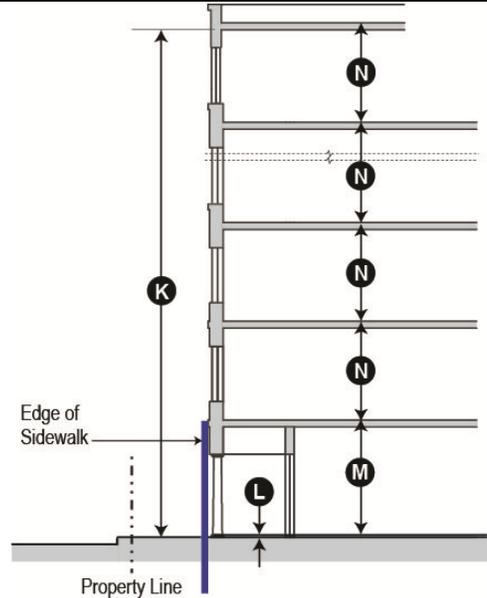
Building Frontage

| | | |
|---|---|----------|
| Building Frontage required along Type 'A' Frontage /civic space BTZ | 90% (min.) (see #3 and #6) | E |
| Building Frontage required along Type 'B' Frontage BTZ | None required unless along a corner lot with Type 'A' Frontage also (see #3 and #6) | F |

Notes

- #1 – The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street facades shall be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards. This standard shall apply to any street intersection with a Type 'A' Frontage (even if the cross street has a Type 'B' Frontage designation).

7.1.2 Building Height



Principal Building Standards

| | | |
|--|--|----------|
| Building maximum | 350 feet (see #7) | K |
| First floor to floor height | 15 feet (min.) (with Main Street Frontage designation) 10' min (for all other frontages) (see #4) | M |
| Ground floor finish level | 12 inches max. above sidewalk (for ground floors of Main Street Frontage buildings) | L |
| Upper floor(s) height (floor-to-ceiling) | 10 feet min. | N |

7.1.3 Special Frontage Requirements

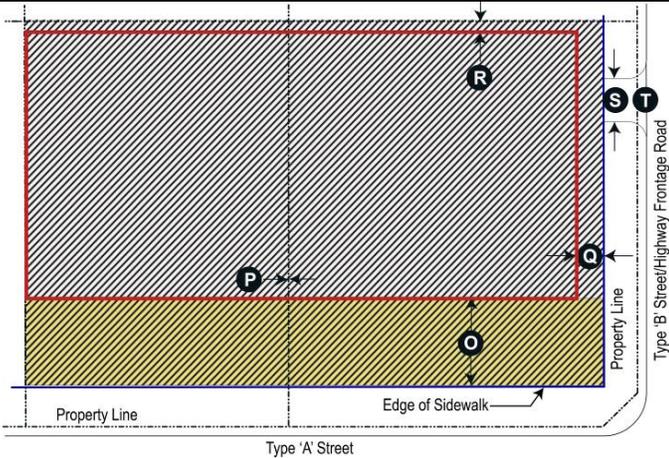
Requirements Specific to Main Street Frontage

- Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan:
- shall not be occupied by parking uses, residential units, or lodging rooms to a minimum depth of 30 feet as measured from the front building line.
 - shall be built to commercial standards which include minimum first floor-to-floor height, ingress and egress and handicap access.

Requirements Specific to Optional Transitional Campus Frontage

- If Optional Frontage is chosen, buildings along this frontage shall be limited to 225' in building height (minor modification allowing a 20% increase in height may be permitted)
- Buildings may be setback a maximum of 100' as measured from the edge of the sidewalk along that frontage
- Surface parking for visitors may be permitted within this setback area but shall be limited to 70% of the setback area. Any surface parking frontage shall be screened along the sidewalk/pedestrian easement to help better define a street wall along the sidewalk and to provide for streetscape and screening of vehicles. Such treatments may include any combination of the following treatments (appropriate images are included in Definitions section under Optional Transitional Campus Frontage):
 - A 6' high vegetative screen along any surface parking lot frontage.
 - Use of free standing vertical structural elements such as colonnades, pergolas or other similar features
 - Use of a double alee of canopy trees along the surface parking lot frontage spaced at 40' on center
 - Use of specialty paving, patterns, or textures for a portion of the surface parking lot
- Development along this frontage shall be exempt from the Building Frontage requirement along this frontage.

7.1.4 Parking & Service Access



Legend

| | |
|----------------------|--------------------------|
| Property Line | Building Footprint |
| Surface Parking Area | Above Grade Parking Area |

(i) Parking Location

Surface/At Grade Parking

| | | |
|--|--|----------|
| Type 'A' Frontage and Civic Space setback | Shall be located behind the principal building | O |
| Type 'B' Frontage setback | Min. of 3 feet behind the building facade line along that street or 6' behind the edge of the sidewalk along that frontage | Q |
| Side setback (distance from property line) | 0 feet min. | P |
| Rear setback (distance from property line) | 0 feet min. | R |

Above Grade Parking

| | | |
|---|-------------|----------|
| Setback along Type 'A' Frontage, Type 'B' Frontage and Civic Space (distance from edge of the sidewalk) | 0 feet min. | O |
| Side and rear setbacks (distance from property line) | 0 feet min. | |

Upper Floors May be built up to the building line

(ii) Required Off-Street Parking Spaces (see #10 and #11)

| | |
|----------------------|---------------------------------|
| Non-residential uses | 1 space/300 square feet (gross) |
| Residential uses | 1.5 space/unit |
| Hotel/Lodging uses | 1 space per hotel room or suite |

(iii) Driveways and Service Access

| | | |
|------------------------|---|----------|
| Parking driveway width | 30 feet max. (except when drives may need to be wider to address service access or fire lane standards) | S |
|------------------------|---|----------|

No more than one driveway per 400 feet of block frontage shall be permitted on a Type 'A' Frontage
Off-street loading and unloading docks shall not be located on a Type 'A' Frontage.
Porte cocheres may be permitted on Type 'A' Frontage to provide drop-off and valet service.

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

7.1.5 Encroachments

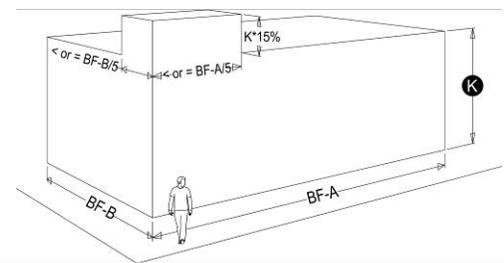
Canopies, signs, awnings and balconies may encroach over the sidewalk or build-to-zone area as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.1.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

- #4 – First floor heights shall not apply to parking structures.
- #5 – All buildings in the TOD Core Zone shall meet the Building Design Standards in Section 8.
- #6– Any frontage along all streets (except alleys) defined by surface parking shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the CityLine East Planting List in Appendix B of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage or immediately behind the pedestrian easement.
- #7– Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade. This allowance applies only if no Minor Modification for additional height has been approved for the building.



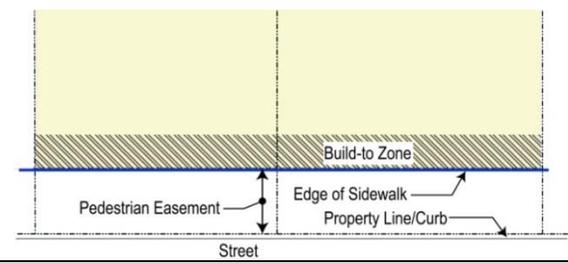
#8- Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#9– Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line (see definition for details). In no case shall the depth of the arcade or colonnade be more than twice the width of the sidewalk (pedestrian easement width as established in the street cross sections in Section 9 of this Code) in front of the building.

#10– Required parking may be provided anywhere within the CityLine East PD.

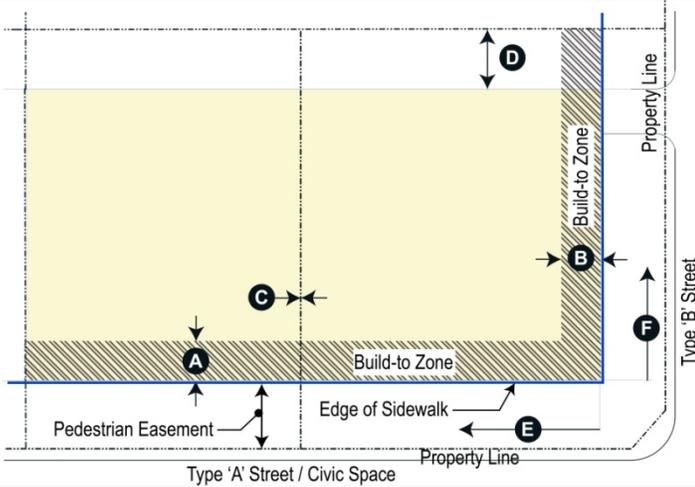
#11– Article III, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

#12 – Note about measuring build-to-zones and setbacks: Build-to-zones and setbacks shall be measured from the edge of the sidewalk closest to the building. This standard shall not apply if outdoor café seating, patios, forecourts, or other amenities that activate the sidewalk are incorporated between the building façade and sidewalk. Existing utility easements may also require measuring of build-to-zones and setbacks from such easements.



7.2 TOD Mixed Use Zone

7.2.1 Building Placement



Legend



Build-To Zone (BTZ)

(Distance from edge of the sidewalk to edge of the BTZ) (see #12)

| | | |
|--|-------------------------|----------|
| Front (Type 'A' and Civic Space Frontage) (unless the Optional Transitional Campus Frontage in 7.2.3 is chosen) | 0- 10 feet | A |
| Front (Type 'B' Frontage) | 0 - 10 feet (see #1) | B |

Setback

| | | |
|------------------------------------|--------------------|----------|
| Side (distance from property line) | 0 feet(see #2) | C |
| Rear (distance from property line) | 0 feet (see #2) | |

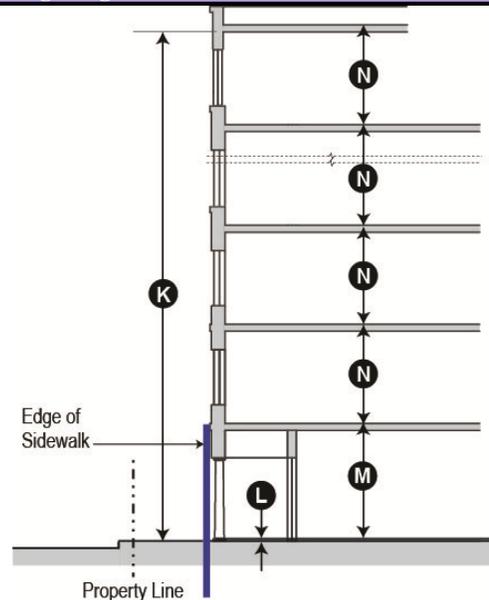
Building Frontage

| | | |
|--|---|----------|
| Building Frontage required along Type 'A' Frontage/civic space BTZ | 80% (min.) (see #3 and #6) | E |
| Building Frontage required along Type 'B' Frontage BTZ | None required unless along a corner lot with Type 'A' Frontage also (see #3 and #6) | F |

Notes

- #1 - The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 - Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 - Corner building street facades shall be built to the BTZ for a minimum of 30 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards. This standard shall apply to any street intersection with a Type 'A' frontage (even if the cross street has a Type 'B' Frontage designation).

7.2.2 Building Height



Principal Building Standards

| | | |
|--|--|----------|
| Building maximum | 225 feet (see #7) | K |
| First floor to floor height | 15 feet min. (buildings with Main Street Frontage designation) 10' min. (for all other frontages) (see #4) | M |
| Ground floor finish level | 12 inches max. above sidewalk (for ground floors of Main Street Frontage buildings) | L |
| Upper floor(s) height (floor-to-ceiling) | 10 feet min. | N |

7.2.3 Special Frontage Requirements

Requirements Specific to Main Street Frontage

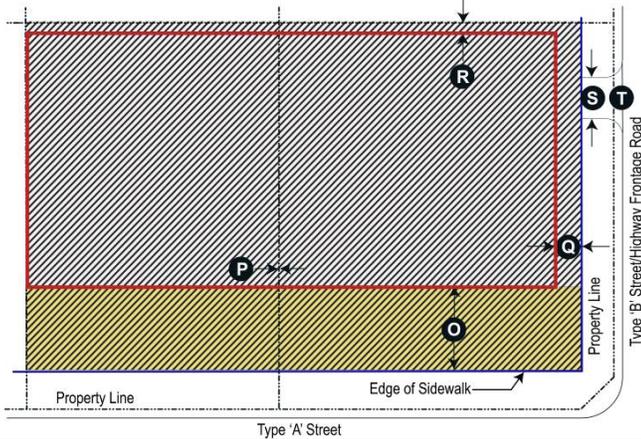
Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan:

- shall not be occupied by parking uses, residential units or lodging rooms to a minimum depth of 30 feet as measured from the front building line.
- shall be built to commercial standards which include minimum first floor-to-floor height, ingress and egress and handicap access.

Requirements Specific to Optional Transitional Campus Frontage

- Building may be setback a maximum of 100' as measured from the edge of the sidewalk along that frontage
- Surface parking for visitors may be permitted within this setback area but shall be limited to 70% of the setback area. Any surface parking frontage shall be screened along the sidewalk/pedestrian easement to help better define a street wall along the sidewalk and to provide for streetscape and screening of vehicles. Such treatments may include any combination of the following treatments (appropriate images are included in Definitions section under Optional Transitional Campus Frontage):
 - A 6' high vegetative screen along any surface parking lot frontage.
 - Use of free standing vertical structural elements such as colonnades, pergolas or other similar features
 - Use of a double ale of canopy trees along the surface parking lot frontage spaced at 40' on center
- Use of specialty paving, patterns, or textures for a portion of the surface parking lot Development along this frontage shall be exempt from the Building Frontage requirement along this frontage.

7.2.4 Parking & Service Access



Legend

- Property Line
- Building Footprint
- Surface Parking Area
- ▨ Above Grade Parking Area

(i) Parking Location

Surface/At Grade Parking

| | | |
|--|--|----------|
| Type 'A' Street and Civic Space setback | Shall be located behind the principal building | O |
| Type 'B' Street setback | Min. of 3 feet behind the building facade line along that street or 6' behind the edge of the sidewalk along that street (if no building along that street frontage) | Q |
| Side setback (distance from property line) | 0 feet min. | P |
| Rear setback (distance from property line) | 0 feet min. | R |

Above Grade Parking

| | | |
|--|--------------------------------------|----------|
| Setback along all Type 'A' Streets, Type 'B' Street and Civic Space (distance from edge of the sidewalk) | 0 feet min. | O |
| Side and rear setbacks (distance from property line) | 0 feet min. | |
| Upper Floors | May be built up to the building line | |

(ii) Required Off-Street Parking Spaces(see #10 and #11)

| | |
|----------------------|---------------------------------|
| Non-residential uses | 1 space/300 square feet (gross) |
| Residential uses | 1.5 space/unit |
| Hotel/Lodging uses | 1 space/room or suite |

(iii) Driveways and Service Access

| | | |
|--|--|----------|
| Parking Driveway | 24feet max. (except when drives may need to be wider to address service access or fire lane standards) | S |
| No more than one driveway per 400 feet of block frontage shall be permitted on a Type 'A' Frontage | | |
| Off-street loading and unloading docks shall not be located on Type 'A' Frontages. | | |
| Porte cocheres may be permitted on Type 'A' Frontages to provide drop-off and valet service. | | |
| Shared driveways and cross access easements are encouraged between lots to minimize curb cuts. | | |

7.2.5 Encroachments

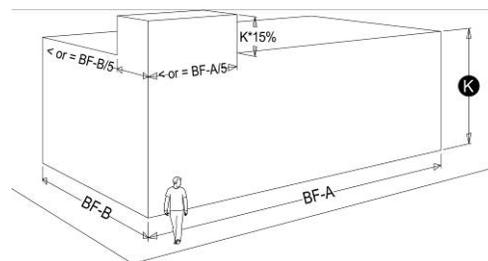
Canopies, signs, awnings and balconies may encroach over the sidewalk or build-to-zone area as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7.2.6 Applicability

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

Notes

- #4- First floor heights shall not apply to parking structures.
- #5- All buildings in the TOD Mixed Use Zone shall meet the Building Design Standards in Section 8.
- #6- Any frontage along all streets (except alleys) defined by surface parking shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the CityLine East Planting List in Appendix B of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage or immediately behind the pedestrian easement.
- #7- Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade. This allowance applies only if no Minor Modification for additional height has been approved for the building.



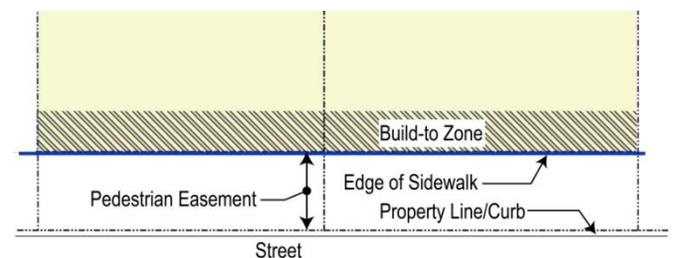
#8- Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#9- Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line (see definition for details). In no case shall the depth of the arcade or colonnade be more than twice the width of the sidewalk (pedestrian easement width as established in the street cross sections in Section 9 of this Code) in front of the building.

#10- Required parking may be provided anywhere within the CityLine East PD.

#11- Article III, Section 21-52 of the City of Richardson Subdivision and Development Ordinance shall apply for design of off-street parking areas.

#12 - Note about measuring build-to-zones and setbacks: Build-to-zones and setbacks shall be measured from the edge of the sidewalk closest to the building. This standard shall not apply if outdoor café seating, patios, forecourts, or other amenities that activate the sidewalk are incorporated between the building façade and sidewalk. Existing utility easements may also require measuring of build-to-zones and setbacks from such easements.



Section 8. Building Design Standards

The Building Design Standards and Guidelines for the CityLine East PD shall establish a coherent urban character and encourage enduring and attractive development. Development plans shall be reviewed by the City Manager or designee for compliance with the standards below.

The key design principles establish essential goals for development in the CityLine East PD to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.
- c. Building facades shall include appropriate architectural details and ornament to create variety and interest.
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

8.1 General to all Character Zones

8.1.1 Building Orientation

- i. Buildings shall be oriented towards Type 'A' Frontages, where the lot has frontage along Type 'A' Frontage designation. All other buildings shall be oriented towards Type 'A', Type 'B' frontages or Civic Spaces.
- ii. Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- iii. All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

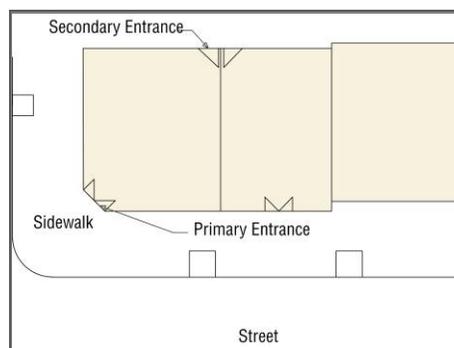


Figure showing required building orientation and location of primary entrances

8.1.2 Design of Parking Structures

- i. All frontages of parking structures located on Type 'A' Frontages shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type 'A' frontage. If the frontage is along a designated Main Street Frontage, then the Main Street Frontage requirement shall supersede.

- ii. Parking structure facades on all Type ‘A’ Frontages and along CityLine Drive shall be designed with both vertical (façade rhythm of 20 feet to 40 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- iii. Where above ground structured parking is located at the perimeter of a building with frontage along a Type ‘A’ Frontage; it shall be screened in such a way that cars on all parking levels are completely hidden from view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ideally, ramps should not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- iv. When parking structures are located at street intersections, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- v. Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Images showing appropriate design of Parking Structures along Type ‘A’ Streets

- vi. Design of Garage Facades along Plano Road and Type ‘B’ Frontages: Garage facades along the Plano Road and Type ‘B’ frontages shall be precast concrete spandrels with vertical elements at intervals of no greater than 80 feet.
 - vii. Design of Garage Facades along George Bush Turnpike access road: Garage facades along the George Bush Turnpike access road shall be precast concrete spandrels.
- 8.1.3 Design of Automobile Related Building Site Elements
- i. Drive-through lanes for commercial uses shall not be located along any Type ‘A’ frontages. Drive-through lanes shall be hidden behind a Street Screen along any Type ‘B’ frontages.
 - ii. All off-street loading, unloading, and trash pick-up areas shall be located along alleys or Type ‘B’ frontages only unless permitted in the specific building form and development standards in Section 7. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.
- 8.1.4 Roof Form
- i. Buildings shall have simple, flat fronts with minimal articulations with flat or low pitched roofs (pitches 2.5:12 or lower) with parapets. Corner hip roof elements and gable accents at the parapet may be permitted. Projecting mansard roofs shall not be permitted.



8.1.5 Façade Composition

- i. Buildings shall maintain a façade rhythm of 20 feet to 40 feet along all Type ‘A’ Frontages.
- ii. This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- iii. Storefronts on facades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.
- iv. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- v. Buildings shall generally maintain the alignment of horizontal elements along the block.
- vi. Corner emphasizing architectural features, pedimented gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



Buildings with architectural features and storefront elements that add interest along the street.

8.1.6 Windows and Doors

- i. Windows and doors on street (except alleys) fronting facades shall be designed to be proportional and appropriate to the specific architectural style of the building. First floor windows shall NOT be opaque, tinted or mirrored glass.
- ii. All ground floor front facades of buildings along Type ‘A’ Frontages or Civic/Open Space shall have transparent storefront windows covering no less than 50% of the façade area. Each upper floor of the same building facades facing a Type ‘A’ Frontage or Civic/Open Space shall contain transparent windows covering at least 30% of the façade area. All other street facing facades (except alleys) shall have transparent windows covering at least 15% of the façade area for all floors.



Images showing appropriate storefront display and transparency

8.1.7 Building Materials

- i. At least 85% of each building's façade (excluding doors and windows) along all streets shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, vertically and/or horizontally articulated architectural pre-cast concrete panels, cast stone, rock, marble, granite, curtain glass, or glass block)
- ii. No more than 15% of each façade along all streets shall use accent materials such as wood, architectural metal panel, split-face concrete block, or tile.
- iii. Ground floor facades along Main Street Frontages shall be exempt from the 85% minimum masonry requirement to allow for greater flexibility in storefront design.



Images showing appropriate building materials within TOD Core and TOD Mixed Use zones.



Images showing appropriate use of architectural precast concrete panels as primary building materials

- iv. Use of EIFS along all building façades shall be eight (8) feet or higher and shall be limited to exterior trim and molding only.
- v. Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only of any commercial frontage on any street or alley façade and shall be limited to no more than 15% along all streets.
- vi. Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.

Section 9. Street & Streetscape Design Standards

9.1 Generally: Streets in the CityLine East PD need to support the overall goal of a mixed use, compact, pedestrian oriented district. They should balance all forms of mobility while maximizing convenience for residents and visitors.

The Regulating Plan designates the Mandatory and Non-Mandatory Street Network within the CityLine East PD. This section establishes a palette of pedestrian-oriented streets that are appropriate within the CityLine East PD. The palette specifies the typical configuration of streets within the CityLine East PD including vehicular lane widths parkway widths, R.O.W widths, number of travel lanes, on-street parking, and pedestrian accommodation. The character of streets in the CityLine East PD may vary based on the location. The service road of President George Bush Turnpike (State Highway 190) is under the purview of TxDOT while the remaining streets are city streets.

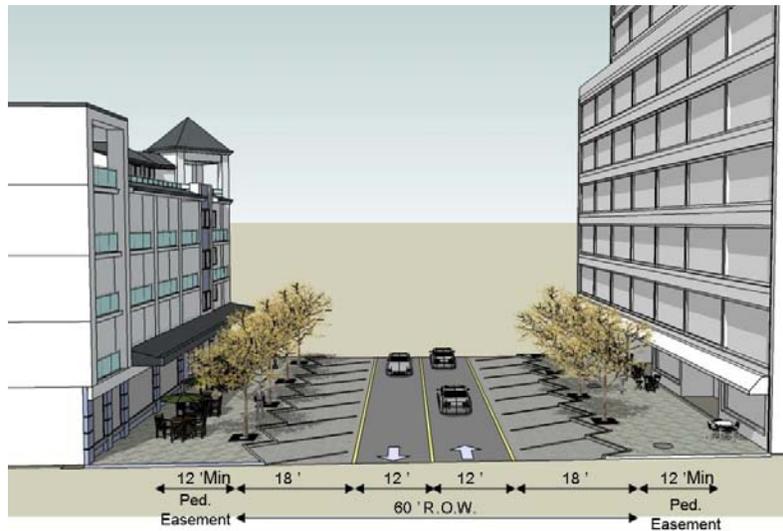
9.2 New Streets: This section specifies standards for all new streets in the CityLine East PD. Location of new streets shall be based on the Regulating Plan while the cross section shall be chosen from the street type palette established in this section. Additional new streets not identified in the Regulating Plan may be permitted per Table 3.1.

9.3 Street Type Palette Established: The following street cross sections are established for allowable street types within both the character zones of the CityLine East PD. The cross sections (including vehicular lane and on-street parking configurations, street tree placement, etc.) may be adjusted to fit existing contexts or other development contexts consistent with the vision for CityLine East with the approval of the City Engineer per Table 3.1. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

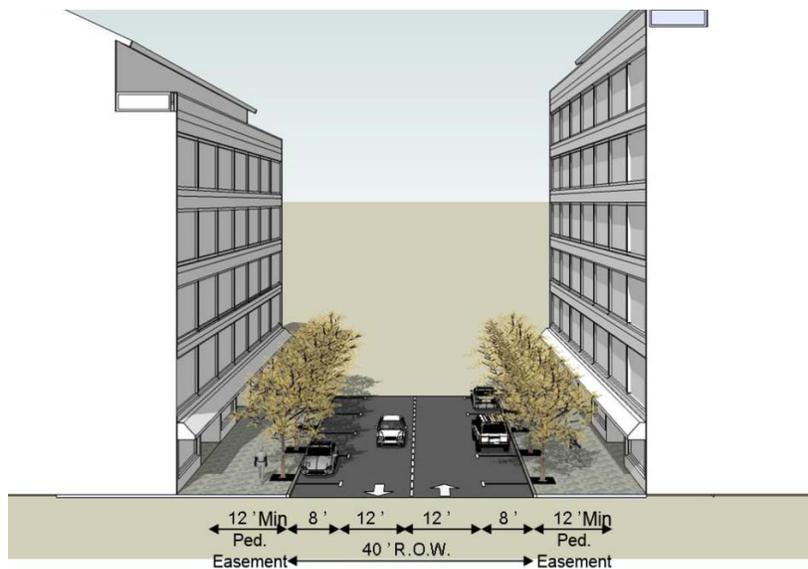
9.4 Street Cross Sections

9.4.1 Street Types 1 and 2: The following development criteria and context shall generally apply to all Street Types 1 and 2:

- i. Pedestrian-oriented development context, retail commercial and residential Type 'A' Development Frontage
- ii. Need for on-street parking (either angled or parallel)
- iii. Mostly continuous development context with few or limited driveway cuts (no continuous center turn lane required)
- iv. Pedestrian amenities and streetscape elements including curb extensions may be incorporated.
- v. Turn lanes may be provided only at key intersections



Street Type 1



Street Type 2

9.4.2 Street Types 3 and 4 : The following development criteria and context shall generally apply to all Street Types 3 and 4:

- i. Pedestrian-oriented development context, retail commercial and residential Type ‘A’ Development Frontage
- ii. Need for on-street parking (parallel parking on one or both sides)
- iii. Mostly continuous development context with some driveway cuts (optional continuous center turn lane)
- iv. Pedestrian amenities and streetscape elements including curb extensions may be incorporated.
- v. Street Type 4 shall be appropriate along civic/open space frontages. Turn lanes may or may not be incorporated based on specific development context. Parallel parking may be provided on one or both sides of the street.



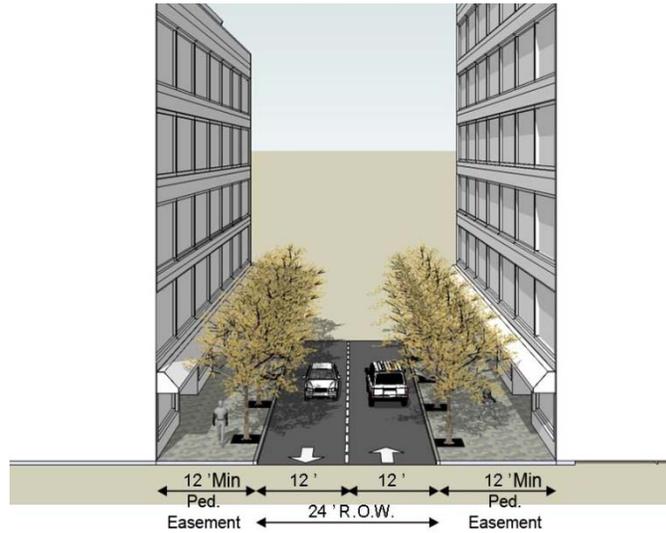
Street Type 3



Street Type 4

9.4.3 Street Types 5 and 6: . The following development criteria and context shall generally apply to all Street Types 5 and 6:

- i. Generally service and utility functions (Type ‘B’ Development Frontage)
- ii. Limited need to accommodate on-street parking
- iii. Access to parking garages and other service functions is important (optional continuous center turn lane may be provided as shown in Street Type 6 based on specific circulation and traffic operational considerations)
- iv. Basic pedestrian sidewalk and streetscape amenities shall still be incorporated.
- v. The width of the lanes in Street Type 6 may be adjusted down to 12’ each (and a corresponding reduction of the R.O.W) if no bicycle accommodation is proposed.



Street Type 5



Street Type 6

- 9.5 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets within the CityLine East PD. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all streetscape and landscape shall be by the property owners association established for the CityLine East PD. All dedicated public rights-of way and landscaping within them shall be maintained by the City of Richardson.
- 9.6 Street Trees and Landscaping (within the pedestrian easement):
- 9.6.1 Street trees shall be required on all CityLine East PD Streets (except along PGBT access road.)
 - 9.6.2 Street trees shall be planted approximately 3 feet behind the curb line or placed in curb extensions (bump-outs into the parking lane) as long as the spacing meets the standard below. Street trees may be planted in tree wells with either landscaping or tree grates or in a continuous landscape strip. Continuous landscape strips may be more appropriate within residential development contexts.
 - 9.6.3 Spacing shall be an average of 40 feet on center (measured per block face) along all streets unless otherwise specified in the cross sections.
 - 9.6.4 The minimum caliper size for each tree shall be 3 in. and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 36 sq. feet. However, the tree well area may be no smaller than 5'X5'.
 - 9.6.5 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof. Turf grass must be installed as solid sod and not seeded on.
 - 9.6.6 Species shall be selected from the CityLine East PD Planting List in Appendix B of this ordinance.
 - 9.6.7 Maintenance of all landscape materials shall meet the requirements of the City of Richardson Landscape Ordinance Requirements.
 - 9.6.8 Along arterials and highway access roads, street trees shall be planted within the required landscape parkway as per the City of Richardson Landscape Ordinance/Policies.
- 9.7 Street Furniture, Lighting, and Materials:
- 9.7.1 Pedestrian scale lighting shall be required along all CityLine East PD streets (except on PGBT access road). They shall be no taller than 25 feet.
 - 9.7.2 Pedestrian-scale and regular street lights shall be placed at uniform locations based on the placement of street trees and other street furniture to provide safety for both pedestrians and automobiles while limiting spill-over and light pollution effects of such street lights. The placement and illumination intensity shall be subject to City approval at the time of Development Plan.
 - 9.7.3 The light standard selected shall be compatible with the design of the street and buildings.
 - 9.7.4 Trash receptacles and bike racks shall be required along all Required Type 'A' Frontages. A minimum of one each per block face shall be required.
 - 9.7.5 Street furniture and pedestrian amenities such as benches are recommended along all Required Type 'A' Frontages.
 - 9.7.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.
 - 9.7.7 Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

Section 10. Signage

10.1 All new signs shall comply with Chapter 18 of the City of Richardson Code of Ordinances, as amended unless a Master Sign Plan is developed and approved per the section below.

10.2 Master Sign Plan: An applicant may establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City Manager or designee and are subject to approval of the City Plan Commission. In evaluating a Master Sign Plan, the City Plan Commission shall consider the extent to which the application:

10.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;

10.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;

10.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and

10.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

Section 11. Civic/Open Space Standards

11.1 The design of Civic/Open Space shall be regulated by the Civic/Open Space standards herein which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from larger parks to neighborhood-scaled greens to urban squares and plazas. Public art is permitted and even encouraged in all civic/open space types. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike. Standards in Article XIII-A, Section 5 of the City of Richardson Zoning Ordinance shall not apply to any development in the CityLine East PD. Any of the following open space types may be implemented on any designated Civic/Open Space on the Regulating Plan (Appendix A). The Regulating Plan indicates Mandatory and 60% Mandatory/40% Non-Mandatory Civic/Open Spaces. Mandatory Civic/Open Space designation indicates locations where all the area shown as Mandatory Civic/Open Space shall be required. The 60% Mandatory/40% Non-Mandatory designation indicates the general locations of desired civic/open space of which at least 60% of the area designated (aggregate for the whole PD) as such shall be mandatory and the remainder of the designated area is optional. The optional aspect provides planning flexibility as the property is developed over time.

11.2 Park Standards



As designated on the Regulating Plan, the Mandatory Civic/Open Space on the eastern edge of the development will create an important public space within the CityLine East PD and allows for passive recreation. Parks shall primarily be naturally landscaped with many places to sit on benches or low walls. Passive recreation activities in parks may include grassy lawns for unstructured and informal active recreational activities. Appropriate civic elements, fountains or open shelters may be included. At a minimum a 10' wide multi-use trail, grassy lawns, and other passive recreation amenities shall be incorporated in the Mandatory Civic/Open Space located on the eastern edge of the property. Trails along public streets may be located in conjunction with a sidewalk in a pedestrian easement.

Typical Characteristics

General Character

- Large, open space
- Spatially defined by landscaping and building frontages
- Paths, trails, open shelters, lawns, trees and shrubs naturally disposed
- May be lineal, following the trajectories of natural corridors

Location and Size

Location and size shall be as shown on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating/picnicking

11.3 Green Standards



Greens can serve as important public space for the CityLine East PD. Greens are available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green.

Typical Characteristics

General Character

- Open space
- Spatially defined by landscaping and building frontages
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

Location and Size

Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses
- Residential address

11.4 Square Standards



Squares can serve as open spaces available for civic purposes, commercial activity, unstructured recreation and other passive uses. Asquare should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square. The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics

General Character

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Located at important intersection

Location and Size

Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses

11.5 Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets.

Typical Characteristics

General Character

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

Location and Size

- Location and size are to be based on the Regulating Plan (Appendix A).
- Shall front on at least one (1) street.

Typical Uses

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining
- Retail and food kiosks

11.6 Multi-Use Trail Standards



The multi-use trail provides an important place for active recreation and creates a connection to regional paths and biking trails. The multi-use trail shall run along north-south Plano Road and connect along CityLine Drive to the Mandatory Civic/open space on the eastern edge of the development and then loop south along Renner Road to provide for a local loop and regional connectivity. The multi-use trail will help activate connections between the open spaces and the uses throughout the CityLine East PD. The multi-use trail may have a different character as it passes through the park and along arterial roadways. Within the required park, the trail shall be naturally disposed with low impact paving materials so there is minimal impact to the existing creek bed and landscape. Along arterial roadways, it may be more formally aligned with concrete paving and landscaped buffers separating the trail from any adjacent travel lanes. It may also be located in conjunction with a sidewalk in a pedestrian easement.

Typical Characteristics

General Character

Park Multi-Use Trail:

Naturally disposed landscape

Low impact paving

Trees lining trail for shade

Appropriately lit for safety

Standards

| | |
|------------|--------|
| Min. Width | 10feet |
|------------|--------|

Location and size are to be based on the Regulating Plan (Appendix A).

Typical Uses

Active and passive recreation

Casual seating

11.7 Playground Standards



Playgrounds shall be permitted in parks and greens to provide open space designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the City prior to installation.

A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.

Typical Characteristics

General Character

- Focused toward children of all ages
- Fenced with minimal exits (non mandatory)
- Open shelter
- Shade and seating provided
- Play structure, interactive art or fountains

Standards

- Min. Size N/A
- Max. Size N/A
- As described by civic space type in which playground is located
- Protected from traffic
- No service or mechanical equipment

Typical Uses

- Active and passive recreation
- Unstructured recreation
- Casual seating

11.8 Ancillary Structure Standards



Ancillary structures should be formal in character and generally related to but clearly subordinate to surrounding buildings. Each individual structure should keep in character with the style of nearby buildings. Typically, these structures are located at prominent locations within an appropriate civic space. Ancillary structures such as kiosks located in Civic/Open Spaces in both the zones may have minor commercial uses, such as small food, retail or news vendors, but may also serve as civic elements for general public use with more passive activities. Permanent kiosk structures shall be limited to no more than 10% of the area of any Civic/Open Space and shall not exceed 2,500 sq.ft. per structure.

Typical Characteristics

General Character

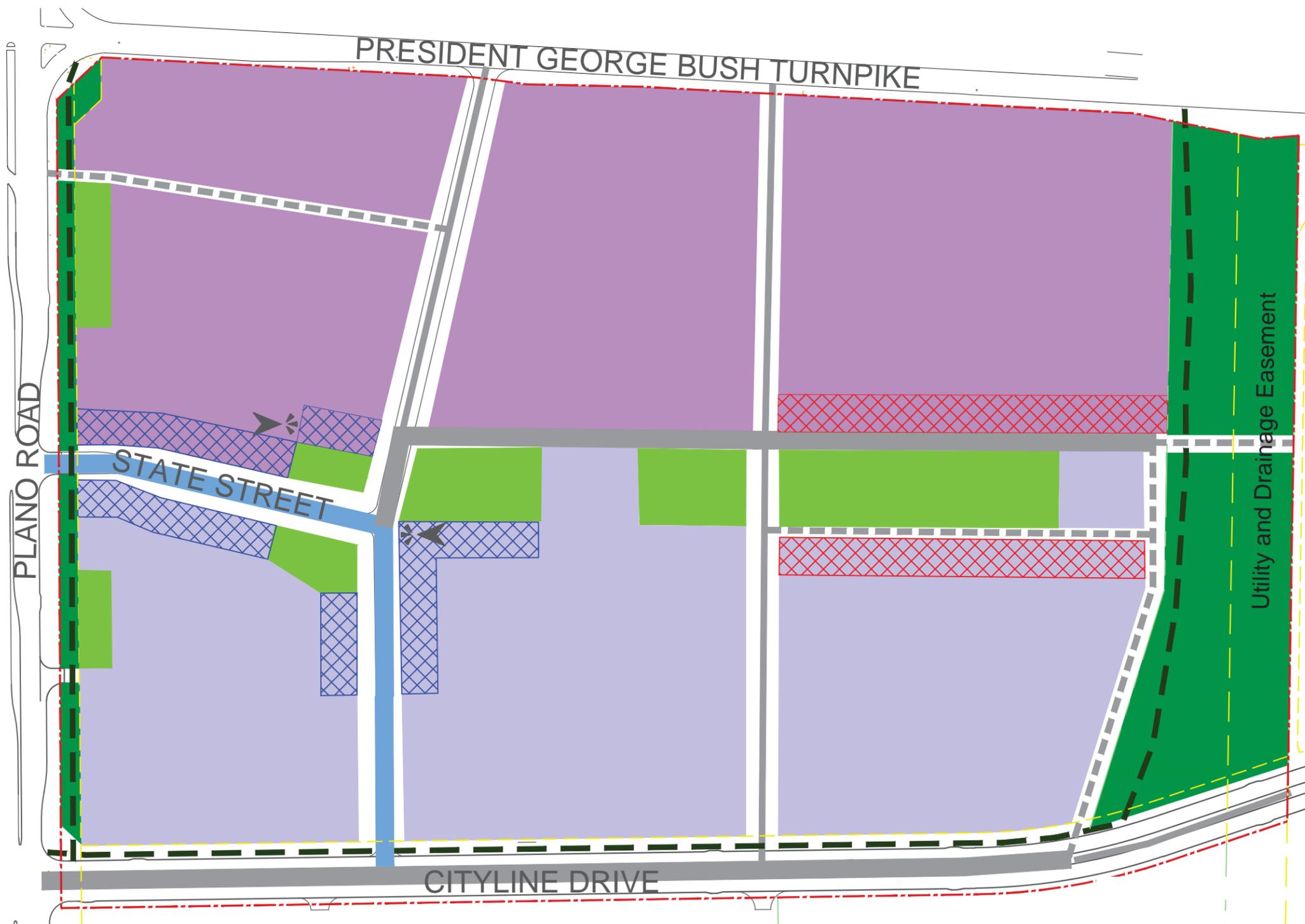
- Formal character
- Relating to style of surrounding buildings
- One or more open sides
- Covered or providing shade
- Small, stand alone structure
- Located within Park, Green, Square or Plaza

Standards

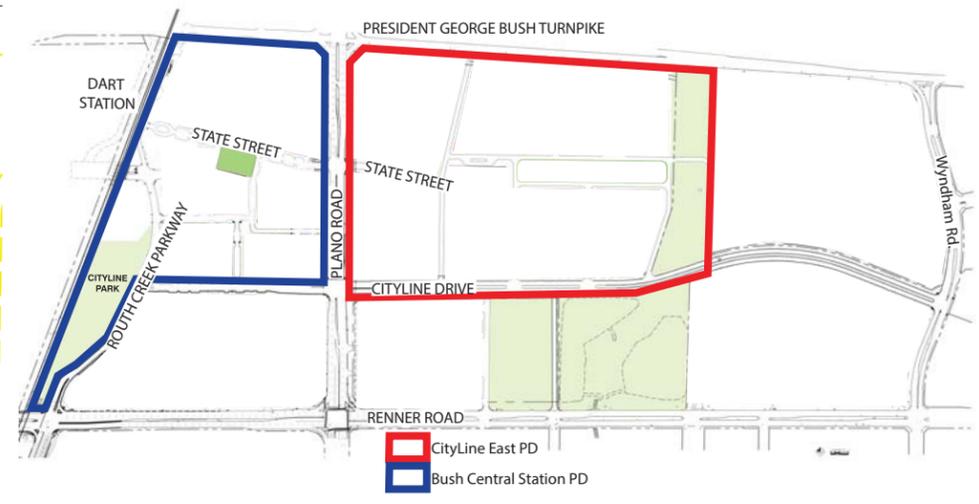
| | |
|-----------|-----|
| Min. Size | N/A |
| Max. Size | N/A |

Typical Uses

- Civic purposes
- Minor commercial uses
- Casual seating/picnicking



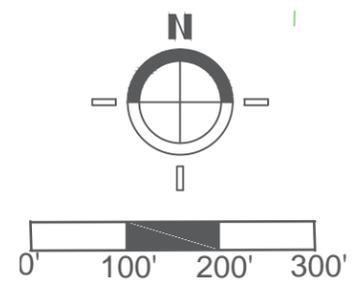
PD Area Key Map



LEGEND

| CHARACTER ZONES | | STREET NETWORK | |
|--------------------------|--|----------------------|------------------------------|
| | TOD Core | 21.81 Acres | Street Type 1 |
| | TOD Mixed Use | 19.39 Acres | Mandatory Street |
| | Civic/Open Space 100% Mandatory | 6.44 Acres | Non-Mandatory Street |
| | Civic/ Open Space 60% Mandatory/ 40% Non-Mandatory | 3.44 Acres | |
| CIVIC / OPEN SPACE TYPES | | DEVELOPMENT FRONTAGE | |
| | Civic/Open Space 100% Mandatory | 6.44 Acres | Type A Frontage Required |
| | Civic/ Open Space 60% Mandatory/ 40% Non-Mandatory | 3.44 Acres | Type A Frontage Recommended* |
| | Other | | Type B Frontage Recommended |
| | Approximate District Boundary | | |
| | Multi-Use Trail | | |
| | Utility Easement | | |
| | Terminated Vista | | |
| | Optional Transitional Campus Frontage | | Main Street Frontage |

*A minimum of one block face per block shall be developed to meet the standards of a Type 'A' Development Frontage
 Note: Plano Road and SH 190 Access Road shall be considered as Type 'B' frontages for the purposes of the CityLine East PD.



**Appendix B
Planting List**

The following lists contain all species approved for use in the CityLine East PD. It contains native and acceptable adapted species. Other species that are drought tolerant and adaptive may be used for planting within the CityLine East PD. The use of alternative species may be permitted with the approval of the City.

CANOPY/STREET TREE LIST

| <u>Common Name</u> | <u>Botanical Name</u> |
|---------------------------|--------------------------------------|
| Live Oak | <i>Quercusvirginiana</i> |
| Red Oak | <i>Quercusshumardi</i> |
| Bald Cypress | <i>Taxodiumdistichum</i> |
| Sweetgum | <i>Liquidambar styraciflua</i> |
| Cedar Elm | <i>Ulmuscraassifolia</i> |
| Lacebark Elm | <i>Ulmuspavifolia</i> |
| Bigtooth Maple | <i>Acer grandidentatum</i> |
| Caddo Maple | <i>Acer saccharum 'Caddo'</i> |
| Texas Ash | <i>Fraxinusvelutina 'Rio Grande'</i> |
| Bur Oak | <i>Quercusmacrocarpa</i> |
| Chinquapin Oak | <i>Quercusmuhlenbergii</i> |
| Escarpment Live Oak | <i>Quercusfusiformis</i> |
| Ginkgo | <i>Ginkgo biloba</i> |

ORNAMENTAL TREE LIST

| <u>Common Name</u> | <u>Botanical Name</u> |
|---------------------------|------------------------------|
| Yaupon Holly | <i>Ilex vomatoria</i> |
| Crape Myrtle | <i>Lagerstromiaindica</i> |
| Deciduous Yaupon | <i>Ilex decidua</i> |
| Southern Crabapple | <i>Malus app.</i> |
| Chinese Pistache | <i>Pistaciachinensis</i> |
| Mexican Plum | <i>Prunus Mexicana</i> |
| Wax Myrtle | <i>Myricacarifera</i> |
| Chitalpa | <i>Chitalpatashkentensis</i> |
| Deciduous Holly | <i>Ilex decidua</i> |
| Desert Willow | <i>Chilopsislinearis</i> |
| Eve's Necklace | <i>Sophoraaffinis</i> |

SHRUBS LIST

| <u>Common Name</u> | <u>Botanical Name</u> |
|---------------------------------|-------------------------------------|
| Dwarf Nandina | <i>Nandinadomestica 'nana'</i> |
| Dwarf Burford Holly | <i>Ilex cornuta 'burfordi nana'</i> |
| AbeliaGrandiflora | <i>Abeliagrandiflora</i> |
| Barberry | <i>Barberry spp.</i> |
| Yucca (Red, Yellow or Soft Tip) | <i>Hesperaloeparviflora</i> |
| Texas Sage | <i>Leucophyllumfrutescans</i> |
| Indian Hawthorn | <i>Raphiolepisindica</i> |

| | |
|--------------------|------------------------------------|
| Dwarf Crape Myrtle | <i>Lagerstromiaindica 'nana'</i> |
| Dwarf Yaupon Holly | <i>Ilex vomitorria 'nana'</i> |
| Pampas Grass | <i>Cortaderiaselloana</i> |
| Black-Eyed Susan | <i>Rudbeckiahirta</i> |
| Dwarf Wax Myrtle | <i>Myricapusilla</i> |
| Needlepoint Holly | <i>Ilex cornuta 'Needle Point'</i> |
| Knockout Rose | <i>Rosa 'Knock Out'</i> |
| Rosemary | <i>Rosmarinusofficinalis</i> |

GROUND COVER/VINES LIST

| <u>Common Name</u> | <u>Botanical Name</u> |
|-------------------------|---------------------------------------|
| Asian Jasmine | <i>TrachelosperumAsiaticum</i> |
| Big Blue Liriope | <i>Liriopemuscar</i> |
| Mondograss | <i>Ophiopogonjaponicus</i> |
| Purple Winter Creeper | <i>Euonymumcoloratus</i> |
| Santolina | <i>Santolinavirens</i> |
| Trumpet Vine | <i>Campsisradicans</i> |
| Virginia Creeper | <i>Parthenocissusquinquifolia</i> |
| Lady Banks Rose | <i>Rosa banksiawlutea</i> |
| Confederate Jasmine | <i>Trachelospermumjasminoides</i> |
| Crossvine | <i>Bignonia capreolata</i> |
| Evergreen Wisteria | <i>Millettiareticulata</i> |
| Lantana 'New Gold' | <i>Lantanacamara 'New Gold'</i> |
| Liriope 'Silver Dragon' | <i>Liriopemuscar'Silver Dragon'</i> |
| Prostrate Rosemary | <i>Rosmarinusofficinalisprostrata</i> |
| Sweet Autumn Clematis | <i>Clematis terniflora</i> |

ORNAMENTAL GRASSES LIST

| <u>Common Name</u> | <u>Botanical Name</u> |
|-------------------------------------|--|
| Dwarf Fountain Grass 'Little Bunny' | <i>Pennisetumalopecuroides'Little Bunny'</i> |
| Dwarf Maiden Grass | <i>Miscanthussinensis 'Adagio'</i> |
| Fountain Grass | <i>Pennisetumalopecuroides</i> |
| Inland Seaots | <i>Chasmanthiumlatifolium</i> |
| Maiden Grass | <i>Miscanthussinensis 'Gracillimus'</i> |
| Mexican Feather Grass | <i>Stipatenuissima</i> |
| Muhly Grass | <i>Muhlenbergiacapillaris</i> |
| Weeping Lovegrass | <i>Eragrostiscurvula</i> |

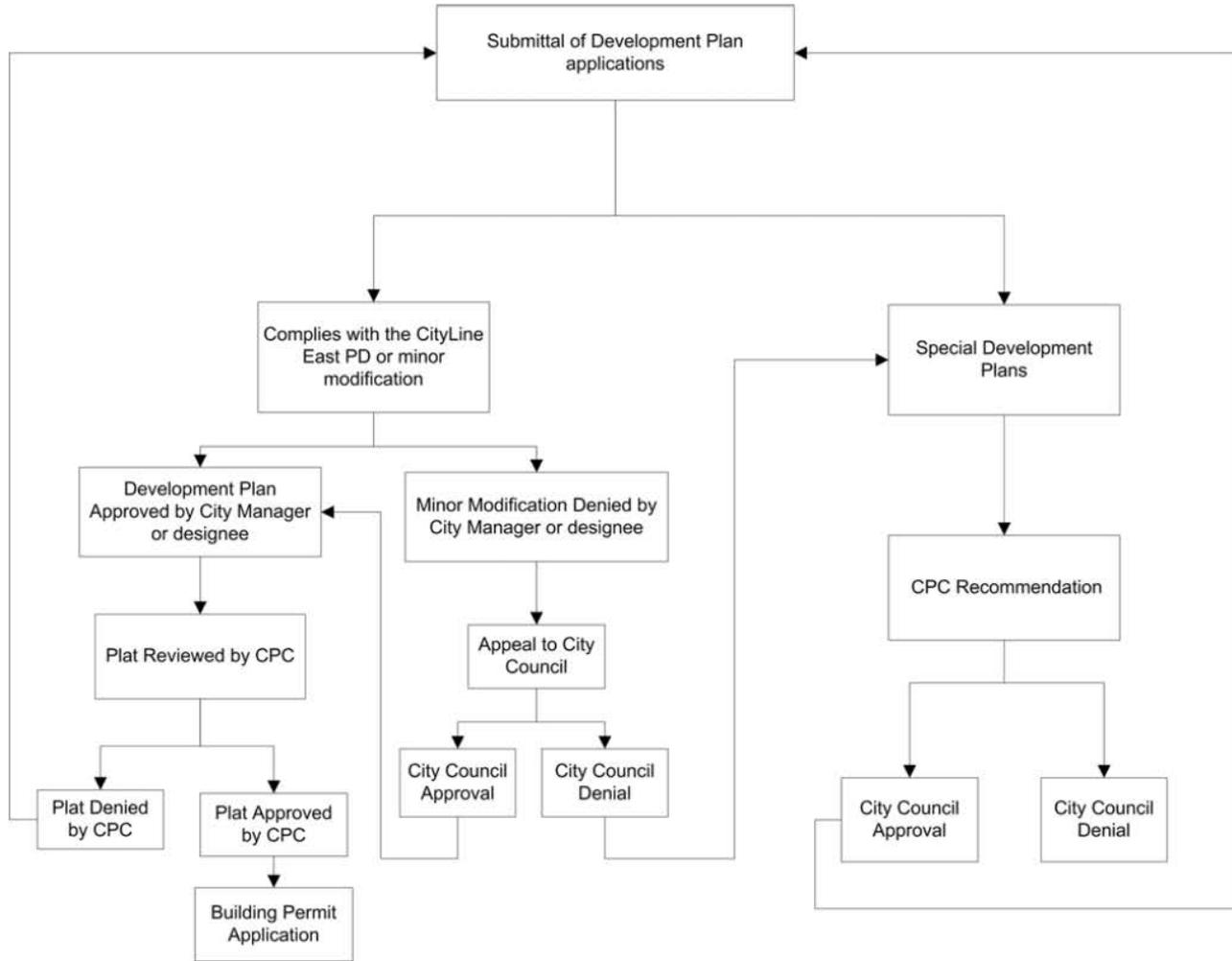
TURF

| <u>Common Name</u> | <u>Botanical Name</u> |
|--------------------|-------------------------------|
| Bermuda | <i>Cynodondactylon</i> |
| St. Augustine | <i>Stenotaphrumsecondatum</i> |
| Zoysia | <i>Zoysiatenuifolia</i> |

These plantings may be placed in Civic/Open Spaces or used to meet the private landscaping requirements of the Code. The applicant shall select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.

Appendix C

**CityLine East PD
Development Review Process**



CityLine East PD: CityLine East Planned Development
CPC: City Plan Commission
CC: City Council
SDP: Special Development Plan

Note: Development Plans include site plans, building elevations, landscape plans, civil engineering plans, and all plats



City of Richardson
City Council Meeting
Agenda Item Summary



City Council Meeting Date: Monday, May 9, 2016

Agenda Item: VAR 16-02 Richardson ISD Administration Campus
400 S. Greenville Avenue

Staff Resource: Michael Spicer, Director of Development Services

Summary This is a request for approval of a variance to the City of Richardson Subdivision and Development Code, Chapter 21, Article III, Section 21-47(d), *Screening and Open Space*, to waive the requirement of a six-foot high masonry screening wall adjacent to the residential districts along the southern and western property lines of the Richardson Independent School District Administration Campus.

Board/Commission Action: On April 5, 2016 the City Plan Commission unanimously recommended approval of the request with the following condition:

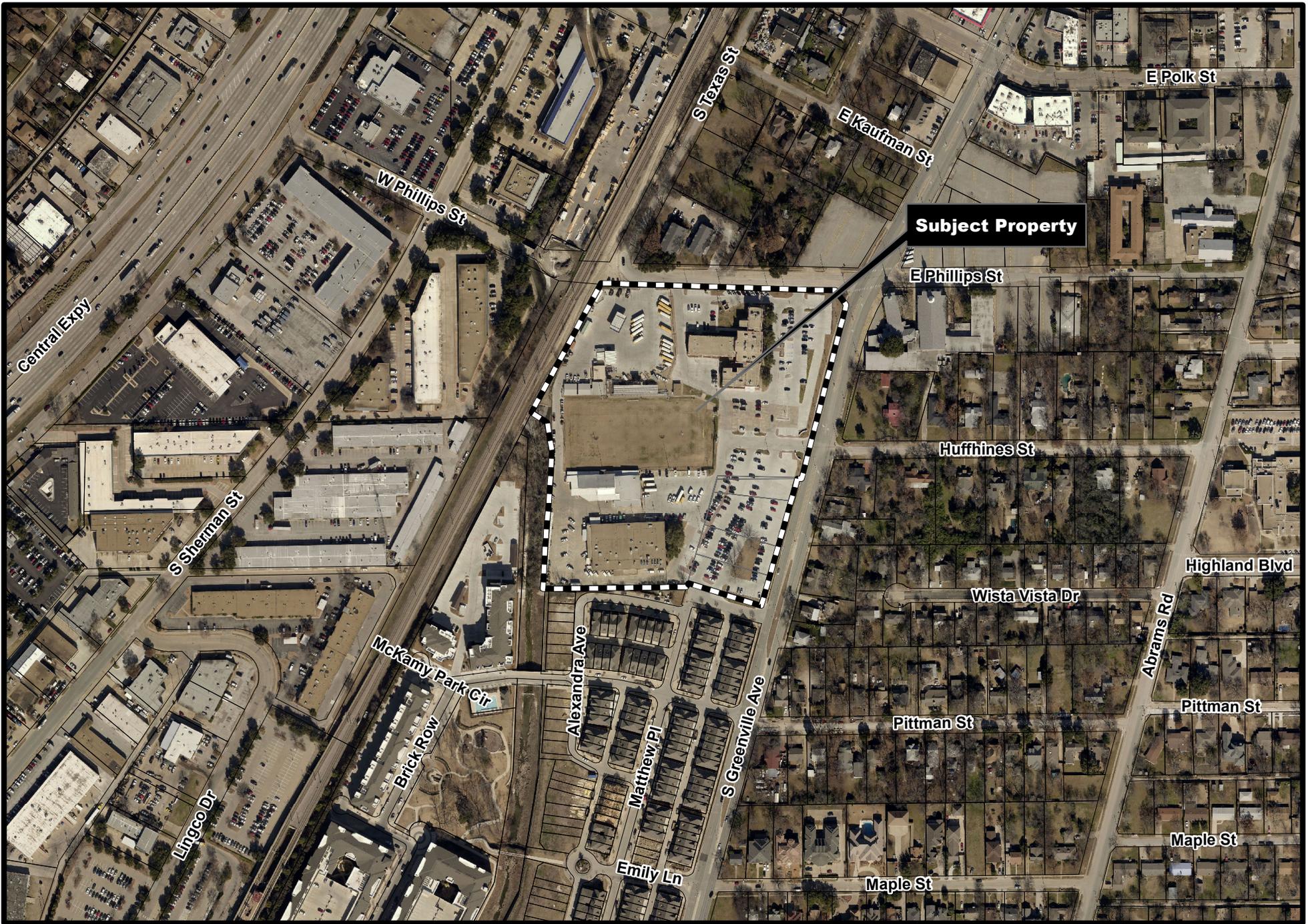
1. Provide additional landscape along the opening between the retaining wall/wood fence of the Brick Row townhomes and the District's chain link fence, at the southwest corner of the property.

Action Proposed The City Council may approve the request as presented, approve with conditions, or deny.

Variance 16-02
Richardson ISD Administration Campus

Attachments:

1. Locator
2. Staff Report
3. Variance Exhibit
4. Site Plan Aerial
5. Applicant's Statement
6. Site Photos
7. CPC Minutes from April 5, 2016
8. Notice of Variance Request
9. Notification List
10. Notification Map



VAR 16-02 R.I.S.D. Admin. Campus
400 S. Greenville Avenue



**CITY COUNCIL
BACKGROUND INFORMATION
May 9, 2016**

Variance 16-02

SUMMARY

| | |
|------------------------|--|
| Owner: | Richardson Independent School District |
| Applicant: | Robert Howman, Glenn Engineering |
| Project Name: | VAR 16-02 Richardson ISD Administration Campus |
| Location: | 400 S. Greenville Avenue Southwest corner of Greenville Avenue and Phillips Street |
| Request: | This is a request for approval of a variance to the City of Richardson Subdivision and Development Code, Chapter 21, Article III, Section 21-47(d), <i>Screening and Open Space</i> , to waive the requirement of a six-foot high masonry screening wall adjacent to the residential districts along the southern and western property lines of the Richardson Independent School District (District) Administration Campus. |
| Notification: | This request is not a public hearing and specific notification is not required by State Law. As a courtesy, adjacent property owners received written notification. |
| Correspondence: | To date, no written correspondence has been received. |
| CPC Action: | On April 5, 2016 the City Plan Commission unanimously recommended approval of the request with the following condition: <ol style="list-style-type: none">1. Provide additional landscape along the opening between the retaining wall/wood fence of the Brick Row townhomes and |

the District's chain link fence, at the southwest corner of the property.

DEVELOPMENT SUMMARY

Land Area: 13.204-acres (575,163 sq. ft)

Zoning: R-950-M Residential District and A-950-M Apartment District

Existing & Prop. Development:

| | |
|-----------------------------|-----------------------|
| Ex. Administration Building | 34,868 sq. ft. |
| Ex. Annex Building | 26,526 sq. ft. |
| Proposed Addition | <u>24,000 sq. ft.</u> |
| Total | 85,394 sq. ft. |

Adjacent Land Use/ Zoning:

| | |
|-----------|--|
| North | Apartments, single family homes, and a church parking lot; zoned A-950-M Apartment District |
| East | Single family homes; zoned R-950-M Residential District and Planned Development for R-2000-M Residential; and a church; zoned A-950-M Apartment District |
| South | Townhomes; zoned PD Planned Development |
| West | Apartments; zoned PD Planned Development |
| Northwest | DART Light Rail |

BACKGROUND INFORMATION

Background: The District proposes to construct a two story, 24,000 square foot Non-Traditional Program facility (high school) adjacent to the Administrative Annex Building at the southwest corner of the property. In addition, the District intends to make site improvements including the removal of service buildings, bus wash, canopies, the football field and the chain link fences along the south and west property lines. Other enhancements to the site include the installation of additional landscape, a connection to the Richardson Central Trail along the west side of the property, and the development of a Veterans Memorial near the trail connection.

Article III, Section 21-47(d) of the Subdivision and Development Code states that where a non-residential use backs or sides upon a residentially zoned property, a masonry wall, not less than six feet in height, is required to be constructed upon the non-residential property. Due to the proposed building expansion, the site is required to comply with the current development regulations. In this case, a six-foot high masonry wall is required to be constructed along the south property line adjacent to the Brick Row townhomes for a distance 408 feet, and along the western property line adjacent to the Brick Row apartments for a distance of 507 feet.

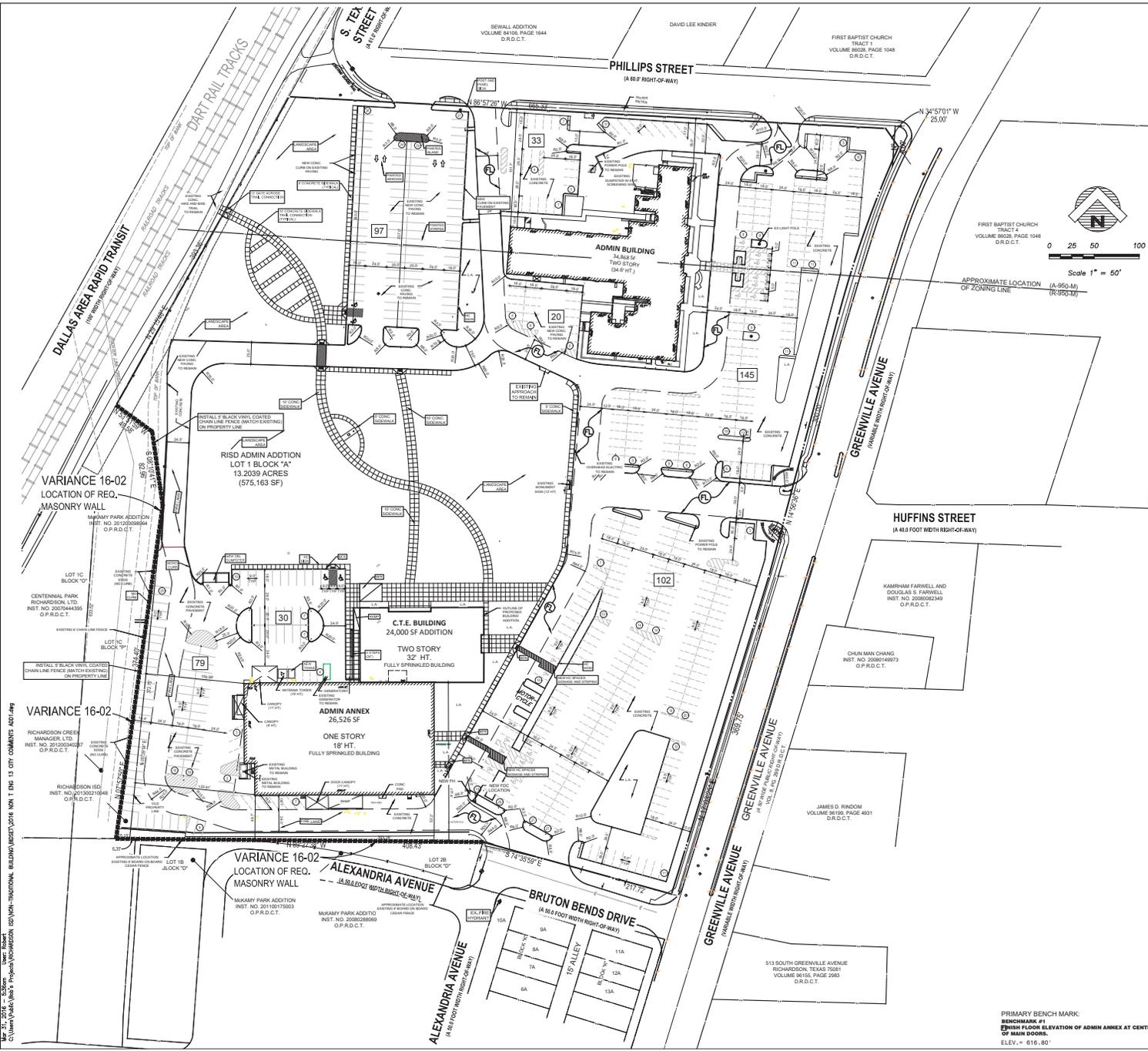
According to the applicant's statement, the District feels the installation of the screening wall presents security and safety concerns with students attending the school, by impeding visibility throughout the site. Along the south property line, there is an existing chain link fence on the District's property that is directly adjacent to a retaining wall with an eight-foot high wood fence constructed with the Brick Row townhome development. Along the west property line, there is an existing chain link fence and natural vegetation along the creek. The District intends to remove the chain link fences and construct a vinyl-coated chain link fence along the west property line and the south property line to tie into the retaining wall/wood fence. The District is not constructing a fence along the remaining south property line because there is an existing retaining wall and a wood fence constructed within the Brick Row development.

A list of the masonry screening wall variances approved by the City Council is attached. Four (4) cases allowed alternative screening methods in lieu of the required six-foot masonry wall; and five (5) cases waived the requirement, of which three (3) cases involved RISD schools.

Screening Wall Variance Summary

Sec. 21-47(d) In the event a nonresidential use backs or sides upon a residential, duplex, or apartment district, a masonry wall, not less than six feet in height, shall be constructed upon the nonresidential property.

| Variance | | Date | Project | Location | Approved |
|----------|-------|------------|-----------------------------------|--------------------------|---|
| 1 | 14-01 | 02-24-2014 | Dover Elementary School | 700 Dover Drive | Waived the required screening wall along the southern and western property lines. |
| 2 | 13-11 | 11-25-2013 | Richland Elementary School | 550 Park Bend Drive | Waived the required screening wall along the southern and eastern property lines. |
| 3 | 13-10 | 11-25-2013 | Mohawk Elementary School | 1500 Mimosa Drive | Waived the required screening wall along the northern property line. |
| 4 | 11-05 | 04-25-2011 | Bank of America | 3500 & 3510 Wyndham Lane | Allowed an eight foot high wrought iron fence in lieu of the required masonry wall along the south property line where adjacent to Fire Station #5. |
| 5 | 11-01 | 02-14-2011 | Stream Data Center | 1811 E. Renner Road | Allowed a six foot high wrought iron fence in lieu of the required masonry wall along the east property line, adjacent to Fire Station #5. |
| 6 | 10-01 | 04-12-2010 | First International Bible Church | 1233 E. Belt Line Road | Waived the required screening wall along the northern property line. |
| 7 | 09-04 | 08-10-2009 | Calvary Pentecostal Church | 725 W. Arapaho Road | Allowed the existing living screen with supplemental landscape materials in lieu of the required screening wall. |
| 8 | 07-03 | 06-11-2007 | Landscape Lighting Supply Company | 780 S. Floyd Road | Waived the required screening wall along the northern property line. |
| 9 | 06-06 | 07-24-2006 | Schell Elementary School | 5301 E. Renner Road | Allowed the existing living screen with supplemental landscape materials in lieu of the required screening wall. |

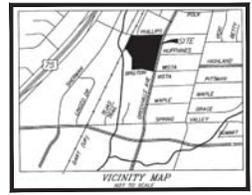


VARIANCE REQUEST:
 VARIANCE FROM THE MASONRY SCREENING FENCE REQUIREMENT ALONG THE SOUTH AND WEST PROPERTY LINE AND ALLOW EXISTING 8' CEDAR FENCING TO REMAIN ADJACENT TO THE SOUTH AND A NEW 5' BLACK VINYL COATED CHAIN LINK FENCE ALONG THE WEST.

SITE SUMMARY

| | |
|---|---------------------------------|
| ZONING | A-950-M & R-950-M |
| ORIGINATING NO. | 4698-A |
| SPECIAL CONDITIONS | NONE |
| USE | OFFICE - HIGH SCHOOL |
| LOT AREA | 13,2039 ACRES OR 575,163 SF |
| SETBACKS (GREENVILLE AVE. AND PHILLIPS ST.) | 30' STREETS |
| (ALONG SOUTH PROP. LINE) | 28' REAR 15' SDE |
| BUILDING AREA | |
| ADMINISTRATION BUILDING | 20,283 SF |
| 1ST FLOOR | 14,575 SF |
| 2ND FLOOR | 26,226 SF |
| ANNEX BUILDING | |
| PROPOSED ADDITION (CTE) | 12,000 SF |
| 1ST FLOOR | 12,000 SF |
| 2ND FLOOR | |
| TOTAL BUILDING AREA | 85,394 SF |
| TOTAL FLOOR AREA | 58,919 SF |
| EXISTING BUILDING HEIGHT | 32'-0" (1 STORY) |
| ADMINISTRATION BUILDING | 34'-0" (2 STORY) |
| ANNEX BUILDING | 18'-0" (1 STORY) |
| PROPOSED ADDITION (CTE) | 32'-0" (2 STORY) |
| ACCESSORY BUILDINGS | N/A |
| LOT COVERAGE | 10% |
| FAR (FLOOR AREA RATIO PROPOSED) | 0.15 : 1 |
| TOTAL PARKING (INC. HC EXISTING) | 458 SPACES |
| TOTAL PARKING (INC. HC PROPOSED) | 506 SPACES (490 + 16 HC SPACES) |
| LANDSCAPE AREA REQUIRED 10% | 57,516 SF |
| LANDSCAPE AREA PROVIDED 34.6% | 192,240 SF |
| PERCENT IMPERVIOUS COVER PROPOSED | 65.42% (374,411 SF) |

NOTE:
 ALL IMPROVEMENTS SHOWN ON THIS PLAN ARE FOR ILLUSTRATIVE PURPOSES ONLY. ANY NEW DEVELOPMENT IS SUBJECT TO SUBSEQUENT SITE AND LANDSCAPE APPROVAL.



OVERALL SITE PLAN LEGEND

| | |
|--|--------------------------------------|
| | PROPOSED CONCRETE SIDEWALK |
| | EXISTING CURB |
| | PROPOSED CURB |
| | PROPOSED HC PARKING SPACE & STRIPING |

VARIANCE EXHIBIT
RISD ADMINISTRATION CAMPUS
 400 SOUTH GREENVILLE AVENUE
 13,1394 ACRES SITUATED IN THE
 W.H. DYE SURVEY, ABSTRACT NO. 414
 CITY OF RICHARDSON, DALLAS COUNTY, TEXAS

ARCHITECT CORGAN ASSOCIATES, INC.
 401 HOUSTON STREET
 DALLAS, TEXAS 75202
 214.748.2090

OWNER RICHARDSON ISD
 400 SOUTH GREENVILLE AVE.
 RICHARDSON, TEXAS 75081
 469.595.0337

ENGINEER GLEN ENGINEERING CORP.
 T.B.P.E. FIRM REG. NO. F-303
 150 CRENSHAW, SUITE 300
 IRVING, TEXAS 75039
 972.713.9191

PRIMARY BENCH MARK:
 BENCHMARK #1
 2ND FLOOR ELEVATION OF ADMIN ANNEX AT CENTERS OF MAIN DOORS.
 ELEV. = 616.80'

CORGAN ASSOCIATES, INC.
 401 North Houston Street
 Dallas, Texas 75202
 Tel 214.748.2000
 Fax 214.653.0381

ISSUES

| | | |
|----|------------|-----------------------------|
| 01 | 03/14/2016 | DEMO, CIVIL & UTILITY ISSUE |
| 02 | 03/31/2016 | ADDENDUM #1 - CITY COMMENTS |
| 03 | | |
| 04 | | |
| 05 | | |
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REVISIONS

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The seal appearing on this document was authorized by Mike Glenn, P.E. 30059, on March 31, 2016.

RICHARDSON ISD
RISD ADMINISTRATION CAMPUS
 13,1394 - ACRE TRACT
 400 S GREENVILLE AVE.
 RICHARDSON, TEXAS 75081



VARIANCE EXHIBIT
 VAR 16-02

JOB 15042.0000
 DATE 03-14-2016
 SHEET

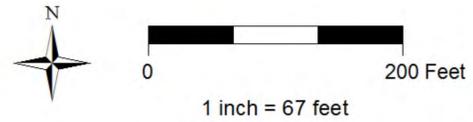
CS 1.0A

Date: 03/14/2016 10:58:00 AM User: Robert
 C:\Users\Robert\Public\Projects\Richardson ISD\WMA-TRADITIONAL BUILDING\BIBSET\VAR16-02 VAR 16-02 CITY COMMENTS ADD.dwg



VARIANCE REQUEST:
VARIANCE FROM THE REQUIRED 6' HT. MASONRY WALL
ALONG THE WEST AND SOUTH PROPERTY LINE

VAR 16-02
RISD Administration Campus
400 S. Greenville Avenue





RICHARDSON INDEPENDENT SCHOOL DISTRICT
FACILITY SERVICES DEPARTMENT

Unlock Potential · Provide Opportunities · Enable Dreams

City of Richardson
411 W. Arapaho Rd
Richardson, TX 75080-4551
Attn: Development Services

Re: Variance for a Masonry Screening Wall
RISD Administration @ 400 S. Greenville Avenue

Richardson Independent School District is requesting the City of Richardson's consideration of a variance to the requirement for a 6' high masonry fence between their site and the adjoining residential developments to the south and west sides of the property.

The school district is proposing to redevelop the 400 S. Greenville site. We are planning construction of a Non-Traditional Program facility at the existing Administrative Annex building. Included in this project is a proposed tie into the Richardson Central Trail at the west side of the RISD campus. Additionally, the District is planning the development of a Veteran's Memorial on district property near the trail connection. The required 6' screen structure would negate the planned synergy of open space on the RISD campus and the city trail system by blocking public trail access. The south side of the subject RISD property is presently screened by an existing stone retaining wall and wood fence. Removal of the district's security fencing along this boundary will allow access for RISD grounds to maintain the space currently trapped between two fences. The addition of a new 6' masonry fence in this area would re-create this in-accessible no-man's area, impeding visibility and generating safety concerns.

Thank you for your careful consideration of the variance request.

Sincerely,

A handwritten signature in blue ink that reads "MICHAEL LONGANECKER" followed by a horizontal line.

Michael Longanecker AIA
Executive Director - Facilities



Brick Row townhomes wood fence



RISD chain link fence
(To be removed)







(3)

Looking north toward the existing vegetation along the creek



(4)

Looking east toward the vegetation along the creek from Brick Row Apartments

CPC Minutes from April 5, 2016:

Variance 16-02 – Richardson ISD Administration: Consider and take necessary action on a request for a variance from Chapter 21, Subdivision and Development Code, Article III, Section 21-47(b), Screening and Open Space, for a waiver to the masonry screening requirement for a nonresidential use abutting a residential use. The site is located at 400 S. Greenville Avenue.

Mr. Bireima advised the applicant was requesting to waive the requirement of a six-foot high screening wall along the southern and western property lines at 400 S. Greenville Avenue, which is the site of the current Richardson Independent School District (RISD) Administration office.

Mr. Bireima explained that RISD was planning to construct a 24,000 square foot, two-story building for a non-traditional high school adjacent to their administration offices while removing portable buildings, a bus wash, a canopy structure and the football field. He added the district would be installing additional landscaping and a connection to the Richardson Central Trail.

Mr. Bireima stated there was currently a chain link fence on the south side backing up to an 8-foot wood fence constructed by the Brick Row townhomes development, as well as a chain link fence along the western property line supplemented by heavy vegetation. He noted that the chain link fence would be updated with a vinyl-coated chain link fence.

Commissioner DePuy asked where the access to the Central Trail would be located and Mr. Bireima replied the fence would have a gate leading to the trail.

Commissioner Roland asked if the small, open section of land between the end of the wood fence and the aluminum fence next to the creek would have a solid surface fence to screen the vehicles in that area.

Mr. Bireima replied the existing vegetation would screen the vehicles in addition to the chain link fence. He also suggested that the Commission could require additional screening from the applicant when the motion was made.

Mr. Robert Howman, Glenn Engineering, 105 Decker Court, Suite 910, Irving, Texas, stated it was the district's intent to remove the carport, the razor wire, and miscellaneous items from along the fence and then convert the area to parking for RISD employees. He also said that section of the chain link fence would be taken down and more landscaping would be added to the area.

Motion: Commissioner Roland made a motion to recommend approval of Variance 16-02 with the supplementary condition of additional landscaping along the opening between the retention wall for the Brick Row Townhomes and the fence line of the school district on the southwest corner of the property; second by Commissioner Maxwell. Motion approved 7-0.



Notice of Variance Request

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for variances to Chapter 21, Subdivision and Development Ordinance.

File No./Name: VAR 16-02/ R.I.S.D. Administration Campus
Property Owner: Richardson Independent School District
Applicant: Robert Howman, Glenn Engineering
Location: 400 S. Greenville Avenue
Request: Approval of a request for a variance from the City of Richardson Subdivision and Development Code, Article III, Section 21-47(d), to waive the requirement of a six-foot tall masonry screening wall along the southern and western property lines abutting residential uses.

The City Plan Commission will consider this request on:

TUESDAY, APRIL 5, 2016
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

As courtesy, adjacent property owners who may be affected by this request are receiving written notification of this meeting; as such ownership appears on the last approved city tax roll.

PROCESS FOR PUBLIC INPUT: This item is not a public hearing and specific notification is not required by State law.

While all interested persons are invited to attend the meeting, those wanting their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Development Services Department, P.O. Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

AGENDA: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday prior to the meeting. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>

For additional information, please contact the Department of Development Services at 972-744-4240 and reference this variance number.

Date Posted and Mailed: March 25, 2016

BROWN BARBARA J LTD
524 S GREENVILLE AVE
RICHARDSON, TX 75081-4109

DO MICHAEL D & THUYANH THI LTD
234 ALEXANDRA AVE
RICHARDSON, TX 75081-4997

HUANG SHIHCHING SALLY LTD
230 ALEXANDRA AVE
RICHARDSON, TX 75081-4997

CENTENNIAL PK RICHARDSON
5956 SHERRY LN STE 1200
DALLAS, TX 75225-8023

CHEUNG CHIU MING & LUCY M
1319 SILVER MAPLE DR
CARROLLTON, TX 75007-1037

NGUYEN HOA LTD
222 ALEXANDRA AVE
RICHARDSON, TX 75081-4997

BHUYAN SMRITI LTD
523 MATTHEW PL
RICHARDSON, TX 75081-5050

ZAMAN QAMARUZ & SAJEDA LTD
214 ALEXANDRA AVE
RICHARDSON, TX 75081-4997

ZIVEC NORMA B LTD
210 ALEXANDRA AVE
RICHARDSON, TX 75081-4997

OVERTON VIVIAN S LTD
206 ALEXANDRA AVE
RICHARDSON, TX 75081-4997

MA QING CAI LTD
202 ALEXANDRA AVE
RICHARDSON, TX 75081-4997

CENTENNIAL PK RICHARDSON
5956 SHERRY LN STE 1200
DALLAS, TX 75225-8023

CENTENNIAL PK RICHARDSON
5956 SHERRY LN STE 1200
DALLAS, TX 75225-8023

TAN KELVIN & JENNY ZHI LIU LTD
218 ALEXANDRA AVE
RICHARDSON, TX 75081-4997

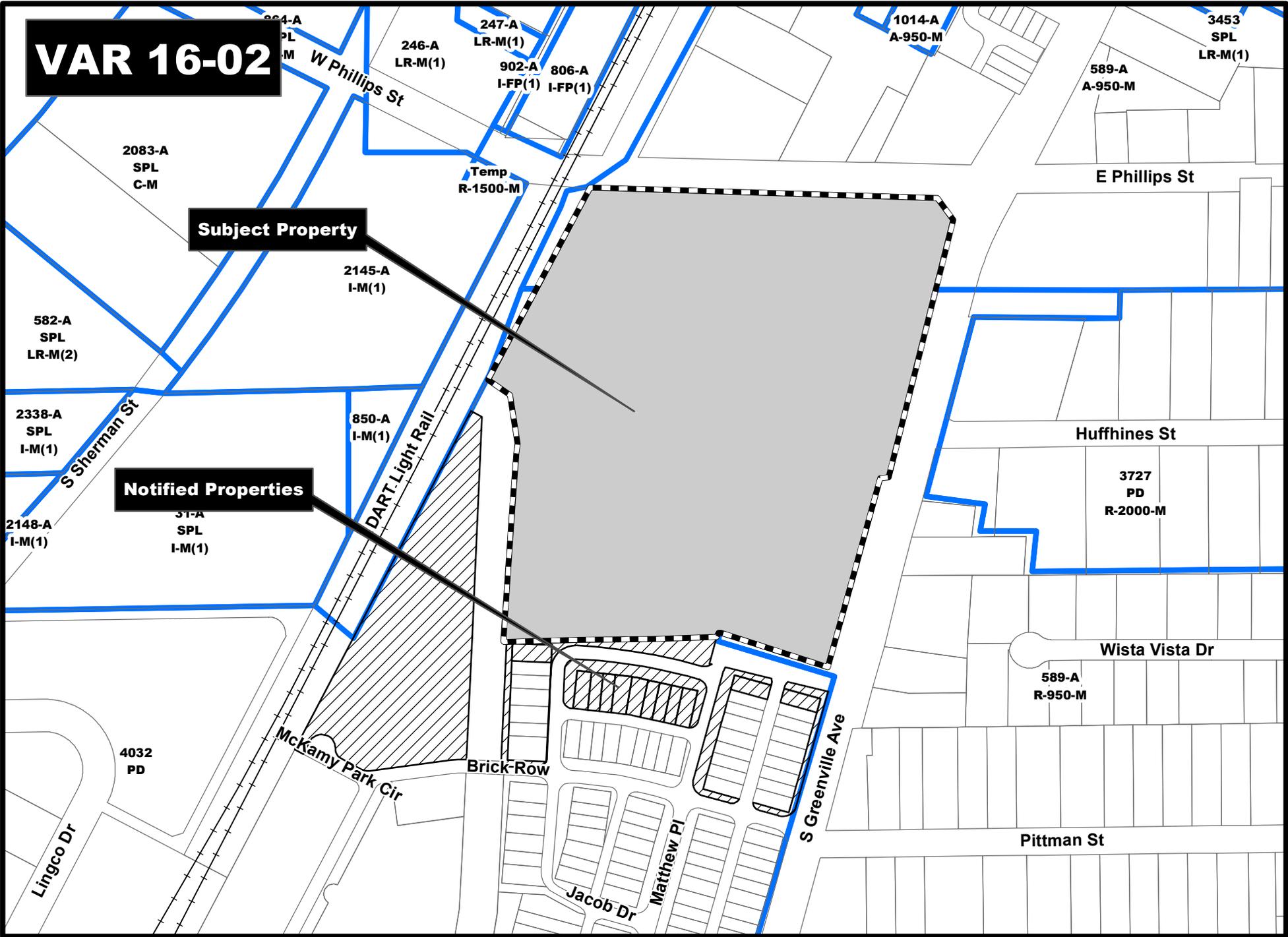
CENTENNIAL PK RICHARDSON
8750 N CENTRAL EXPWY STE 80
DALLAS, TX 75231

CENTENNIAL PK RICHARDSON
5956 SHERRY LN STE 1200
DALLAS, TX 75225-8023

RUSSO DANIEL PAUL
526 ALEXANDRA AVE
RICHARDSON, TX 75081-5089

V 16-02

VAR 16-02



VAR 16-02
400 S. Greenville Avenue



**CITY OF RICHARDSON
SIGN CONTROL BOARD MINUTES – MAY 4, 2016**

Ms. Dorthy McKearin, Chair, called a regular meeting of the Sign Control Board to order at 6:25 p.m. on Wednesday, May 4, 2016, at the Civic Center Council Chamber, 411 W. Arapaho Road, Richardson, Texas.

MEMBERS PRESENT: DORTHY MCKEARIN, CHAIR
 CHIP IZARD, VICE CHAIR
 CHARLES WARNER, MEMBER
 ALICIA MARSHALL, MEMBER
 SCOTT PETTY, ALTERNATE
 SEBRENA BOHNSACK, ALTERNATE

MEMBERS ABSENT: MUHAMMAD Z. IKRAM, MEMBER

CITY STAFF PRESENT: STEPHANIE JACKSON, BUILDING INSPECTION MGR.
 STEPHEN PAPANIA, BUILDING INSPECTOR

Ms. McKearin stated there is a quorum present.

Mr. Izard made a motion to approve the minutes of the April 6, 2016 meeting. The motion was seconded by Mr. Warner and it carried unanimously.

SCB CASE #16-06 TO CONSIDER THE REQUEST OF CANYON CREEK ELEMENTARY SCHOOL FOR A VARIANCE TO THE CITY OF RICHARDSON CODE OF ORDINANCES, CHAPTER 18, ARTICLE III, SECTION 18-96(8)(F)(2) TO ALLOW FOR THE DIGITAL DISPLAY ON THE MONUMENT SIGN TO CHANGE COPY ONCE EVERY 2 MINUTES IN A RESIDENTIAL ZONED DISTRICT ON THE PROPERTY AT 2100 COPPER RIDGE DR.; AND TAKE APPROPRIATE ACTION.

Ms. McKearin opened the Public Hearing and Ms. Jackson introduced the request of Canyon Creek Elementary School for a variance to the City of Richardson Code of Ordinances, Chapter 18, Article III, Section 18-96(18)(F)(2) to allow for the digital display on the monument sign to change copy once every 2 minutes in a residential zoned district on the property at 2100 Copper Ridge Dr. A power point presentation was shown for review.

Ms. McKearin asked if a representative of Canyon Creek Elementary School was present.

Ms. Julie Hughes, 2014 Sage Valley Dr., Richardson TX, the representative of Canyon Creek Elementary PTA stated that she was the former president of the PTA and that she was at the meeting with other PTA members to ask the Board to allow for the existing monument sign to change copy more frequently. Ms. Hughes stated that the new digital display on the sign has helped them to reach out to the community this year.

Ms. Hughes stated that when the monument sign was built the school was unaware of the City ordinance that limited the digital display to one change every ten minutes. Ms. Hughes stated that the school reprogrammed the sign as soon as they were notified that it was in violation of the ordinance and it is

now in compliance. Ms. Hughes stated that before they were notified of the ordinance the sign was displaying three or four messages every two minutes.

Ms. Hughes stated that during drop off and pick up of students the school is able to use the sign as a way to communicate with parents while they are waiting. Ms. Hughes stated that it takes about two minutes to travel through the drop off and pick up lane and approximately six minutes for parents that park and walk to pick up their children. Ms. Hughes stated that requiring the digital display to be static for ten minutes limits the amount of messages they can communicate to the parents.

Ms. Hughes stated that if they were able to change the message every two minutes it would allow them to display happy birthday messages, encouraging messages to students during testing, school related announcements, and similar information. Ms. Hughes stated that the sign is a tool that can enhance the educational experience for the students, parents, and neighborhood, and this sets them apart from businesses in the City with digital signs.

Mr. Izard stated that there was a petition submitted in favor of the requested variance with 40 signatures from the neighborhood and parents of students. Mr. Izard asked Ms. Hughes if she had received any feedback from the neighborhood that was against the requested variance. Ms. Hughes stated that she had not received any negative feedback regarding the request.

Ms. McKearin referred to an overhead picture of the school and the monument sign. Ms. McKearin stated that the sign was located in the path of the school's carpool lane where drivers go by it while they are waiting in line. Ms. McKearin asked if the parents would even be able to see all of the messages were it to change every two minutes. Ms. Hughes stated that parents drive in from both directions and the sign is visible to them from the north and from the south. Ms. Hughes stated that a change in message every two minutes enable most drivers would to see at least two messages while they are waiting in the morning and two or three messages in the afternoon.

Mr. Petty asked what the direction of travel was in the carpool lane. Ms. Hughes stated that drivers enter from the south and travel north. Mr. Petty asked if the opportunity for the driver to see the sign ends as they get in front of the school. Ms. Hughes stated that was correct, but a lot of drivers enter from Aspenwood and turn onto Copper Ridge or they come from the south and north on Copper Ridge. Ms. Hughes stated that there are also a lot of parents who live in the neighborhood and walk their children to school.

Ms. Marshall stated that the reason given for the request was to provide the community information related to the school, such as closures, registration, activities, and other important public notices. Ms. Marshall asked if there were any examples of public notices that may not relate to the school that would be posted on the sign. Ms. Hughes stated that they have never posted anything that was not related to the school.

Ms. Elaina Berry, a representative of the Canyon Creek PTA, stated that an example of a public notice would be to notify the public if the school was on lock down. Mr. Petty asked if the school had ever been locked down. Ms. Hughes stated that the school has been on lock down before but not since they have had the monument sign.

Ms. Marshall asked how long the school has had the sign and if the messages had already been changing every two minutes. Ms. Hughes stated the sign was installed in September and that the messages on the sign were changing every 20 to 30 seconds. Ms. Bohnsack asked how many messages were displayed throughout the message cycle on the display. Ms. Hughes stated they currently run approximately one to four messages a day.

Mr. Warner stated that he was sympathetic to the school's request, because he drops his grandchildren off at school every morning and he has trouble keeping up with all of the school's activities and announcements. Mr. Warner stated that he thinks it is important for parents to be as informed as possible.

Ms. McKearin stated that she was sympathetic to the school's request, but a precedent is set for other schools and businesses in the City if the variance is granted. Ms. McKearin stated that it would be very difficult to deny other applicants with similar requests. Ms. Hughes stated that the needs of schools are unique and different from that of businesses and that this should be considered by the Board.

Mr. Petty stated that he understood the school's perspective regarding the variance, but granting the variance could have implications for every school and business in the City of Richardson. Mr. Petty stated that Richardson High School on Belt Line Rd has a similar digital sign and that it would be very hard to grant a variance to Canyon Creek Elementary and then deny a similar request to Richardson High. Mr. Petty stated that the school was not requesting the variance on the basis of a hardship unique to the school which would prevent them from complying with the ordinance, but instead they were asking for an exception to public policy. Mr. Petty stated that maybe the ordinance should be reviewed by City Council and changed if necessary, but it was not appropriate to do it through a variance through the Sign Control Board.

Ms. Hughes stated that digital messaging is new and the uniqueness of a school utilizing this sign type should be considered by the Board. Mr. Petty stated that he felt that this situation was not a unique hardship that applied only to Canyon Creek Elementary and that policy change through the City Council was a more appropriate forum to address the issue.

Mr. Warner stated that the petition that was submitted by the applicant supports Ms. Hughes argument that the ordinance should be changed.

Ms. Elyzabeth Worlein, 2112 Flat Creek Dr., Richardson, TX, the Vice President of the Ways and Means Committee of the Canyon Creek PTA, stated that she agreed with Mr. Petty that the ordinance should be reviewed by City Council. Ms. Worlein stated that the Richardson Independent School District and homeowners submitted letters in support of the variance request.

Ms. Worlein stated that the sign is an additional way for the school to reach out to parents and the community. Ms. Worlein stated that the sign was an enormous expense for the school and that the PTA had to do many hours of fundraising to pay for it. Ms. Worlein stated that the new sign enhances the community and that having two minutes between changes in message is a reasonable request.

Ms. Marshall asked if the applicant was aware of the ten minute static message requirement before they had the sign built. Ms. Worlein stated that they were not aware of this rule until after the sign was built and they were notified by the City.

Ms. McKearin closed the public hearing and asked for questions or comments from the Board.

Mr. Izard moved to approve SCB Case #16-06. Mr. Warner seconded the motion and it failed 4 to 1.

Ms. Marshall moved to adjourn the Hearing. Mr. Warner seconded the motion and it carried unanimously.

There being no other business before the Board, the meeting was adjourned at 6:43 p.m.

DORTHY MCKEARIN, CHAIR

ORDINANCE NO. 4165

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING FROM PD PLANNED DEVELOPMENT FOR C-M COMMERCIAL USES TO PD PLANNED DEVELOPMENT FOR PATIO HOMES FOR 2.44 ACRES GENERALLY LOCATED AT THE SOUTHWEST CORNER OF CITYLINE DRIVE AND FOXBORO DRIVE, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 16-02).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended so as to grant a change in zoning from PD Planned Development for C-M Commercial uses to PD Planned Development for Patio Homes for 2.44 acres generally located at the southwest corner of CityLine Drive and Foxboro Drive, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That the change in zoning for the property to PD Planned Development for Patio Homes is hereby granted subject to the following development conditions:

That the above described property shall be used and developed in accordance with the Development Standards attached hereto as Exhibit “B” and the Concept Plan attached as Exhibit “C”, incorporated herein for all purposes.

SECTION 3. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars

(\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 9th day of May, 2016.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:4-22-16:TM76598)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 16-02

BEING a tract of land situated in the F.J. Vance Survey, Abstract No. 939, in the City of Richardson, Collin County, Texas, and being all of Lot 5B, Block B of Galatyn Park North Lots 5B & 6, Block B, an addition to the City of Richardson, Collin County, Texas, according to the Plat thereof recorded in Instrument No. 20150617010002130 of the Official Public Records of Collin County, Texas.

EXHIBIT “B”
Centre Living Homes – CityLine

1. BASE ZONING

RP -1500-M Patio Home District.

2. USE REGULATIONS

The development and use of the property shall be subject to the regulations set forth herein and shall not be governed by the development regulations of the RP-1500-M patio District regulations.

3. PERMITTED USES

The only permitted use shall be Single-family (Detached) dwellings.

4. BUILDING REGULATIONS

a. Minimum size (principle building):

1,500 square feet (excluding garages, breezeways and covered patios).

b. Type of materials:

All building exterior facades, excluding doors, windows, breezeways and courtyards, of single-family residential structures shall have at least seventy-five (75%) percent masonry material. Exterior walls facing a porch or patio shall be included in the total wall area calculation for purposes of this article. Chimneys for newly constructed single-family structures or additions to existing dwellings shall be of 100 percent (100%) exterior masonry material. No one wall may be less than fifty percent (50%) masonry material unless said wall is on a porch, patio, courtyard, or breezeway; in which event, said wall may be of non-masonry material.

5. HEIGHT REGULATIONS

a. Principal building: Maximum fifty-five (55) feet.

b. Accessory building: Maximum twelve (12) feet.

6. AREA REGULATIONS

a. Minimum Lot Area: 1,800 square feet.

b. Minimum Lot Width: Thirty (30) feet.

- c. Minimum Lot Depth: Sixty (60) feet.
- d. Maximum Lot coverage: Eighty (80%) percent (excluding breezeways and covered patios).
- e. Minimum Front Setback:
 - i. Along CityLine Drive: Ten (10) feet.
 - ii. Along Foxboro Drive: Five (5) feet.
 - iii. For lots along the common property lines adjacent to the commercial use to the west: Zero (0) feet.

Exception: Non-enclosed porches, fireplaces, eaves, bays, and balconies may extend into the required front yard setback a maximum of four (4) feet along CityLine Drive and five (5) feet along Foxboro Drive.

- f. Side setback:
 - i. Adjacent to a street: Minimum ten (10) feet.
 - ii. One side of a building shall be built on the property line, herein designated as the “zero side” for no less the sixty percent (60%) of the lot length.

Buildings must be separated by a minimum distance of three (3) feet. A minimum three (3) foot wide maintenance easement shall be dedicated opposite, but adjacent to the “zero side” yard adjacent to a residential lot to allow for property owner maintenance. An easement for the benefit of each lot is hereby reserved over, across, and upon each lot adjoining to such lot for roof overhangs not exceeding two (2) feet in width.

A gutter and downspout shall be required along the “zero side” of the dwelling to ensure drainage is handled on the owner’s property and said gutter system shall not be included in the calculation of the eave encroachment. Said gutter shall be tied into a subsurface drain (pop-up) that discharges behind the sidewalk.

- iii. No side setback shall be required from an interior side lot line for mechanical equipment (e.g. air conditioning units) or an uncovered porch or patio.
- g. Minimum rear yard: Zero (0) feet; however, a maximum eighteen (18) inch encroachment into the street easement shall be allowed for second story projections and eaves.

7. PARKING REGULATIONS

- a. Two off-street parking spaces, accessible from a driveway constructed of an approved parking surface, shall be provided on the lot in an enclosed garage structure behind the front building line to accommodate two motor vehicles for each dwelling unit. The garage may be either attached to or detached from the principal building.

- b. Guest parking shall be provided at a minimum ratio of 0.25 spaces per dwelling unit. Guest parking may be located on CityLine Drive, Foxboro Drive and/or in designated off-street parking areas. It is intended that guest parking be located conveniently and dispersed throughout the project so as to best serve residents and their guests.

8. LANDSCAPING, SCREENING AND ENTRY MONUMENTS

a. Landscaping:

- i. Along CityLine Drive: A 10-foot landscape and pedestrian easement shall be provided within the property lines. The easement shall include a six (6) foot sidewalk located behind the adjacent on-street parking.
- ii. Along Foxboro Drive: A six (6) foot sidewalk shall be provided. An equivalent of one (1) tree per thirty-five (35) linear feet of public street frontage shall be installed.

In the event that on-street parallel parking is constructed and provided along the west side of Foxboro Drive, a six (6) foot sidewalk shall be provided behind the adjacent on-street parking. An equivalent of one (1) tree per thirty-five (35) linear feet of public street frontage shall be installed, said plantings shall be installed between the street curb and sidewalk where on-street parking is not provided and in parking space bulb-outs where provided.

- iii. A five (5) foot sidewalk shall be installed within the Common Area Lots as depicted on Exhibit "C" and be accessible from the front of the adjacent homes. The Common Area Lots shall include landscaping consisting of trees, shrubs or other plantings.

An underground irrigation system shall be required, and the installation of this system, the landscaping and sidewalk shall be the responsibility of the subdivision developer. Responsibility for maintenance of the landscaping shall be by the HOA.

b. Screening:

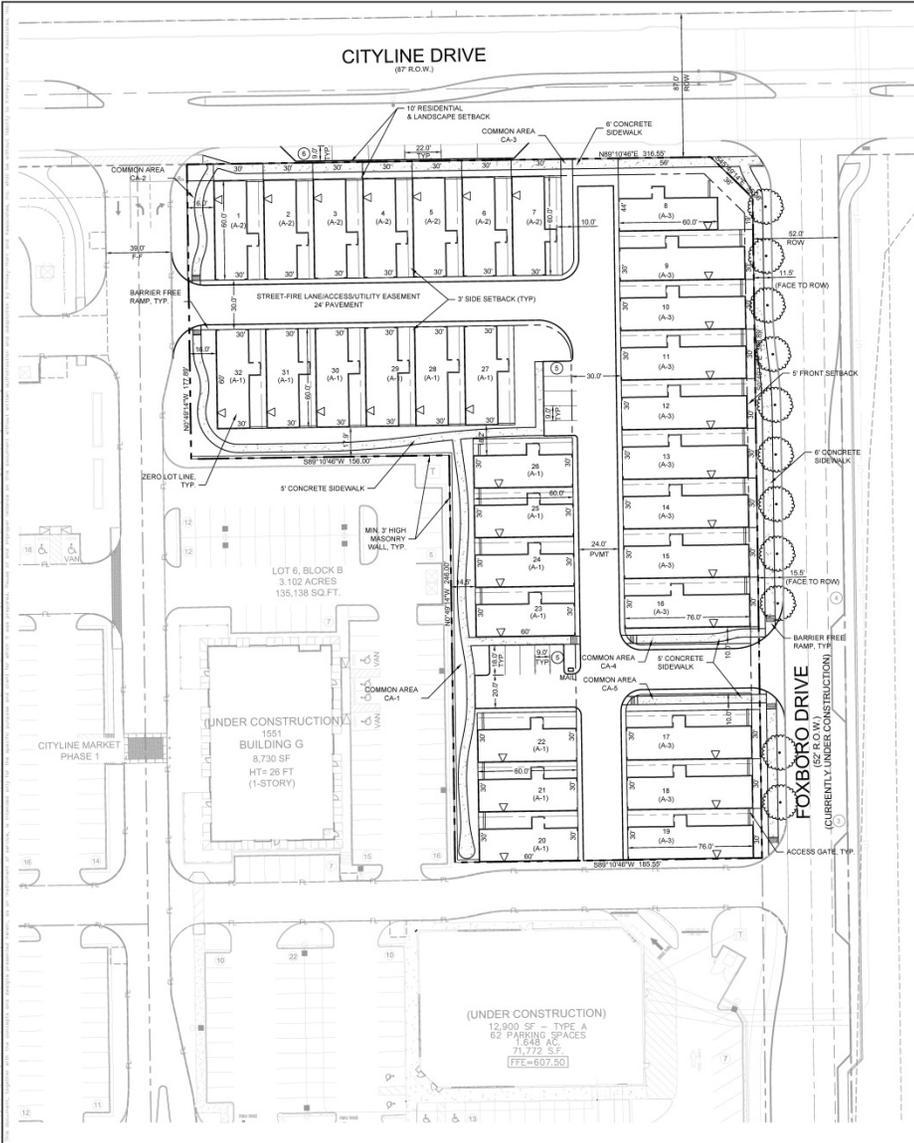
- i. Along the common property lines adjacent to the commercial use on the west, the developer shall provide screening from vehicle headlights. The screening shall consist of a minimum three (3) foot high masonry screen wall with or without fencing; and shall include canopy trees and/or ornamental trees. Gated or non-gated openings shall be allowed along said screening wall for pedestrian connections to and from the development.

c. Entry Monuments

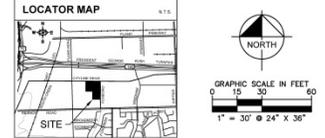
- i. Entry monuments shall be set back a minimum of three (3) feet from any property line; however, no entry monument may encroach within any easement or visibility/sight triangle.

9. SPECIAL STANDARDS

- a. The finished floor elevation of each residential unit shall be a minimum of eighteen (18) inches above the front sidewalk along CityLine Drive, Foxboro Drive and Common Area C-1 as depicted on Exhibit "C".
- b. **Garage Doors:** Garage doors shall be contemporary style doors constructed of anodized metal finish with either anodized metal or glass panels, or stained wooden doors.
- c. No lot containing a dwelling unit may contain any accessory building(s) or structures with the exception of arbors, pergolas, decks, planters, above ground spas or trellises. Outdoor fireplaces and/or outdoor kitchens are allowed; provided that they have proper screens and covers to contain sparks and embers from escaping. Said structures may be either attached or detached and may have rear and side setbacks of zero (0) feet provided, that no such structure is located within any maintenance easement adjacent to the rear or side property line.
- d. All lots shall front onto a dedicated public street with the exception of the lots along the common property lines adjacent to the commercial use to the west as depicted on Exhibit "C", which may front onto a minimum thirty (30) foot wide dedicated street easement.
- e. The developer/owner of the property shall at its costs cause all electrical, telecommunication and street lighting (lateral and/or service distribution) lines and wires to be placed underground.
- f. A mandatory Home Owners' Association (HOA) shall be established in accordance with Chapter 21, Subdivision of Development Code, Section 21-57 of the City of Richardson Code of Ordinances, as amended, and shall contain a provision providing notice to lot owners and for builders to post a notice in all model homes and sales office, that the property is adjacent to non-residential uses with associated impacts (i.e., lighting, noise and odor). Said Association documents shall be submitted to the City for review and approval prior to approval of the preliminary plat for the property.
- g. For purposes of this planned development district and the development and performance standards in the City's Comprehensive Zoning Ordinance, this planned development district shall not be considered a residential district or apartment zoning district.

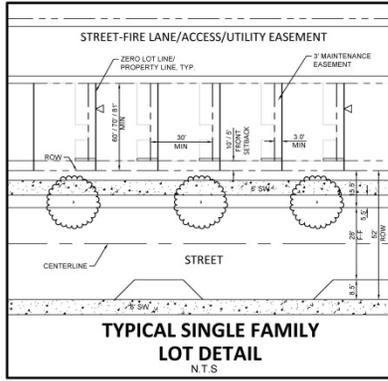


| LOT AREA TABLE | | |
|----------------|-----------|-----------|
| LOT NUMBER | AREA (AC) | AREA (SF) |
| 1 | 0.05 | 2100 |
| 2 | 0.05 | 2100 |
| 3 | 0.05 | 2100 |
| 4 | 0.05 | 2100 |
| 5 | 0.05 | 2100 |
| 6 | 0.05 | 2100 |
| 7 | 0.05 | 2100 |
| 8 | 0.07 | 3260 |
| 9 | 0.06 | 2430 |
| 10 | 0.06 | 2430 |
| 11 | 0.06 | 2430 |
| 12 | 0.06 | 2430 |
| 13 | 0.06 | 2430 |
| 14 | 0.06 | 2430 |
| 15 | 0.06 | 2430 |
| 16 | 0.06 | 2430 |
| 17 | 0.06 | 2407 |
| 18 | 0.05 | 2420 |
| 19 | 0.05 | 2420 |
| 20 | 0.04 | 1800 |
| 21 | 0.04 | 1800 |
| 22 | 0.04 | 1800 |
| 23 | 0.04 | 1800 |
| 24 | 0.04 | 1800 |
| 25 | 0.04 | 1800 |
| 26 | 0.04 | 1800 |
| 27 | 0.04 | 1800 |
| 28 | 0.04 | 1800 |
| 29 | 0.04 | 1800 |
| 30 | 0.04 | 1800 |
| 31 | 0.04 | 1800 |
| 32 | 0.04 | 1800 |
| CA-1 | 0.23 | 9909 |
| CA-2 | 0.03 | 1137 |
| CA-3 | 0.01 | 469 |
| CA-4 | 0.02 | 737 |
| CA-5 | 0.02 | 728 |



| LOT SUMMARY | | |
|-------------|-----------|----------|
| LOT TYPE | SIZE | QUANTITY |
| (A-1) | 30' X 60' | 13 (41%) |
| (A-2) | 30' X 70' | 7 (22%) |
| (A-3) | 30' X 81' | 12 (37%) |

| PROJECT SUMMARY | |
|---|--|
| AREA | |
| TOTAL AREA | 105,406 S.F. or 2.44 Acres |
| ZONING | |
| EXISTING ZONING | PD PLANNED DEVELOPMENT NO. 3893 |
| PROPOSED ZONING | PD PLANNED DEVELOPMENT |
| MAXIMUM OVERALL DENSITY | 14 DWELLING UNITS PER GROSS ACRE |
| MAXIMUM RESIDENTIAL LOTS | 32 LOTS PROVIDED |
| MINIMUM LOT AREA | 1,800 S.F. |
| MAXIMUM LOT COVERAGE | 80% (EXCLUDING BREEZEWAYS AND COVERED PATIOS) |
| MINIMUM LIVING AREA | 1,500 S.F. (EXCLUDING GARAGES, BREEZEWAYS, AND COVERED PATIOS) |
| MAXIMUM BUILDING HEIGHT | 55 FEET |
| MINIMUM LOT WIDTH | 30 FEET |
| MINIMUM LOT DEPTH | 60 FEET |
| MINIMUM FRONT SETBACK | 10 FEET FROM CITYLINE DRIVE |
| | 5 FEET FROM FOXBORO DRIVE |
| MINIMUM INTERIOR SIDE SETBACK | 3 FEET ON EACH SIDE OF LOT |
| MINIMUM CORNER LOT SIDE SETBACK | 10 FEET ON SIDES ADJACENT TO A STREET |
| PARKING | |
| PARKING RATIO PER PATIO HOME ZONING | 2.00 TOTAL GARAGE ENCLOSED SPACES PER UNIT |
| | 0.25 VISITOR SPACES PER UNIT |
| REQUIRED NON-VISITOR PARKING (# SPACES) | 64 |
| PROVIDED NON-VISITOR PARKING (# SPACES) | 64 |
| REQUIRED VISITOR PARKING (# SPACES) | 8 |
| PROVIDED VISITOR PARKING (# SPACES) | 16 |



| | |
|--|---|
| DATE | BY |
| REVISIONS | |
| Kimley-Horn | |
| <small>© 2016 KIMLEY-HORN AND ASSOCIATES, INC. 17250 METRY DRIVE, SUITE 1000, DALLAS, TEXAS 75251 PHONE: 972.968.8800 FAX: 972.968.8802 WWW.KIMLEY-HORN.COM</small> | |
| LOT 5B, BLOCK B CITYLINE RESIDENTIAL 2.44 ACRES | <small>TXAS PROJECT 05/14/2020 FEBRUARY, 2016 SCALE AS SHOWN DRAWN BY: MJD CHECKED BY: HAC DESIGNER BY: MJD</small> |
| Richardson Exhibit "C" Part of Ordinance | |
| APPLICANT CENTRE LIVING HOMES 2701 HEBERNA STREET DALLAS, TX 75204 PH: (214) 232-2880 CONTACT: TREVOR BRICKMAN | |
| SHEET NUMBER | |

RESOLUTION NO. 16-12

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, REAPPOINTING GARY A. SLAGEL TO THE AGGREGATED POSITION OF REPRESENTATIVE TO THE DALLAS AREA RAPID TRANSIT AUTHORITY (“DART”) BOARD OF DIRECTORS, WHICH FRACTIONAL ALLOCATION MEMBERSHIP IS SHARED WITH THE CITY OF UNIVERSITY PARK AND THE TOWNS OF ADDISON AND HIGHLAND PARK; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Texas Transportation Code, Section 452.573, authorizes cities having a fractional allocation for board membership to aggregate their populations in order to appoint a member of the board of the rapid transit authority; and

WHEREAS, the City of Richardson, the City of University Park, and the Towns of Addison and Highland Park have mutually agreed to aggregate population for the selection of a Dallas Area Rapid Transit Authority Board Member; and

WHEREAS, Gary A. Slagel is presently serving in the aggregated position of representative to the DART Board of Directors;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the City of Richardson, Texas, hereby reappoints Gary A. Slagel as a member of the DART Board of Directors to serve a two (2) year term ending July 1, 2018.

SECTION 2. That the City of University Park and the Towns of Addison and Highland Park having concurred, the City of Richardson, Texas, hereby reappoints Gary A. Slagel to serve on the DART Board of Directors in the aggregated position for the term ending July 1, 2018.

SECTION 3. That this resolution shall become effective immediately from and after its passage.

DULY RESOLVED AND ADOPTED by the City Council of the City of Richardson, Texas, on this the 9th day of May, 2016.

CITY OF RICHARDSON, TEXAS

MAYOR

ATTEST:

CITY SECRETARY

RESOLUTION NO. 16-13

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, AUTHORIZING GRANT OF A TEMPORARY EASEMENT AND RIGHT OF WAY FOR ELECTRIC SERVICES TO ONCOR ELECTRIC DELIVERY COMPANY FOR TEMPORARY ELECTRIC SERVICE TO NTMWD'S LOOKOUT DRIVE TRANSFER STATION SITE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, in order that its contractor may have electric power during construction of its Lookout Drive Solid Waste Transfer Station, the North Texas Municipal Water District has requested that the City grant to Oncor Electric Delivery Company, LLC a temporary easement across City-owned property to run electric distribution lines; and

WHEREAS, the City Council of the City of Richardson, Texas, finds it to be in the public interest grant such request;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the City Manager is hereby authorized to sign, on behalf of the City, a Temporary Easement and Right of Way granting an easement to locate an overhead electric service line across City-owned property, the terms of which document shall be substantially as set forth in Exhibit "A," attached hereto and incorporated herein by reference.

SECTION 2. That this Resolution shall become effective immediately from and after its passage.

DULY RESOLVED AND ADOPTED by the City Council of the City of Richardson, Texas, on this the 9th day of May, 2016.

CITY OF RICHARDSON, TEXAS

MAYOR

ATTEST:

CITY SECRETARY

Resolution No. _____

Exhibit "A"

changes in grade, elevation or contour of the land or impound water within the easement area as described above without prior written consent of Grantee.

Grantor reserves the right to use the land within the above described easement area for purposes not inconsistent with Grantee's use of such property, provided such use shall not, in the reasonable judgment of Grantee, interfere with the exercise by Grantee of the rights hereby granted.

TO HAVE AND TO HOLD the above described easement and right-of-way unto the said Grantee, its successors and assigns, until the earlier of (i) all of said electric lines and facilities shall be abandoned, or (ii) two (2) years from the date hereof, unless Grantee notifies Grantor in writing of Grantee's election to renew the term of this Temporary Easement for a third year, and in that event said easement and right-of-way shall cease and all rights herein granted shall terminate and revert to Grantor or Grantor's successors or assigns, and legal representatives, to warrant and forever defend the above described easement and right-of-way unto Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof by, through, or under Grantor, but not otherwise. Upon termination of this easement, Grantee shall execute a record a release of this easement and record same in the Real Property Records of the county or counties in which the property described in Exhibit "A" is located.

EXECUTED this _____ day of _____, 2016.

CITY OF RICHARDSON, TEXAS

By: _____
Dan Johnson, City Manager

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this _____ day of _____, 2016, personally appeared Dan Johnson, City Manager of the City of Richardson, a Texas home rule municipality, for and on behalf of said municipality.

Notary Public, State of Texas

Commission Expires: _____

Resolution No. _____
Exhibit "A"
EXHIBIT "A"
EASEMENT AND RIGHT OF WAY DESCRIPTION

RICHARDSON, DALLAS COUNTY AND COLLIN COUNTY, TEXAS

An unplatted tract or parcel of land situated in the Thomas Vance Survey, Abstract No. 1504 Pg. 635 Tr 3 in the City of Richardson, predominantly located in Dallas County and partially in Collin County, Texas

COMMENCING at an existing storm drain inlet manhole cover next to the gated entrance to the City of Richardson Fire Training Center at 1621 E. Lookout Drive;

THENCE South approximately 34 feet and then west 87 feet to the location of an existing ONCOR power pole for the POINT OF BEGINNING;

THENCE West 7.76 feet to the southwest corner of the easement;

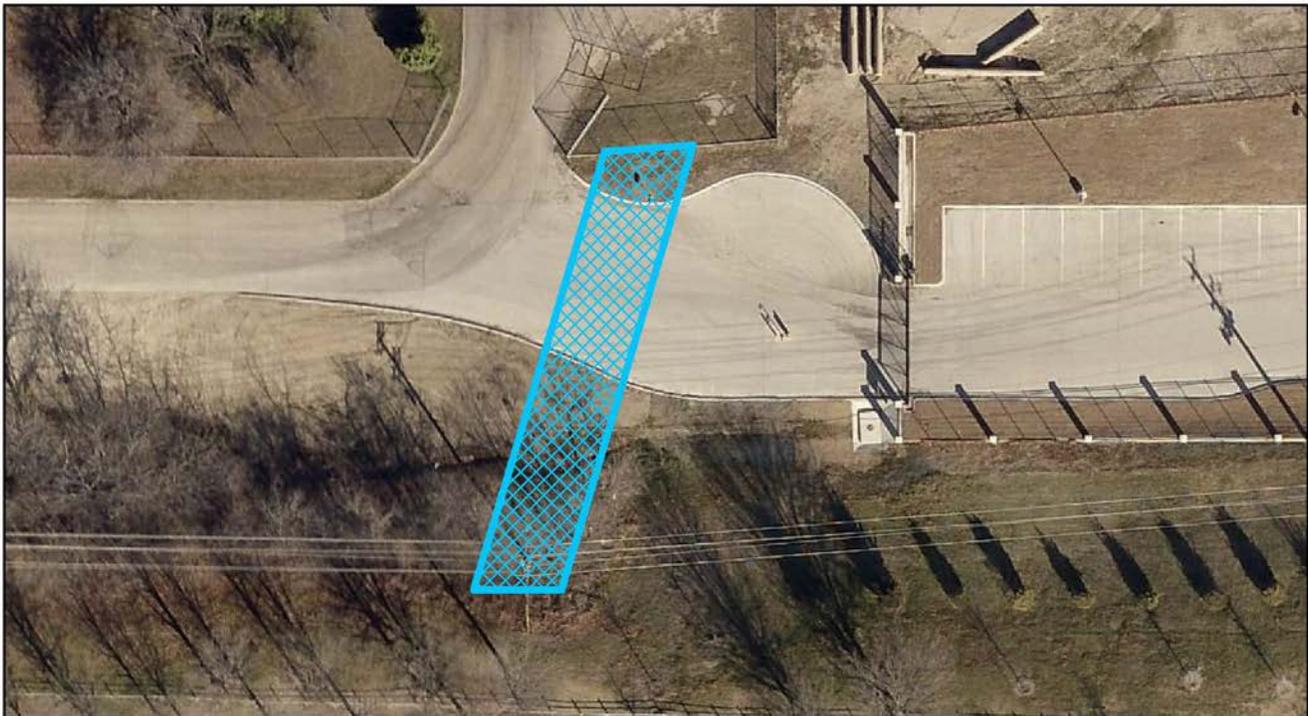
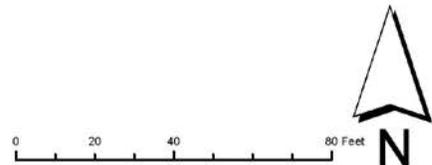
THENCE North 15 degrees East 106.35 feet to the northwest corner of the easement intersecting the NTMWD property line;

THENCE East 4 degrees north 15.85 feet along the NTMWD property line to the Northeast corner of the easement;

THENCE South 15 degrees West 107.45 feet to the Southeast corner of the easement;

THENCE west 7.76 feet back to the POINT OF BEGINNING and Containing 1603 square feet of land more or less.

 ONCOR Temporary Easement Location (Approximate)



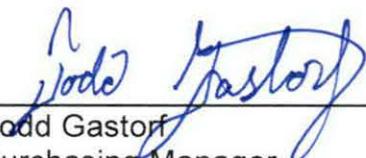
CITY OF RICHARDSON

TO: Dan Johnson – City Manager
THRU: Keith Dagen – Director of Finance
FROM: Todd Gastorf – Purchasing Manager
SUBJECT: Bid Initiation Request 59-16
DATE: May 4, 2016

Request Council approval to initiate bid for the following:

Cottonwood Lake Erosion Control Project

Proposed Council approval date: May 9, 2016
Proposed advertising dates: May 11, 2016 & May 18, 2016
Proposed bid due date: June 1, 2016 – 2:00 p.m.
Proposed bid opening date: June 1, 2016 – 2:30 p.m.
Engineer's estimated total cost: \$85,000.00
Account: 232-0250-581-7102, Project #PM1204



Todd Gastorf
Purchasing Manager



Keith Dagen
Director of Finance

5/4/16

Date

Approved: _____
Dan Johnson
City Manager

Date



MEMO

TO: Dan Johnson, City Manager
THROUGH: Cliff Miller, Assistant City Manager *CGM*
FROM: Steve Spanos, P.E., Director of Engineering *SS*
SUBJECT: Permission to Advertise Cottonwood Lake Erosion Control Project Bid #59-16
DATE: April 29, 2016

ACTION REQUESTED:

Authorization to advertise Bid #59-16 and approval of plans and contract documents for the Cottonwood Lake Erosion Control Project. Bids to be received until Wednesday, June 1, 2016 at 2:00 p.m. and read aloud 30 minutes later.

BACKGROUND INFORMATION:

The project consists of installing gravity retaining walls to protect the shore lines of the upper lake in Cottonwood Park. The project site is located near the intersection of Belt Line Road and Cottonwood Drive. The base bid provides for a gabion wall on the east and west side of the lake, and the alternate bids include additional wall length and concrete walls. Other work includes the repair of existing undermined and damaged segmental block walls, and painting of handrails.

FUNDING:

Funding is provided from 2012 C.O.'s.

SCHEDULE:

The Capital Projects Department plans for this project to begin construction July 2016 and be completed by September 2016.

cc: Moses Ogolla, P.E., Project Engineer

MAO

NOTICE TO CONTRACTORS
CITY OF RICHARDSON

COTTONWOOD LAKE EROSION CONTROL PROJECT
BID # 59-16

Sealed bids addressed to the Purchasing Manager, of the City of Richardson, Texas, will be received at the Office of the City Purchasing Department, Suite 101, City Hall, 411 West Arapaho Road, Richardson, Texas, until **Wednesday, June 1, 2016 at 2:00 pm** and will be opened and read aloud in the **Engineering Large Conference Room 206**, 30 minutes later that same day, for furnishing all labor, materials, tools and equipment, and performing all work required including all appurtenances for:

The project consists of installing gravity retaining walls to protect the shore lines of the upper lake in Cottonwood Park. The project site is located near the intersection of Belt Line Road and Cottonwood Drive. The base bid provides for a gabion wall on the east and west side of the lake, and the alternate bids include additional wall length and concrete walls. Other work includes the repair of existing undermined and damaged segmental block walls, and painting of handrails.

Bids shall be accompanied by a certified or cashier's check on a state or national bank in an amount not less than five percent (5%) of the possible total of the bid submitted, payable without recourse to the City of Richardson, Texas, or an acceptable bid bond for the same amount from a reliable surety company as a guarantee that the bidder will enter into a contract and execute required Performance and Payment Bonds within ten (10) days after notice of award of contract. The City will attempt to award the Contract within 90 days after the opening of bids.

The successful bidder must furnish a Performance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, a material and labor Payment Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, and a Maintenance Bond upon the form provided in the amount of one hundred percent (100%) of the contract price, from a surety authorized under the laws of the State of Texas to act as a surety on bonds for principals.

The right is reserved, as the interest of the Owner may require, to reject any and all bids, to waive any informality in the bids received, and to select bid best suited to the Owner's best interest. The Contractor, to be successful in bidding this project, must have completed a minimum of three similar projects within the last five years.

A maximum of Ninety (90) calendar days will be allowed for construction.

A set of plans, specifications and bid documents may be secured from the Office of the City Engineer, Capital Projects Department in Room 204, of the Richardson Civic Center/City Hall, 411 West Arapaho Road, Richardson, Texas, **beginning at 12:00 p.m. on Tuesday, May 10, 2016** upon a **NON-REFUNDABLE FEE OF Twenty five Dollars (\$25.00) per CD or Fifty Dollars (\$50.00) per hard set**, payable to the City of Richardson, accompanied by the contractor's name, address, phone number, email address and FAX number. Maximum of two sets or CD per contractor.

A voluntary pre-bid conference will be held **Thursday, May 19, 2016 at 10:00 am in the Engineering Large Conference Room 206, Richardson Civic Center/City Hall.**

By: /s/ Paul Voelker, Mayor
City of Richardson
P. O. Box 830309
Richardson, Texas 75083

Project Schedule

Cottonwood Park Lake Erosion Control Project

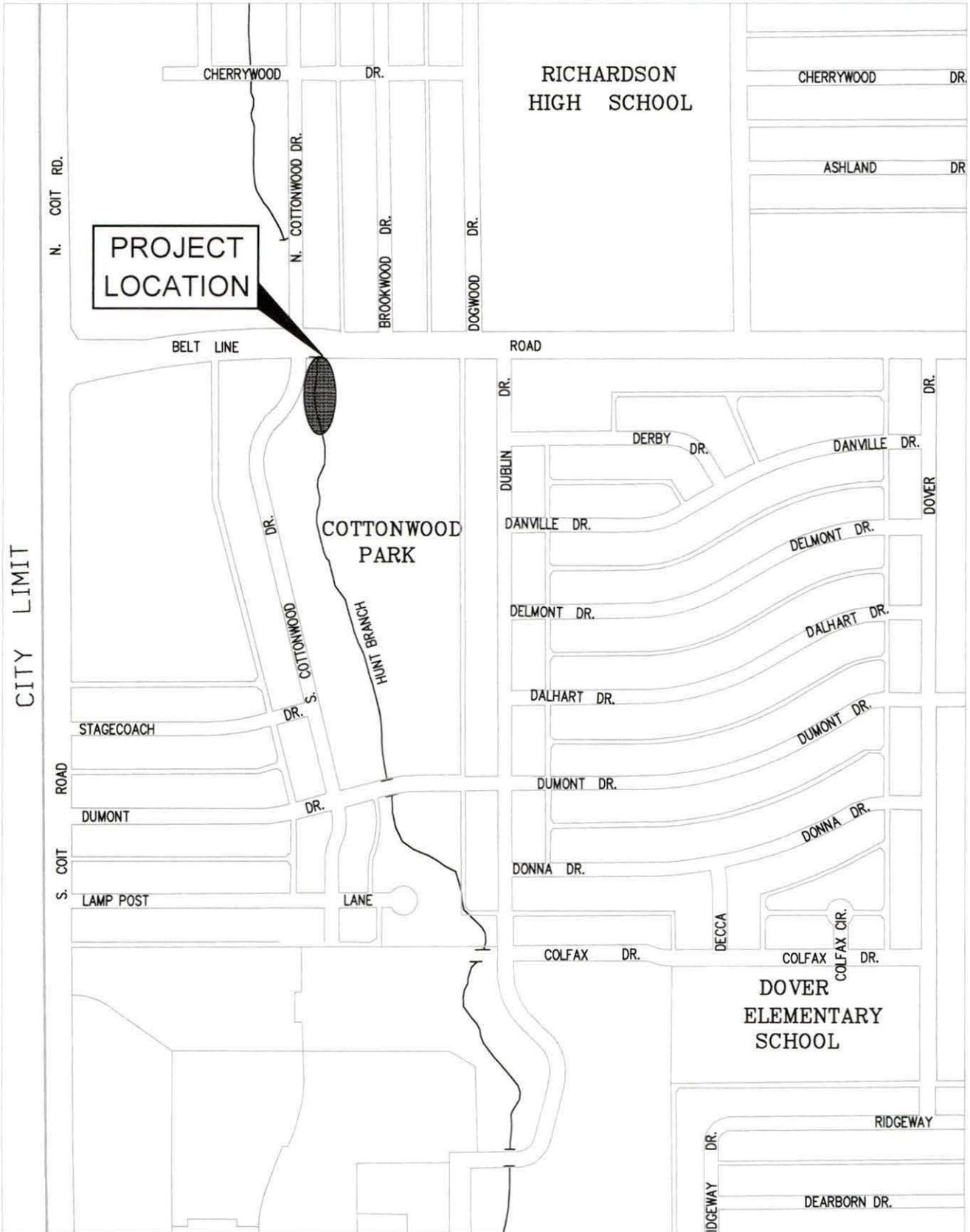
Bid #59-16

| | |
|--|-------------------------|
| Agenda Paperwork to Advertise | Friday, April 29, 2016 |
| Council Authorization to Advertise | Monday, May 9, 2016 |
| Plans/Specs Available for Contractors | Tuesday, May 10, 2016 |
| Advertise in Dallas Morning News 1 | Wednesday, May 11, 2016 |
| Advertise in Dallas Morning News 2 | Wednesday, May 18, 2016 |
| Pre-Bid Meeting (10:00 am Room 206) | Thursday, May 19, 2016 |
| Bids Received & Opened (Bids due by 2:00 pm Opening 2:30 pm Room 2016) | Wednesday, June 1, 2016 |
| Agenda Paperwork to Award Contract | Friday, June 3, 2016 |
| Council to Award Contract | Monday, June 13, 2016 |
| Pre-Construction Meeting | ~July 2016 |
| Anticipated Project Start | ~July 2016 |
| Anticipated Project Completion (90 Calendar Days) | ~October 2016 |

Project Manager: Moses Ogolla

Engineer's Estimate: \$85,000.00

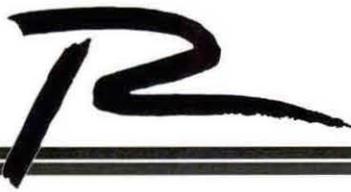
Funding: Account# 232-0250-581-7102 PM1204



**COTTONWOOD LAKE EROSION CONTROL
MAY 2016**



CITY OF
RICHARDSON
TEXAS



MEMO

DATE: May 4, 2016
TO: Keith Dagen – Director of Finance
FROM: Todd Gastorf – Purchasing Manager *TJG*
SUBJECT: Award of Bid #38-16 for the Rebid of Richardson Pedestrian Route Improvements to Estrada Concrete Co. LLC in the amount of \$832,458.50

Proposed Date of Award: May 9, 2016

I concur with the recommendation of Steve Spanos – Director of Engineering, and request permission to award a contract to the lowest responsible bidder, Estrada Concrete Co. LLC for the above referenced construction in the amount of \$832,458.50, as outlined in the attached memo.

As stated in the attached memo, the original bid amount exceeded the project budget. Capital Projects is requesting approval of a change order to reduce the contract by \$53,400 for a total project cost of \$779,058.50.

Funding is provided by a NCTCOG Grant (80%) and the General Special Projects Fund (20%).

The bid was advertised in *The Dallas Morning News* on February 24 & March 2, 2016 and posted on Bidsync. A total of 731 electronic solicitations were distributed and 48 vendors viewed the bid. A pre-bid conference was held on March 9, 2016 and 4 bids were received.

Concur:



Keith Dagen

ATTACHMENTS



MEMO

TO: Dan Johnson, City Manager

THROUGH: Cliff Miller, Assistant City Manager *cm*

FROM: Steve Spanos, P.E., Director of Engineering *SS*

SUBJECT: Award of Bid No.38-16 to Estrada Concrete Company, LLC for the Rebid of Richardson Pedestrian Route Improvements in the amount of \$832,458.50.

DATE: May 2, 2016

ACTION REQUESTED:

City Council to consider award of Bid No.38-16 to Estrada Concrete Company, LLC, for the Rebid of Richardson Pedestrian Route Improvements in the amount of \$832,458.50.

BACKGROUND INFORMATION:

On March 22, 2016 the Capital Projects Department opened bids for the referenced project. The attached bid tabulation certifies the lowest base bid was submitted by VA Construction, Inc., in the amount of \$778,229.50.

After a review of their financials and consideration of information provided by references for VA Construction, Inc., staff recommends award of this project to the second lowest bidder, Estrada Concrete Company, LLC, in the amount of \$832,458.50. Estrada Concrete is currently under contract with the City, and has successfully completed several projects in the past.

This project encompasses the areas generally within a one-half mile radius of the Spring Valley, Arapaho, and Galatyn DART light rail stations. The work will be in commercial areas and includes construction of new sidewalks where gaps exist in defined pedestrian routes, removal and replacement of existing sidewalks and driveway approach pavement. The work will also include the construction of barrier free ramps and other appurtenances related to sidewalk and driveway approach construction such as grading, curbs, landscaping, and utility adjustments.

The alternate bid is not being recommended for award at this time due to funding limitations.

Estrada's base bid exceeds the budget amount, so a separate agenda item for a Change Order to adjust the contract amount is needed for award. Staff recommends the award of the base bid and approval of a change order to reduce the contract by \$53,400.00. The change order will remove a minor amount of the sidewalk and driveway pedestrian route improvements distant from the DART Stations.

FUNDING:

80% funding is provided by NCTCOG Grant and 20% from the General Special Projects.

SCHEDULE:

The Capital Projects Department plans for this project to begin construction June 2016 and be completed by April 2017.

cc: Edward Witkowski, P.E. *EW*

REBID OF RICHARDSON PEDESTRIAN ROUTE IMPROVEMENTS

BID # 38-16

BID OPENING: TUESDAY, MARCH 22, 2016

| BASE BID | | | | VA Construction, Inc. | | Estrada Concrete Company, LLC | | 3i Contracting, LLC | | Axis Contracting, Inc. | | AVERAGES Bidders 1,2 &3 | |
|-------------------------|--|---------|--------|-----------------------|--------------|-------------------------------|--------------|---------------------|--------------|------------------------|----------------|-------------------------|--------------|
| ITEM NO. | DESCRIPTION | EST QTY | UNIT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT |
| 1 | Remove tree 8" or larger diameter including stump grinding, disposal and backfill | EA | 8 | \$1,250.00 | \$10,000.00 | \$1,200.00 | \$9,600.00 | \$577.20 | \$4,617.60 | \$4,500.00 | \$36,000.00 | \$1,009.07 | \$8,072.53 |
| 2 | Unclassified excavation including clearing, grading, compaction, hauling and disposal of surplus material | CY | 10 | \$50.00 | \$500.00 | \$100.00 | \$1,000.00 | \$115.44 | \$1,154.40 | \$250.00 | \$2,500.00 | \$88.48 | \$884.80 |
| 3 | Remove concrete median pavement and attached curb and gutter, including sawing, removal and disposal | SF | 10 | \$6.50 | \$65.00 | \$20.00 | \$200.00 | \$28.86 | \$288.60 | \$55.00 | \$550.00 | \$18.45 | \$184.53 |
| 4 | Remove brick paver area including sawing and disposal of brick and concrete border | SF | 10 | \$7.50 | \$75.00 | \$20.00 | \$200.00 | \$28.86 | \$288.60 | \$55.00 | \$550.00 | \$18.79 | \$187.87 |
| 5 | Remove concrete sidewalk including sawing and disposal | SF | 6,832 | \$2.00 | \$13,664.00 | \$2.00 | \$13,664.00 | \$4.62 | \$31,563.84 | \$10.00 | \$68,320.00 | \$2.87 | \$19,630.61 |
| 6 | Remove concrete street, driveway, or alley pavement and attached curb and gutter, including sawing and disposal | SF | 130 | \$10.00 | \$1,300.00 | \$15.00 | \$1,950.00 | \$11.54 | \$1,500.20 | \$18.00 | \$2,340.00 | \$12.18 | \$1,583.40 |
| 7 | Remove concrete curb and gutter including sawing and disposal | LF | 388 | \$3.00 | \$1,164.00 | \$5.00 | \$1,940.00 | \$11.54 | \$4,477.52 | \$26.00 | \$10,088.00 | \$6.51 | \$2,527.17 |
| 8 | Saw, remove and dispose of Monolithic Median Nose, including all incidentals | EA | 4 | \$1,400.00 | \$5,600.00 | \$250.00 | \$1,000.00 | \$346.32 | \$1,385.28 | \$1,100.00 | \$4,400.00 | \$665.44 | \$2,661.76 |
| 9 | Remove existing pavement markings including all incidentals | LF | 1,089 | \$2.00 | \$2,178.00 | \$4.00 | \$4,356.00 | \$2.31 | \$2,515.59 | \$15.00 | \$16,335.00 | \$2.77 | \$3,016.53 |
| 10 | Saw, remove and replace variable height concrete curb and 18" gutter, Class "C" | LF | 546 | \$30.00 | \$16,380.00 | \$40.00 | \$21,840.00 | \$25.40 | \$13,868.40 | \$65.00 | \$35,490.00 | \$31.80 | \$17,362.80 |
| 11 | Saw, remove and replace 6-8" thick Class "C" reinforced concrete street, alley, and driveway pavement including curb and all incidentals necessary | SF | 13,155 | \$11.00 | \$144,705.00 | \$8.50 | \$111,817.50 | \$9.81 | \$129,050.55 | \$20.00 | \$263,100.00 | \$9.77 | \$128,524.35 |
| 12 | Saw, remove and replace 9-10" thick Class "C" reinforced concrete street pavement, including all incidentals | SF | 10 | \$28.00 | \$280.00 | \$15.00 | \$150.00 | \$115.44 | \$1,154.40 | \$20.00 | \$200.00 | \$52.81 | \$528.13 |
| 13 | Remove salvage and reinstall roadside sign assembly | EA | 16 | \$300.00 | \$4,800.00 | \$300.00 | \$4,800.00 | \$173.16 | \$2,770.56 | \$550.00 | \$8,800.00 | \$257.72 | \$4,123.52 |
| 14 | Monolithic Median Nose reinforced concrete Class "A", including all incidentals | EA | 4 | \$2,000.00 | \$8,000.00 | \$1,200.00 | \$4,800.00 | \$1,154.40 | \$4,617.60 | \$4,500.00 | \$18,000.00 | \$1,451.47 | \$5,805.87 |
| 15 | Furnish and Install Landscaping Plant Materials as shown on the plans and specifications, including bed preparation, tilling, installation, 3 inch thick mulch, and all incidentals | LS | 1 | \$7,500.00 | \$7,500.00 | \$15,000.00 | \$15,000.00 | \$23,088.00 | \$23,088.00 | \$15,000.00 | \$15,000.00 | \$15,196.00 | \$15,196.00 |
| 16 | Concrete Sidewalk 4 Inch Thick Reinforced Class "A", including all incidentals | SF | 40,629 | \$5.50 | \$223,459.50 | \$8.00 | \$325,032.00 | \$6.75 | \$274,245.75 | \$10.00 | \$406,290.00 | \$6.75 | \$274,245.75 |
| 17 | Concrete Sidewalk 6 Inch Thick Reinforced Class "A", including all incidentals | SF | 3,889 | \$6.50 | \$25,278.50 | \$9.00 | \$35,001.00 | \$10.39 | \$40,406.71 | \$12.00 | \$46,668.00 | \$8.63 | \$33,562.07 |
| 18 | Concrete Sidewalk Curb to 10 Inches High, Reinforced Class "A", including all incidentals | LF | 146 | \$8.50 | \$1,241.00 | \$30.00 | \$4,380.00 | \$23.09 | \$3,371.14 | \$55.00 | \$8,030.00 | \$20.53 | \$2,997.38 |
| 19 | Turned Down Concrete Sidewalk Edge, 12" width by 30" depth, Reinforced Class "A" including all incidentals | LF | 27 | \$30.00 | \$810.00 | \$120.00 | \$3,240.00 | \$15.70 | \$423.90 | \$95.00 | \$2,565.00 | \$55.23 | \$1,491.30 |
| 20 | 6 to 8 Inch High Concrete Curb with 18" Gutter, Reinforced Class "C" | LF | 52 | \$30.00 | \$1,560.00 | \$40.00 | \$2,080.00 | \$21.93 | \$1,140.36 | \$50.00 | \$2,600.00 | \$30.64 | \$1,593.45 |
| 21 | Median Paving 6 Inch Thick Reinforced Class "A", including expansion joints and all incidentals | SF | 10 | \$8.50 | \$85.00 | \$50.00 | \$500.00 | \$115.44 | \$1,154.40 | \$10.00 | \$100.00 | \$57.98 | \$579.80 |
| 22 | Barrier Free Ramps Types A - D including all incidentals | EA | 6 | \$2,500.00 | \$15,000.00 | \$1,200.00 | \$7,200.00 | \$2,308.80 | \$13,852.80 | \$2,500.00 | \$15,000.00 | \$2,002.93 | \$12,017.60 |
| 23 | Barrier Free Ramps Types E - F including all incidentals | EA | 18 | \$1,800.00 | \$32,400.00 | \$1,200.00 | \$21,600.00 | \$2,539.68 | \$45,714.24 | \$2,500.00 | \$45,000.00 | \$1,846.56 | \$33,238.08 |
| 24 | Barrier Free Ramps Type G including all incidentals | EA | 4 | \$2,000.00 | \$8,000.00 | \$1,200.00 | \$4,800.00 | \$2,712.84 | \$10,851.36 | \$2,500.00 | \$10,000.00 | \$1,970.95 | \$7,883.79 |
| 25 | Install 24 Inch Wide White Thermoplastic Stop Bar on Pavement including all materials and incidentals | LF | 1,089 | \$15.00 | \$16,335.00 | \$10.00 | \$10,890.00 | \$11.54 | \$12,567.06 | \$55.00 | \$59,895.00 | \$12.18 | \$13,264.02 |
| 26 | Surface Applied Truncated Dome Detectable Warning Area, Furnish and Install including surface preparation and all incidentals | EA | 1 | \$500.00 | \$500.00 | \$1,000.00 | \$1,000.00 | \$577.20 | \$577.20 | \$800.00 | \$800.00 | \$692.40 | \$692.40 |
| 27 | Structural Steel TxDOT PRD-13 Pedestrian Guardrail (Sidewalk), Furnish and Install including all fabrication, protective coatings, delivery, anchor bolts, and all incidentals | LF | 29 | \$250.00 | \$7,250.00 | \$200.00 | \$5,800.00 | \$750.36 | \$21,760.44 | \$150.00 | \$4,350.00 | \$400.12 | \$11,603.48 |
| 28 | Sidewalk Retaining Wall Reinforced Concrete, according to the plans, specifications, and details including all incidentals | SFF | 20 | \$75.00 | \$1,500.00 | \$300.00 | \$6,000.00 | \$144.30 | \$2,886.00 | \$65.00 | \$1,300.00 | \$173.10 | \$3,462.00 |
| 29 | Sidewalk Retaining Wall Reinforced Concrete with Milsap Stone on Face and Top, according to the plans, specifications, and details including all incidentals | SFF | 20 | \$200.00 | \$4,000.00 | \$300.00 | \$6,000.00 | \$155.84 | \$3,116.80 | \$250.00 | \$5,000.00 | \$218.61 | \$4,372.27 |
| 30 | Block Sod Bermuda or St. Augustine including 4" Topsoil, complete and in place according to the plans, specifications, and details | SF | 12,834 | \$3.50 | \$44,919.00 | \$2.00 | \$25,668.00 | \$3.17 | \$40,683.78 | \$10.00 | \$128,340.00 | \$2.89 | \$37,090.26 |
| 31 | 4 inch Schedule 40 PVC Irrigation pipe installed 12 inches below sidewalk subgrade in trench, including all incidentals | LF | 10 | \$18.00 | \$180.00 | \$50.00 | \$500.00 | \$11.54 | \$115.40 | \$85.00 | \$850.00 | \$26.51 | \$265.13 |
| 32 | Relocate or Modify Existing Irrigation System on Property, including all materials labor and incidentals | EA | 39 | \$550.00 | \$21,450.00 | \$800.00 | \$31,200.00 | \$865.80 | \$33,766.20 | \$2,500.00 | \$97,500.00 | \$738.60 | \$28,805.40 |
| 33 | Adjust Sanitary Sewer Manhole Ring and Cover | EA | 5 | \$850.00 | \$4,250.00 | \$1,500.00 | \$7,500.00 | \$1,731.60 | \$8,658.00 | \$2,500.00 | \$12,500.00 | \$1,360.53 | \$6,802.67 |
| 34 | Adjust Sanitary Sewer Cleanout | EA | 1 | \$200.00 | \$200.00 | \$450.00 | \$450.00 | \$1,154.40 | \$1,154.40 | \$1,500.00 | \$1,500.00 | \$601.47 | \$601.47 |
| 35 | Adjust Water Valve Cover and Valve Stack | EA | 6 | \$250.00 | \$1,500.00 | \$450.00 | \$2,700.00 | \$1,731.60 | \$10,389.60 | \$1,500.00 | \$9,000.00 | \$810.53 | \$4,863.20 |
| 36 | Adjust Existing Fire Hydrant Elevation | EA | 1 | \$2,500.00 | \$2,500.00 | \$4,000.00 | \$4,000.00 | \$2,886.00 | \$2,886.00 | \$8,500.00 | \$8,500.00 | \$3,128.67 | \$3,128.67 |
| 37 | Relocate Existing Water Meter up to 2 inch Size with new Box and Lid, with Utility Contractor and Licensed Plumber performing the work as required | EA | 8 | \$1,500.00 | \$12,000.00 | \$2,000.00 | \$16,000.00 | \$4,155.84 | \$33,246.72 | \$8,500.00 | \$68,000.00 | \$2,551.95 | \$20,415.57 |
| 38 | Reset Existing Water Meter Box Elevation | EA | 1 | \$250.00 | \$250.00 | \$450.00 | \$450.00 | \$2,886.00 | \$2,886.00 | \$1,500.00 | \$1,500.00 | \$1,195.33 | \$1,195.33 |
| 39 | Remove and Replace Existing Water Meter Box and Lid | EA | 1 | \$650.00 | \$650.00 | \$800.00 | \$800.00 | \$2,886.00 | \$2,886.00 | \$1,500.00 | \$1,500.00 | \$1,445.33 | \$1,445.33 |
| 40 | 2 inch PVC traffic signal conduit, complete according to the plans, specifications, and details | LF | 50 | \$15.00 | \$750.00 | \$50.00 | \$2,500.00 | \$28.86 | \$1,443.00 | \$55.00 | \$2,750.00 | \$31.29 | \$1,564.33 |
| 41 | Traffic Control on High Volume Streets, including arrow boards, signs and barricades | EA | 10 | \$2,500.00 | \$25,000.00 | \$1,500.00 | \$15,000.00 | \$5,772.00 | \$57,720.00 | \$7,100.00 | \$71,000.00 | \$3,257.33 | \$32,573.33 |
| 42 | For all erosion control activities including devices, methods, P-2 Inlet Protection, maintenance, removal and all incidentals | LS | 1 | \$15,000.00 | \$15,000.00 | \$3,500.00 | \$3,500.00 | \$1,904.76 | \$1,904.76 | \$18,500.00 | \$18,500.00 | \$6,801.59 | \$6,801.59 |
| 43 | Project Signs: Furnish Install and Maintain | EA | 4 | \$800.00 | \$3,200.00 | \$900.00 | \$3,600.00 | \$288.60 | \$1,154.40 | \$1,500.00 | \$6,000.00 | \$662.87 | \$2,651.47 |
| 44 | For all work within and adjacent to the KCS RAILROAD ROW at the Arapaho Road sidewalk crossing (B.L. A11A sta 0+00 to sta 1+40 and B.L. A11B sta 0+00 to sta 1+65) including: removal and replacement of 12 linear feet concrete curb and gutter; construction of 1,521 sq. ft. 4" Class "A" concrete sidewalk, 27 linear feet turned down sidewalk edge, 120 sq. ft. 6" HMAc sidewalk (3-2" courses Type "D"); installation of 4 truncated dome detectable warning surface panels, 29 linear feet TxDOT type PR13 pedestrian guardrail and 412 sq. ft. block sod; KCS Railroad Right of Entry (R.O.E.) application and agreement, KCS Railroad Insurance, flagmen meeting KCS requirements, and all other incidentals necessary to obtain KCS approval and complete construction as shown on the plans, specifications, and details | LS | 1 | \$40,000.00 | \$40,000.00 | \$40,000.00 | \$40,000.00 | \$82,756.63 | \$82,756.63 | \$65,000.00 | \$65,000.00 | \$54,252.21 | \$54,252.21 |
| 45 | HMAc paving, Type D, per 2" course, including all incidentals | SF | 100 | \$20.00 | \$2,000.00 | \$20.00 | \$2,000.00 | \$63.49 | \$6,349.00 | \$40.00 | \$4,000.00 | \$34.50 | \$3,449.67 |
| 46 | Remove and Replace Exposed Aggregate Class "A" reinforced concrete sidewalk to match existing adjacent walk, including all incidentals | SF | 50 | \$15.00 | \$750.00 | \$15.00 | \$750.00 | \$6.93 | \$346.50 | \$50.00 | \$2,500.00 | \$12.31 | \$615.50 |
| 47 | Construction Contingency for Additional Work as directed by Owner | LS | 1 | \$50,000.00 | \$50,000.00 | \$50,000.00 | \$50,000.00 | \$50,000.00 | \$50,000.00 | \$50,000.00 | \$50,000.00 | \$50,000.00 | \$50,000.00 |
| TOTAL BASE BID | | | | | \$778,229.00 | | \$832,458.50 | | \$992,755.69 | | \$1,638,211.00 | | \$867,814.40 |
| CONTRACTOR'S BID | | | | | \$778,229.50 | | SAME | | \$996,126.00 | | SAME | | |

REBID OF RICHARDSON PEDESTRIAN ROUTE IMPROVEMENTS

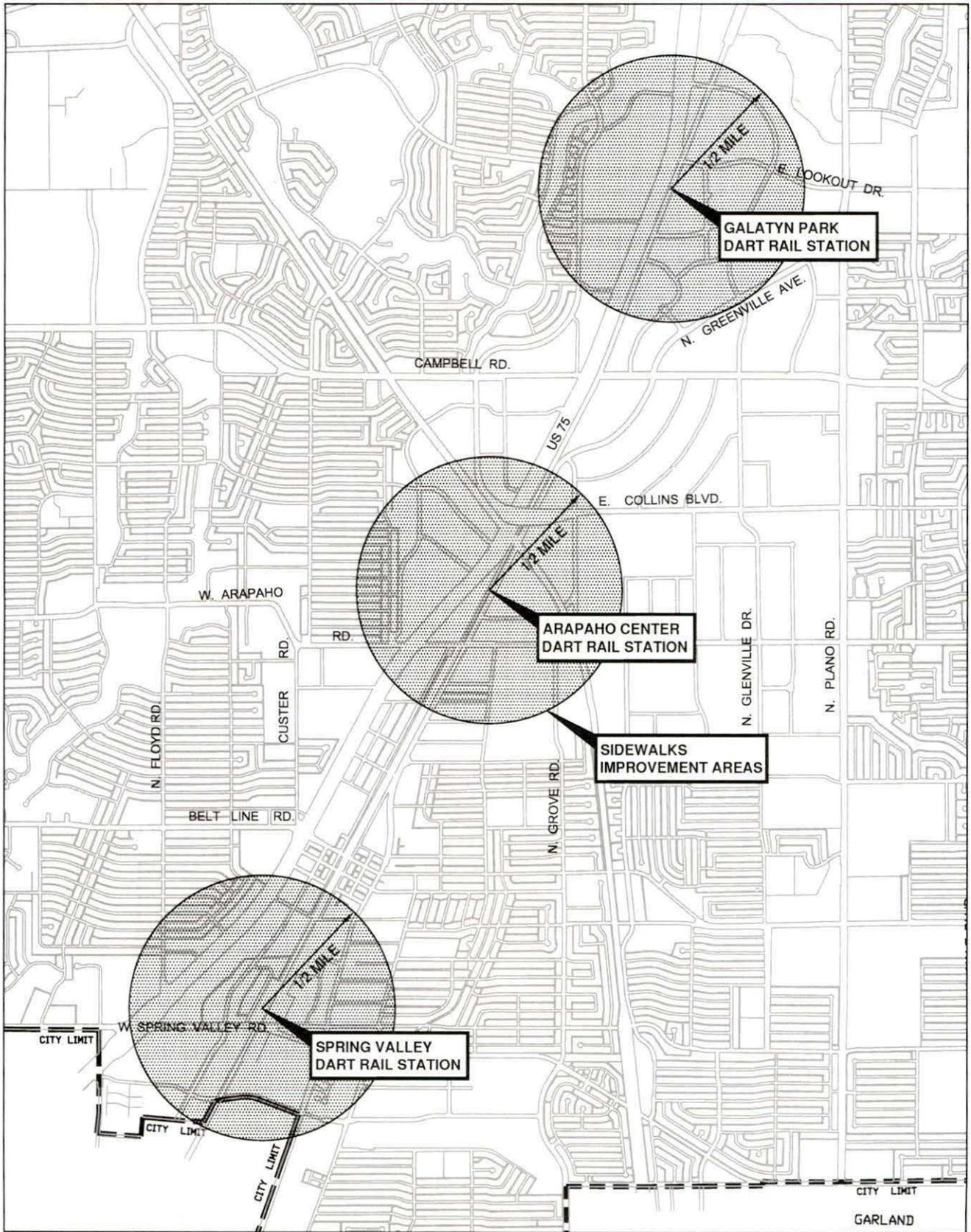
BID # 38-16

BID OPENING: TUESDAY, MARCH 22, 2016

| BID ALTERNATE 1 | | | | VA Construction, Inc. | | Estrada Concrete Company, LLC | | 3i Contracting, LLC | | Axis Contracting, Inc. | | AVERAGES Bidders 1,2 &3 | |
|---------------------------------------|---|---------|--------|-----------------------|----------------|-------------------------------|----------------|---------------------|----------------|------------------------|----------------|-------------------------|----------------|
| ITEM NO. | DESCRIPTION | EST QTY | UNIT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT |
| A2 | Unclassified Excavation including clearing, grading, compaction, hauling and disposal of surplus material | CY | 360 | \$30.00 | \$10,800.00 | \$20.00 | \$7,200.00 | \$115.44 | \$41,558.40 | \$250.00 | \$90,000.00 | \$55.15 | \$19,852.80 |
| A3 | Remove Concrete Median Pavement and attached Curb ad Gutter, including sawing, removal and disposal | SF | 128 | \$6.50 | \$832.00 | \$20.00 | \$2,560.00 | \$28.86 | \$3,694.08 | \$55.00 | \$7,040.00 | \$18.45 | \$2,362.03 |
| A4 | Remove Brick Paver Area including sawing and disposal of brick and concrete border | SF | 416 | \$7.50 | \$3,120.00 | \$10.00 | \$4,160.00 | \$28.86 | \$12,005.76 | \$55.00 | \$22,880.00 | \$15.45 | \$6,428.59 |
| A5 | Remove Concrete Sidewalk including sawing and disposal | SF | 5,640 | \$2.00 | \$11,280.00 | \$2.00 | \$11,280.00 | \$4.62 | \$26,056.80 | \$10.00 | \$56,400.00 | \$2.87 | \$16,205.60 |
| A7 | Remove Concrete Curb and Gutter including sawing and disposal | SF | 409 | \$3.00 | \$1,227.00 | \$5.00 | \$2,045.00 | \$11.54 | \$4,719.86 | \$26.00 | \$10,634.00 | \$6.51 | \$2,663.95 |
| A8 | Saw, remove and dispose of Monolithic Median Nose, including all incidentals | EA | 2 | \$1,400.00 | \$2,800.00 | \$250.00 | \$500.00 | \$346.32 | \$692.64 | \$1,100.00 | \$2,200.00 | \$665.44 | \$1,330.88 |
| A9 | Remove Existing Pavement Markings including all incidentals | LF | 888 | \$2.00 | \$1,736.00 | \$4.00 | \$3,472.00 | \$346.32 | \$300,605.76 | \$15.00 | \$13,020.00 | \$117.44 | \$101,937.92 |
| A10 | Saw, remove and replace variable height concrete curb and 18" gutter, Class "C" | LF | 403 | \$30.00 | \$12,090.00 | \$40.00 | \$16,120.00 | \$25.40 | \$10,236.20 | \$65.00 | \$26,195.00 | \$31.80 | \$12,815.40 |
| A11 | Saw, remove and replace 6-8" thick Class "C" reinforced concrete street, alley, and driveway pavement including curb and all incidentals necessary | SF | 18,445 | \$11.00 | \$202,895.00 | \$8.50 | \$156,782.50 | \$9.81 | \$180,945.45 | \$20.00 | \$368,900.00 | \$9.77 | \$180,207.65 |
| A12 | Saw, remove and replace 9-10" thick Class "C" reinforced concrete street pavement, including all incidentals | SF | 139 | \$28.00 | \$3,892.00 | \$15.00 | \$2,085.00 | \$115.44 | \$16,046.16 | \$20.00 | \$2,780.00 | \$52.81 | \$7,341.05 |
| A13 | Remove Salvage and Reinstall Roadside Sign Assembly | EA | 10 | \$300.00 | \$3,000.00 | \$300.00 | \$3,000.00 | \$173.16 | \$1,731.60 | \$550.00 | \$5,500.00 | \$257.72 | \$2,577.20 |
| A14 | Monolithic Median Nose Reinforced Concrete Class "A", including all incidentals | EA | 2 | \$2,000.00 | \$4,000.00 | \$1,200.00 | \$2,400.00 | \$1,154.40 | \$2,308.80 | \$4,500.00 | \$9,000.00 | \$1,451.47 | \$2,902.93 |
| A15 | Furnish and Install Landscaping Plant Materials as shown on the plans and specifications, including bed preparation, tilling, installation, 3 inch thick mulch, and all incidentals | LS | 1 | \$7,500.50 | \$7,500.50 | \$15,000.00 | \$15,000.00 | \$0.00 | \$0.00 | \$15,000.00 | \$15,000.00 | \$7,500.17 | \$7,500.17 |
| A16 | Concrete Sidewalk 4 Inch Thick Reinforced Class "A", including all incidentals | SF | 27,892 | \$5.50 | \$152,306.00 | \$8.00 | \$221,536.00 | \$6.75 | \$186,921.00 | \$10.00 | \$276,920.00 | \$6.75 | \$186,921.00 |
| A17 | Concrete Sidewalk 6 Inch Thick Reinforced Class "A", including all incidentals | SF | 17,265 | \$6.50 | \$112,222.50 | \$9.00 | \$155,385.00 | \$10.39 | \$179,383.35 | \$12.00 | \$207,180.00 | \$8.63 | \$148,996.95 |
| A18 | Concrete Sidewalk Curb to 10 Inches High, Reinforced Class "A", including all incidentals | LF | 495 | \$8.50 | \$4,207.50 | \$30.00 | \$14,850.00 | \$23.09 | \$11,429.55 | \$55.00 | \$27,225.00 | \$20.53 | \$10,162.35 |
| A19 | Turned Down Concrete Sidewalk Edge, 12" width by 30" depth, Reinforced Class "A" including all incidentals | LF | 78 | \$30.00 | \$2,340.00 | \$120.00 | \$9,360.00 | \$15.70 | \$1,224.60 | \$95.00 | \$7,410.00 | \$55.23 | \$4,308.20 |
| A21 | Median Paving 6 Inch Thick Reinforced Class "A", including expansion joints and all incidentals | SF | 182 | \$8.50 | \$1,547.00 | \$50.00 | \$9,100.00 | \$115.44 | \$21,010.08 | \$10.00 | \$1,820.00 | \$57.98 | \$10,552.36 |
| A22 | Barrier Free Ramps Types A - D including all incidentals | EA | 17 | \$2,500.00 | \$42,500.00 | \$1,200.00 | \$20,400.00 | \$2,308.80 | \$39,249.60 | \$2,500.00 | \$42,500.00 | \$2,002.93 | \$34,049.87 |
| A23 | Barrier Free Ramps Types E - F including all incidentals | EA | 11 | \$1,500.00 | \$16,500.00 | \$1,200.00 | \$13,200.00 | \$2,539.68 | \$27,936.48 | \$2,500.00 | \$27,500.00 | \$1,746.56 | \$19,212.16 |
| A24 | Barrier Free Ramps Type G including all incidentals | EA | 3 | \$2,000.00 | \$6,000.00 | \$1,200.00 | \$3,600.00 | \$2,712.84 | \$8,138.52 | \$2,500.00 | \$7,500.00 | \$1,970.95 | \$5,912.84 |
| A25 | Install 24 Inch Wide White Thermoplastic Stop Bar on Pavement including all materials and incidentals necessary | LF | 868 | \$15.00 | \$13,020.00 | \$10.00 | \$8,680.00 | \$11.54 | \$10,016.72 | \$55.00 | \$47,740.00 | \$12.18 | \$10,572.24 |
| A26 | Surface Applied Truncated Dome Detectable Warning Area, Furnish and Install including surface preparation and all incidentals | EA | 3 | \$500.00 | \$1,500.00 | \$1,000.00 | \$3,000.00 | \$577.20 | \$1,731.60 | \$800.00 | \$2,400.00 | \$692.40 | \$2,077.20 |
| A27 | Structural Steel TxDOT PRD-13 Pedestrian Guardrail (Sidewalk), Furnish and Install including all fabrication, protective coatings, delivery, anchor bolts, and all incidentals | LF | 77 | \$250.00 | \$19,250.00 | \$200.00 | \$15,400.00 | \$750.36 | \$57,777.72 | \$150.00 | \$11,550.00 | \$400.12 | \$30,809.24 |
| A30 | Block Sod Bermuda or St. Augustine including 4" Topsoil, complete and in place according to the plans, specifications, and details | SF | 19,961 | \$3.50 | \$69,863.50 | \$2.00 | \$39,922.00 | \$3.17 | \$63,276.37 | \$10.00 | \$199,610.00 | \$2.89 | \$57,687.29 |
| A32 | Relocate or Modify Existing Irrigation System on Property, including all materials labor and incidentals as necessary | EA | 38 | \$550.00 | \$20,900.00 | \$800.00 | \$30,400.00 | \$865.80 | \$32,900.40 | \$2,500.00 | \$95,000.00 | \$738.60 | \$28,066.80 |
| A33 | Adjust Sanitary Sewer Manhole Ring and Cover | EA | 2 | \$850.00 | \$1,700.00 | \$1,500.00 | \$3,000.00 | \$1,731.60 | \$3,463.20 | \$2,500.00 | \$5,000.00 | \$1,360.53 | \$2,721.07 |
| A35 | Adjust Water Valve Cover and Valve Stack | EA | 3 | \$250.00 | \$750.00 | \$450.00 | \$1,350.00 | \$1,154.40 | \$3,463.20 | \$1,500.00 | \$4,500.00 | \$618.13 | \$1,854.40 |
| A37 | Relocate Existing Water Meter up to 2 inch Size with new Box and Lid, with Utility Contractor and Licensed Plumber performing the work as required | EA | 2 | \$1,500.00 | \$3,000.00 | \$2,500.00 | \$5,000.00 | \$1,731.60 | \$3,463.20 | \$8,500.00 | \$17,000.00 | \$1,910.53 | \$3,821.07 |
| A41 | Traffic Control on High Volume Streets, including arrow boards, signs and barricades | EA | 8 | \$2,500.00 | \$20,000.00 | \$1,500.00 | \$12,000.00 | \$5,772.00 | \$46,176.00 | \$7,100.00 | \$56,800.00 | \$3,257.33 | \$26,058.67 |
| A42 | For all erosion control activities including devices, methods, P-2 Inlet Protection, maintenance, removal and all incidentals | LS | 1 | \$15,000.00 | \$15,000.00 | \$3,500.00 | \$3,500.00 | \$1,847.04 | \$1,847.04 | \$18,500.00 | \$18,500.00 | \$6,782.35 | \$6,782.35 |
| A43 | Project Signs: Furnish Install and Maintain | EA | 2 | \$800.00 | \$1,600.00 | \$900.00 | \$1,800.00 | \$288.60 | \$577.20 | \$1,500.00 | \$3,000.00 | \$662.87 | \$1,325.73 |
| A44 | For all work within and adjacent to the DART R.O.W. at the Glenville Drive sidewalk crossing (B.L. G2 sta 0+00 to sta 1+54.11) including: removal and replacement of 18 linear feet concrete curb and gutter; 500 sq. ft. 4" Class "A" concrete sidewalk; 1 Type E barrier free ramp; removal and replacement of landscaping per City direction; modification of irrigation system; DART training, track allocation, and DART insurance; and all incidentals necessary as shown on the plans, specifications, and details | LS | 1 | \$30,000.00 | \$30,000.00 | \$35,000.00 | \$35,000.00 | \$47,168.78 | \$47,168.78 | \$65,000.00 | \$65,000.00 | \$37,389.59 | \$37,389.59 |
| TOTAL ALTERNATE BID | | | | | \$799,379.00 | | \$833,087.50 | | \$1,347,756.12 | | \$1,753,704.00 | | \$993,407.54 |
| CONTRACTOR'S BID | | | | | \$779,379.50 | | SAME | | \$1,347,860.00 | | SAME | | |
| TOTAL BASE BID + ALTERNATE BID | | | | | \$1,577,608.00 | | \$1,665,546.00 | | \$2,340,511.81 | | \$3,391,915.00 | | \$1,861,221.94 |

ENGINEERS ESTIMATE:
\$800,300

Certified By: _____
Steve Spanos, P.E., Director of Engineering

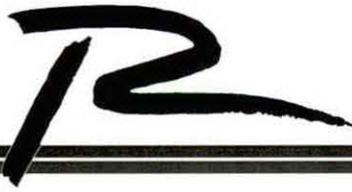


**REBID OF RICHARDSON PEDESTRIAN
ROUTE IMPROVEMENTS
JUNE 2016 BID No. 38-16**


NORTH
1" = 2500'



CITY OF
RICHARDSON
TEXAS 



MEMO

DATE: May 4, 2016
TO: Keith Dagen – Director of Finance
FROM: Todd Gastorf – Purchasing Manager *TG*
SUBJECT: Award of Bid #49-16 for an Annual Requirements Contract for Ready Mix Concrete to Argos Ready Mix South Central pursuant to unit prices

Proposed Date of Award: May 9, 2016

I concur with the recommendation of Darryl Fourte – Director of Public Services, and request permission to issue an annual requirements contract for ready mix concrete to Argos Ready Mix South Central pursuant to the attached unit prices.

Only one bid was received from our current contractor, Argos Ready Mix South Central.

The term of the contract is for one (1) year with options to renew for up to four (4) additional one-year periods, if exercised and mutually agreed upon by both parties. The award of this contract allows the city to use ready mix concrete as the requirements and needs of the city arise on an annual basis and during any subsequent renewal period(s). Since the city is not obligated to pay for a minimum or maximum amount of ready mix concrete, payment will be rendered pursuant to the unit prices specified.

Funding is available in accounts 011-2060-531-4532 and 511-5610-503-4532.

The bid was advertised in *The Dallas Morning News* on March 28 & April 4, 2016 and posted on Bidsync. A total of 1,469 electronic solicitations were distributed and 22 vendors viewed the bid. A pre-bid conference was held on April 5, 2016 and 1 bid was received.

Concur:


Keith Dagen

ATTACHMENTS



MEMO

Date: 5/3/2016
To: Todd Gastorf, Purchasing Manager
From: Darryl Fourte, Director of Public Services DEF
Subject: Bid 49-16 A/R/C for Ready Mix Concrete

The City of Richardson Public Services and Purchasing Department solicited bids to renew the annual requirements contract for ready mix concrete. Argos Ready Mix South Central was the sole bidder and provided a pricing agreement in line with previous years costs, as defined on the bid tabulation sheet.

Argos Ready Mix concrete plants are centrally located within the City of Richardson; this location compliments our daily Street Division operations.

Therefore, Public Services Department recommends awarding an annual requirements contract to Argos Ready Mix South Central for the purchase of ready mix concrete

c.c. Hunter Stephens, Interim Assistant Director of Public Services – Streets/Utilities
Eric Robison, Street Maintenance Superintendent

BID NUMBER: 49-16
 DATE OPENED: APRIL 14, 2016

BID TABULATION
 ANNUAL REQUIREMENTS CONTRACT FOR
 READY MIX CONCRETE

| ITEM NO. | DESCRIPTION | EST. QTY. | UNIT | ARGOS READY MIX (SOUTH CENTRAL) | | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT |
|--------------------------|---|-----------|------|---------------------------------|---------------------|------------|--------------------|------------|--------------------|------------|--------------------|
| | | | | UNIT PRICE | AMOUNT | | | | | | |
| 1 | 5 Sack-Ready Mix, Plant Pickup | 500 | cy | 98.000 | \$49,000.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 2 | 5 Sack-Ready Mix, Delivered | 125 | cy | 110.000 | \$13,750.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 3 | 6 Sack-Ready Mix, Plant Pickup | 3000 | cy | 104.000 | \$312,000.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 4 | 6 Sack-Ready Mix, Delivered | 750 | cy | 116.000 | \$87,000.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 5 | 5 Sack-Ready Mix w/ Pea Gravel, Pickup | 300 | cy | 103.000 | \$30,900.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 6 | 5 Sack-Ready Mix w/ Pea Gravel, Delivered | 75 | cy | 115.000 | \$8,625.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 7 | 7 Sack-Ready Mix, Plant Pickup | 200 | cy | 110.000 | \$22,000.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 8 | 7 Sack-Ready Mix, Delivered | 50 | cy | 122.000 | \$6,100.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 9 | Class K Modified, Pickup | 200 | cy | 120.000 | \$24,000.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 10 | Class K Modified, Delivered | 50 | cy | 132.000 | \$6,600.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 11 | Flowable Fill, Pickup | 200 | cy | 83.000 | \$16,600.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 12 | Flowable Fill, Delivered | 50 | cy | 95.000 | \$4,750.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 13 | Environmental Fee | 1 | load | 10.000 | \$10.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 14 | Fuel Surcharge | 1 | load | 20.000 | \$20.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 15 | Heating | 1 | cy | 8.000 | \$8.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 16 | Cooling | 1 | cy | 15.000 | \$15.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 17 | Short Load Fee | 1 | load | 150.000 | \$150.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| TOTAL GROSS PRICE | | | | | \$581,528.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| CASH DISCOUNT | | | | | | | | | | | |
| TOTAL NET PRICE | | | | | | | | | | | |
| DELIVERY | | | | | As needed | | As needed | | As needed | | As needed |
| F.O.B | | | | | Destination | | Destination | | Destination | | Destination |



MEMO

DATE: May 4, 2016
TO: Keith Dagen – Director of Finance
FROM: Todd Gastorf – Purchasing Manager *TG*
SUBJECT: Change Order to decrease the original awarded amount of Bid #38-16 to Estrada Concrete Co. LLC for the Rebid of Richardson Pedestrian Route Improvements in the amount of \$53,400

Proposed Date of Approval: May 9, 2016

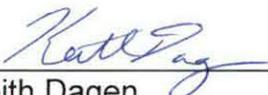
I concur with the recommendation of Steve Spanos – Director of Engineering, and request permission to decrease the above referenced bid award in the amount of \$53,400, as outlined in the attached memo.

Texas Local Government Code Chapter 271.060 allows for change orders to contracts if plans or specifications are necessary after or during the performance of the contract to decrease or increase the quantity of work to be performed or of materials, equipment or supplies to be furnished. The contract may not be increased by more than 25% of the original contract amount.

Estrada Concrete Co. LLC has also approved the requested deduction in work.

Concur:

Approved:



Keith Dagen

Dan Johnson

ATTACHMENTS



MEMO

TO: Todd Gastorf, Purchasing Manager

FROM: Steve Spanos, P.E., Director of Engineering *SS* *CGM*

SUBJECT: Change Order to DECREASE award of Rebid of Richardson Pedestrian Route Improvements

DATE: May 2, 2016

ACTION REQUESTED

Process Change Order to DECREASE award of Rebid of Richardson Pedestrian Route Improvements Bid No. 38-16 in the amount of \$53,400.00 to Estrada Concrete Company, LLC.

ACCOUNT SUMMARY

| | |
|---|----------------------|
| Original Purchase Order | \$832,458.50 |
| Change Order | (\$53,400.00) |
| Total Authorized Contract Amount | \$779,058.50 |

BACKGROUND INFORMATION

This deductive change order will remove a minor amount of the sidewalk and driveway pedestrian route improvements distant from the DART Stations.

FUNDING INFORMATION

80% funding is provided by NCTCOG Grant and 20% from the General Special Projects.

Cc: Edward Witkowski, P.E., Project Engineer *EW*
Jim Lockart, P.E., Assistant Director of Engineering
Kristen Billings, Contract Administrator
Carolyn Kaplan, Capital Projects Accountant