

**RICHARDSON CITY COUNCIL
MONDAY, DECEMBER 14, 2015
WORK SESSION AT 6:00 PM; COUNCIL MEETING AT 7:00 PM
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX**

The Richardson City Council will conduct a Work Session at 6:00 p.m. on Monday, December 14, 2015 in the Richardson Room of the Civic Center, 411 W. Arapaho Road, Richardson, Texas. The Work Session will be followed by a Council Meeting at 7:00 p.m. in the Council Chambers. Council will reconvene the Work Session following the Council Meeting if necessary.

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

WORK SESSION – 6:00 PM, RICHARDSON ROOM

• **CALL TO ORDER**

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

The City Council will have an opportunity to preview items listed on the Council Meeting agenda for action and discuss with City Staff.

B. REVIEW AND DISCUSS YEAR 1 BOND PROGRAM PLANNING

C. REPORT ON ITEMS OF COMMUNITY INTEREST

The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.

COUNCIL MEETING – 7:00 PM, COUNCIL CHAMBERS

1. INVOCATION – MABEL SIMPSON

2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – MABEL SIMPSON

3. MINUTES OF THE NOVEMBER 9, 2015, NOVEMBER 16, 2015, AND DECEMBER 7, 2015 MEETINGS

4. VISITORS

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a “City Council Appearance Card” and present it to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns will be addressed by City Staff, may be placed on a future agenda, or by some other course of response.

5. APPOINTMENTS AND REAPPOINTMENTS TO THE EISEMANN CENTER FOUNDATION BOARD, PARKS & RECREATION COMMISSION, SIGN CONTROL BOARD, AND TAX INCREMENT FINANCE ZONE #2 AND #3 BOARD OF DIRECTORS.

PUBLIC HEARING ITEMS:

6. PUBLIC HEARING, ZONING FILE 15-27, A REQUEST BY TOMMY MANN & LAURA HOFFMANN, WINSTEAD PC, REPRESENTING RACETRAC PETROLEUM, INC. FOR A CHANGE IN ZONING FROM I-FP(2) INDUSTRIAL WITH SPECIAL CONDITIONS TO LR-M(2) LOCAL RETAIL AND APPROVAL OF A SPECIAL PERMIT FOR A MOTOR VEHICLE SERVICE STATION TO BE LOCATED AT 700 AND 720 E. ARAPAHO ROAD (SOUTHWEST CORNER OF ARAPAHO ROAD AND BOWSER ROAD).
7. PUBLIC HEARING, ZONING FILE 15-28, AND CONSIDER ADOPTION OF ORDINANCE NO. 4145, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A COMMERCIAL AMUSEMENT CENTER ON A 10.86-ACRE TRACT OF LAND ZONED C-M COMMERCIAL LOCATED ON AT THE NORTHWEST CORNER OF CAMPBELL ROAD AND ALAMO ROAD, RICHARDSON, TEXAS.
8. PUBLIC HEARING, ZONING FILE 15-29, AND CONSIDER ADOPTION OF ORDINANCE NO. 4146, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO APPROVE A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A COMMERCIAL AMUSEMENT CENTER ON A 7.288 ACRE TRACT OF LAND ZONED LR-M(2) LOCAL RETAIL LOCATED ON THE SOUTH SIDE OF CAMPBELL ROAD, BETWEEN FLOYD ROAD AND NANTUCKET DRIVE, RICHARDSON, TEXAS.
9. PUBLIC HEARING, ZONING FILE 15-30, A REQUEST BY KALPITA PATEL, REPRESENTING VRKP LLC, FOR APPROVAL OF A SPECIAL PERMIT FOR MASSAGE ESTABLISHMENT(S), LIMITED TO NO MORE THAN 660 SQUARE FEET WITHIN A SALON SUITES LEASE SPACE, TO BE LOCATED AT 100 S. CENTRAL EXPRESSWAY (SOUTHWEST CORNER OF CENTRAL EXPRESSWAY AND BELT LINE ROAD). THE PROPERTY IS CURRENTLY ZONED PD PLANNED DEVELOPMENT.

10. CONSENT AGENDA:

All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.

- A. CONSIDER ADOPTION OF ORDINANCE NO. 4147, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON TO GRANT A SPECIAL PERMIT FOR A RESTAURANT WITH DRIVE-THROUGH SERVICE ON A 1.17-ACRE TRACT OF LAND ZONED C-M COMMERCIAL LOCATED AT 1380 W. BELT LINE ROAD, RICHARDSON, TEXAS.
- B. CONSIDER RESOLUTION NO. 15-41, AUTHORIZING THE FILING OF A PROJECT APPLICATION IN THE AMOUNT OF \$75,000 WITH THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) FOR A REGIONAL SOLID WASTE PROGRAM LOCAL IMPLEMENTATION PROJECT; AUTHORIZING THE CITY MANAGER TO ACT ON BEHALF OF THE CITY OF RICHARDSON IN ALL MATTERS RELATED TO THE APPLICATION; AND PLEDGING THAT IF FUNDING FOR THIS PROJECT IS RECEIVED, THE CITY OF RICHARDSON, TEXAS WILL COMPLY WITH ALL PROJECT REQUIREMENTS OF THE NCTCOG, THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND THE STATE OF TEXAS.
- C. CONSIDER APPROVAL OF THE 2016 CITY COUNCIL MEETING SCHEDULE.
- D. CONSIDER AWARD OF THE FOLLOWING BIDS:
 1. BID #05-16 – WE RECOMMEND THE AWARD TO SAZ INFRASTRUCTURE FOR THE 2010 ALLEY REHABILITATION PHASE IX (ARAPAHO RD./MARILU ST./LORRIE DR./HANBEE ST.) IN THE AMOUNT OF \$471,997.50.

2. BID #22-16 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO CONSOLIDATED TRAFFIC CONTROLS, INC., FOR THE CO-OP PURCHASE OF TRAFFIC SIGNAL PREEMPTION EQUIPMENT FOR THE TRAFFIC OPERATIONS DEPARTMENT THROUGH THE HOUSTON-GALVESTON AREA COUNCIL OF GOVERNMENTS CONTRACT #PE-05-15 IN THE AMOUNT OF \$175,641.17.
 3. BID #23-16 – WE RECOMMEND THE AWARD TO WASTEQUIP, LLC, FOR THE COOPERATIVE PURCHASE OF REFUSE CONTAINERS THROUGH THE TEXAS LOCAL GOVERNMENT STATEWIDE PURCHASING COOPERATIVE BUYBOARD CONTRACT #425-13 IN AN AMOUNT NOT TO EXCEED \$304,720.20.
 4. RFP #702-15 – WE REQUEST PERMISSION TO ISSUE AN ANNUAL REQUIREMENTS CONTRACT TO CONTROL TECHNOLOGIES, INC., FOR TRAFFIC DATA COLLECTION UNITS PURSUANT TO THE UNIT PRICE OF \$4,890.
- E. AUTHORIZE THE CITY MANAGER TO EXECUTE CHANGE ORDER #1 TO INCREASE PURCHASE ORDER NO. 151436 FOR THE 2010 BOND PROGRAM ALLEY RECONSTRUCTION PHASE VI PROJECT BY \$90,000.00 TO 3D PAVING AND CONTRACTING, LLC, FOR A TOTAL AMOUNT OF \$629,010.50.

EXECUTIVE SESSION

In compliance with Section 551.072 and Section 551.074 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Deliberation Regarding Real Property
 - Purchase of real estate in the areas of N. Glenville Dr./Columbia Dr./Apollo Rd. and Greenville Ave./Main St.
- Personnel
 - Evaluation of the City Manager

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session including the passage of any resolutions for the purchase of real property.

- **ADJOURN**

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE CIVIC CENTER/CITY HALL ON FRIDAY, DECEMBER 11, 2015, BY 5:00 P.M.

AIMEE NEMER, CITY SECRETARY

ACCOMMODATION REQUESTS FOR PERSONS WITH DISABILITIES SHOULD BE MADE AT LEAST 48 HOURS PRIOR TO THE MEETING BY CONTACTING SUSAN MATTISON, ADA COORDINATOR, VIA PHONE AT 972 744-0809, VIA EMAIL AT ADACoordinator@cor.gov, OR BY APPOINTMENT AT 1621 E. LOOKOUT DRIVE, RICHARDSON, TX 75082.



City of Richardson
City Council Worksession
Agenda Item Summary



City Council Meeting Date: Monday, December 14, 2015

Agenda Item: Review and Discuss Year 1 Bond Program Planning

Staff Resource: Don Magner, First Assistant City Manager

Summary: Staff will provide a preview of the implementation plan for year one of the 2015 Bond Program.

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Board/Commission Action: N/A

Action Proposed: N/A

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION AND COUNCIL MEETING
NOVEMBER 9, 2015

WORK SESSION – 6:00 P.M.:

- **Call to Order**

Mayor Voelker called the meeting to order at 6:00 p.m. with the following Council members present:

Paul Voelker	Mayor
Mark Solomon	Mayor Pro Tem
Bob Townsend	Councilmember
Scott Dunn	Councilmember
Mabel Simpson	Councilmember
Marta Gomez Frey	Councilmember
Steve Mitchell	Councilmember

The following staff members were also present:

Dan Johnson	City Manager
Don Magner	First Assistant City Manager
Kent Pfeil	Chief Financial Officer
Cliff Miller	Assistant City Manager Development Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Taylor Lough	Management Analyst
Michael Spicer	Director of Development Services
Brent Tignor	Chief Building Official

Guests:

Mabrie Jackson, President/CEO, North Texas Commission

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

Michael Spicer, Director of Development Services, reviewed Zoning Files 15-25 and 15-26.
Brent Tignor, Chief Building Official, reviewed Sign Control Board Cases 15-09 and 15-10.

B. REVIEW AND DISCUSS AN UPDATE FROM THE NORTH TEXAS COMMISSION

Mabrie Jackson, President/CEO, North Texas Commission gave a review on the history of the North Texas Commission and its mission to market the North Texas region.

C. REPORT ON ITEMS OF COMMUNITY INTEREST

Mayor Voelker announced that the results from the November 3 Charter and Bond Election would be canvassed at the November 16 Council Meeting.

Mayor Pro Tem Solomon noted a successful city-wide pet day and parade. He also congratulated the UTD Comets on winning the Chess competition.

Councilmember Frey commented on a successful RISD Spirit Run with 280 participants and winners being from the UK who were here visiting one of Richardson's corporate campuses.

COUNCIL MEETING – 7:00 PM, COUNCIL CHAMBERS

1. **INVOCATION – MARK SOLOMON**
2. **PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – MARK SOLOMON**
3. **MINUTES OF THE OCTOBER 5, 2015, OCTOBER 12, 2015, OCTOBER 13, 2015 (COUNCIL GOALS RETREAT), OCTOBER 19, 2015, AND NOVEMBER 2, 2015 MEETINGS**

Council Action

Councilmember Frey moved to approve the Minutes as presented. Councilmember Townsend seconded the motion. A vote was taken and passed, 7-0.

4. VISITORS

There were no visitors comments submitted.

PUBLIC HEARING ITEMS:

5. **PUBLIC HEARING, ZONING FILE 15-25, A REQUEST BY JORGE ARMENTEROS, REPRESENTING POLLO CAMPERO OF TEXAS, LLC, FOR APPROVAL OF A SPECIAL PERMIT FOR A RESTAURANT WITH DRIVE-THROUGH SERVICE TO BE LOCATED AT 1380 W. BELT LINE ROAD (NORTH SIDE OF BELT LINE ROAD, EAST OF COIT ROAD. THE PROPERTY IS CURRENTLY ZONED C-M COMMERCIAL).**

Public Hearing

David Gregory, representing the applicant, was available to answer questions. John Boyd, Project Manager for Pollo Campero, was also available to answer questions. Council discussion included concerns regarding traffic impacts, parking, ingress/egress, and the number of drive-through restaurants in the area.

Mr. Bill Zeigler, 201 N. Waterview Drive, addressed Council in opposition to the request stating concerns of traffic and multiple existing drive-through restaurants.

With no further public comments, Mayor Pro Tem Solomon moved to close the Public Hearing, seconded by Councilmember Simpson, and approved unanimously.

Council Action

Councilmember Townsend moved to approve the request as presented with the City Plan Commission recommendations. Councilmember Simpson seconded the motion. A vote was taken and passed, 4-3 with Mayor Pro Tem Solomon, Councilmember Dunn, and Councilmember Mitchell voting in opposition.

6. **PUBLIC HEARING, ZONING FILE 15-26, A REQUEST BY JEFF KAUERZ, REPRESENTING AUTOZONE PARTS, INC., FOR APPROVAL OF A SPECIAL PERMIT FOR A “MOTOR VEHICLE REPAIR SHOP, MINOR” USE TO BE LOCATED AT 1325 E. BELT LINE ROAD (NORTH SIDE OF BELT LINE ROAD, WEST OF PLANO ROAD. THE PROPERTY IS CURRENTLY ZONED C-M COMMERCIAL AND LR-M(2) LOCAL RETAIL).**

Public Hearing

Scott Peruski, PEA, representing the applicant, addressed Council requesting approval of the project and was available to answer questions. Council inquired about the loading zone, parking, signage, the building façade, and motor vehicle repair activities on the site.

Mr. Milton Catalina, 802 Morning Star, addressed Council in opposition to the request. He noted the location as the main issue.

With no further public comments, Mayor Pro Tem Solomon moved to close the Public Hearing, seconded by Councilmember Dunn, and approved unanimously.

Council Action

Mayor Pro Tem Solomon moved to deny the request. Councilmember Mitchell seconded the motion. The motion was approved with the request being denied, 5-2, with Councilmember Townsend and Mayor Voelker in opposition.

ACTION ITEM:

7. **RECEIVE THE NOVEMBER 4, 2015 SIGN CONTROL BOARD MINUTES AND CONSIDER FINAL APPROVAL OF SCB CASE #15-09, 2067 N. CENTRAL EXPWY., A VARIANCE FOR CAMPBELL WAY CENTER AND SCB CASE #15-10, 2069 N. CENTRAL EXPWY., A VARIANCE FOR CAMPBELL WAY CENTER.**

Council Action

Councilmember Frey moved to approve the Sign Control Board cases as presented. Councilmember Mitchell seconded the motion. A vote was taken and passed, 5-2, with Mayor Pro Tem Solomon and Councilmember Dunn opposed.

8. CONSENT AGENDA:

A. CONSIDER ADOPTION OF THE FOLLOWING ORDINANCES:

1. **ORDINANCE NO. 4142, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP BY AMENDING AND RESTATING ORDINANCE NUMBER 3796 (CRYSTAL CREEK PD PLANNED DEVELOPMENT) TO AMEND THE DEVELOPMENT STANDARDS RELATED TO THE DEVELOPMENT OF A SINGLE-FAMILY SUBDIVISION.**
2. **ORDINANCE NO. 4143, AMENDING THE CODE OF ORDINANCES OF THE CITY OF RICHARDSON, BY AMENDING SECTION 1-1 CLARIFYING THE REFERENCE TO AND DESIGNATION OF THE**

CODE OF ORDINANCES; BY AMENDING SECTION 2-186 SUBSECTION (b) UPDATING STATE LAW REFERENCE IN REGARD TO MUNICIPAL COURT COMPLAINTS; BY AMENDING SECTION 5-10 TO DELETE SUBSECTION (2) TO CONFORM TO STATE LAW; BY AMENDING SECTION 6-440 SUBSECTIONS (1) AND (2) BY UPDATING INTERNATIONAL CODE REFERENCES; BY AMENDING SECTION 6-442 BY AMENDING SUBSECTION (1) AMENDING THE HEIGHT OF AN ANTENNAE SYSTEM TO BE CONSISTENT WITH THE COMPREHENSIVE ZONING ORDINANCE; BY AMENDING SECTION 6-460 SUBSECTIONS (1) AND (2) BY UNDATED INTERNATIONAL CODE REFERENCES; BY AMENDING SECTION 7-2 EMERGENCY MANAGEMENT DEFINITIONS; BY AMENDING CHAPTER 7 BY REPLACING REFERENCES TO THE TERMS “CASTASTROPHIC INCIDENT” AND “MAJOR DISASTER” TO “DISASTER”; BY AMENDING SECTION 9-3 UPDATING STATE LAW REFERENCES; BY AMENDING SECTION 12-2 (b) UPDATING STATE LAW REFERENCES IN REGARD TO EMERGENCY SERVICE FEES; BY AMENDING SECTION 12-29 BY DELETING THE LAST SENTENCE CONTAINING OBSOLETE LANGUAGE; BY AMENDING SECTION 12-32 CLARIFYING DELINQUENT HOTEL OCCUPANCY TAX PENALTY AND INTEREST; BY AMENDING SECTION 14-61 BY AMENDING DEFINITIONS RELATED TO ABANDONED AND JUNKED VEHICLES; BY AMENDING SECTION 14-77 (a) UPDATING STATE LAW REFERENCES; BY AMENDING SECTION 14-80 (a), (b) AND (c) REGARDING GARAGE KEEPERS AND ABANDONED MOTOR VEHICLES TO CONFORM TO STATE LAW AND UPDATING STATE LAW REFERENCES; BY AMENDING SECTION 14-81 UPDATING STATE LAW REFERENCES; BY AMENDING SECTION 14-125 TO ADD SUBSECTION (g) REGARDING GRAFFITI REMOVAL; BY AMENDING SECTION 22-11 (a) AND (b) UPDATING REFERENCES TO STATE LAW AND TO CONFORM TO STATE LAW; AND BY AMENDING SECTION 22-147 (c) UPDATING STATE LAW REFERENCES.

B. CONSIDER THE FOLLLOWING RESOLUTIONS:

- 1. RESOLUTION NO. 15-34, NOMINATING HEALTH CARE SERVICE CORPORATION, A MUTUAL LEGAL RESERVE COMPANY, D/B/A BLUE CROSS AND BLUE SHIELD OF TEXAS (“HCSC”) AS A TEXAS STATE ENTERPRISE ZONE PROJECT.**
- 2. RESOLUTION NO. 15-35, CASTING ITS VOTE FOR A MEMBER OF THE BOARD OF DIRECTORS OF THE CENTRAL APPRAISAL DISTRICT OF COLLIN COUNTY.**
- 3. RESOLUTION NO. 15-36, CASTING ITS VOTE FOR THE FOURTH MEMBER OF THE BOARD OF DIRECTORS OF THE DALLAS CENTRAL APPRAISAL DISTRICT.**
- 4. RESOLUTION NO. 15-37, ADOPTING THE CITY OF RICHARDSON CITY COUNCIL STATEMENT OF GOALS.**

5. **RESOLUTION NO. 15-38, APPROVING THE TERMS AND CONDITIONS OF THE LOCAL TRANSPORTATION PROJECT ADVANCE FUNDING AGREEMENT FOR A CONGESTION MITIGATION AND AIR QUALITY (CMAQ) IMPROVEMENT PROGRAM PROJECT FOR THE UNIVERSITY TRAIL PHASE II PROJECT, BY AND BETWEEN THE CITY OF RICHARDSON, TEXAS, AND THE STATE OF TEXAS, ACTING BY AND THROUGH THE TEXAS DEPARTMENT OF TRANSPORTATION, AND AUTHORIZING ITS EXECUTION BY THE CITY MANAGER.**

C. AUTHORIZE THE ADVERTISEMENT OF THE FOLLOWING BIDS:

1. **BID #03-16 – RICHARDSON WALKS TO DART PEDESTRIAN ROUTE IMPROVEMENTS. BIDS TO BE RECEIVED BY TUESDAY, DECEMBER 1, 2015 AT 3:00 P.M.**
2. **BID #08-16 – RTR-RENNER ROAD INTERSECTION IMPROVEMENTS. BIDS TO BE RECEIVED BY TUESDAY, DECEMBER 1, 2015 AT 2:00 P.M.**

D. CONSIDER AWARD OF THE FOLLOWING BIDS:

1. **BID #81-15 – WE REQUEST AUTHORIZATION TO ISSUE AN ANNUAL REQUIREMENTS CONTRACT TO RICHARDSON READY ELECTRIC, INC. AND BOYD ELECTRIC, LTD FOR ELECTRICAL SERVICES PURSUANT TO HOURLY PRICES BID FOR ELECTRICIANS, ELECTRICIAN HELPERS, LADDER TRUCK RENTAL/ OPERATORS, AND CONTRACTOR'S MARK UP FOR PARTS.**
2. **BID #01-16 – WE RECOMMEND THE AWARD TO HERITAGE ONE ROOFING FOR THE RESTROOM ROOF REPLACEMENTS IN THE AMOUNT OF \$56,800.**
3. **BID #15-16 – WE REQUEST AUTHORIZATION TO ISSUE A CO-OP PURCHASE ORDER TO SAM PACK'S CHEVROLET FOR THE PURCHASE OF ELEVEN (11) 2016 CHEVROLET PURSUIT RATED POLICE TAHOE'S AND ONE (1) CHEVROLET PURSUIT RATED IMPALA FOR THE POLICE DEPARTMENT THROUGH THE STATE OF TEXAS CONTRACT #071-A1 IN THE AMOUNT OF \$395,343.79.**
4. **BID #16-16 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE ANNUAL REQUIREMENTS CONTRACT TO POLLOCK PAPER DISTRIBUTORS AND EAGLE BRUSH AND CHEMICAL, INC. FOR CUSTODIAL SUPPLIES AND EQUIPMENT THROUGH THE TEXAS LOCAL GOVERNMENT STATEWIDE PURCHASING COOPERATIVE BUYBOARD CONTRACT #490-15 PURSUANT TO VARIOUS PERCENTAGES OF DISCOUNT FROM THEIR CATALOG PRICELIST.**
5. **BID #17-16 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE PURCHASE ORDER TO HALL-MARK FIRE**

APPARATUS TEXAS, LLC FOR AN E-ONE QUEST CUSTOM FIRE APPARATUS WITH 100' AERIAL FOR THE FIRE DEPARTMENT THROUGH THE HOUSTON-GALVESTON AREA COUNCIL OF GOVERNMENTS CONTRACT #FS12-13 IN THE AMOUNT OF \$1,012,000.

- 6. BID #18-16 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO EAST TEXAS MACK TRUCK SALES, LP FOR THE CO-OP PURCHASE OF A MACK MRU613 CAB-OVER/CHASSIS FOR A FRONTLOADER FOR THE SOLID WASTE DEPARTMENT THROUGH THE REGION VIII EDUCATION SERVICE CENTER'S THE INTERLOCAL PURCHASING SYSTEM (TIPS) CONTRACT #2102314 IN THE AMOUNT OF \$135,700.**
- 7. BID #19-16 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO GRAPEVINE DODGE CHRYSLER JEEP FOR THE CO-OP PURCHASE OF THREE (3) 2016 DODGE CHARGER POLICE PURSUIT VEHICLES FOR THE POLICE DEPARTMENT THROUGH THE BUYBOARD CONTRACT #430-13 IN THE AMOUNT OF \$82,795.**
- 8. BID #20-16 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE PURCHASE ORDER TO TASER INTERNATIONAL FOR THE COOPERATIVE PURCHASE OF CONDUCTED ELECTRICAL DEVICES AND ACCESSORIES FOR THE POLICE DEPARTMENT THROUGH THE STATE OF TEXAS CONTRACT #680-A1 IN THE AMOUNT OF \$50,895.90.**
- 9. BID #21-16 – WE REQUEST AUTHORIZATION TO ISSUE A PURCHASE ORDER TO METRO FIRE APPARATUS SPECIALISTS, INC. FOR THE COOPERATIVE PURCHASE OF THERMAL IMAGING CAMERA REPLACEMENT/UPGRADES FOR THE FIRE DEPARTMENT PURSUANT TO THE LOCAL GOVERNMENT PURCHASING COOPERATIVE (BUYBOARD) CONTRACT #432-13 IN THE AMOUNT OF \$93,050.**

Council Action

Councilmember Mitchell moved to approve the Consent Agenda as presented. Councilmember Frey seconded the motion. A vote was taken and passed, 7-0

EXECUTIVE SESSION

In compliance with Section 551.074 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Personnel
 - Evaluation of the City Manager

Council Action

Council convened into Executive Session at 8:35 p.m.

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

Council Action

Council reconvened into Regular Session at 10:10 p.m. There was no action as a result of the Executive Session.

ADJOURNMENT

With no further business, the meeting was adjourned at 10:10 p.m.

MAYOR

ATTEST:

CITY SECRETARY

MINUTES
RICHARDSON CITY COUNCIL
SPECIAL CALLED MEETING AND WORK SESSION
NOVEMBER 16, 2015

SPECIAL CALLED MEETING AND WORK SESSION – 6:00 P.M.:

• **Call to Order**

Mayor Pro Tem Solomon called the meeting to order at 6:05 p.m. with the following Council members present:

Mark Solomon	Mayor Pro Tem
Bob Townsend	Councilmember
Scott Dunn	Councilmember
Mabel Simpson	Councilmember (<i>arrived at 6:12 p.m.</i>)
Marta Gomez Frey	Councilmember
Steve Mitchell	Councilmember

Absent:

Paul Voelker	Mayor
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The following staff members were also present:

Dan Johnson	City Manager
Don Magner	First Assistant City Manager
Kent Pfeil	Chief Financial Officer
Cliff Miller	Assistant City Manager Development Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Taylor Lough	Management Analyst

Guests:

Dr. Hobson Wildenthal, President Ad Interim, UTD
Dr. Calvin Jamison, Vice President – Administration, UTD
Amanda Rockow, Vice President – Public Affairs, UTD

A. VISITORS

Mr. Bob Nusser, 777 Custer, addressed Council thanking the City and Staff in general and expressing appreciation for the Bond and Charter Election results.

Mr. Bill Sproull, 411 Belle Grove, addressed Council expressing appreciation for the Bond and Charter Election results.

B. CONSIDER APPROVAL OF RESOLUTION NO. 15-39, CANVASSING THE RETURNS AND DECLARING THE RESULTS OF THE BOND ELECTION HELD NOVEMBER 3, 2015

Council Action

Councilmember Townsend moved to approve Resolution No. 15-39, canvassing the returns and declaring the results of the Bond Election held on November 3, 2015. Councilmember Dunn seconded the motion. A vote was taken and passed, 6-0 with Mayor Voelker absent.

C. CONSIDER APPROVAL OF RESOLUTION NO. 15-40, CANVASSING AND DECLARING THE RESULTS OF THE SPECIAL ELECTION OF THE CITY OF RICHARDSON HELD NOVEMBER 3, 2015, REGARDING ADOPTION OF AMENDMENTS TO THE CITY CHARTER OF THE CITY OF RICHARDSON

Council Action

Councilmember Frey moved to approve Resolution No. 15-40, canvassing and declaring the results of the Special Election for Charter Amendments held on November 3, 2015. Councilmember Simpson seconded the motion. A vote was taken and passed, 6-0 with Mayor Voelker absent.

D. CONSIDER ADOPTION OF ORDINANCE NO. 4144, ADOPTING THE AMENDMENTS TO THE HOME RULE CHARTER APPROVED BY THE VOTERS OF THE CITY OF RICHARDSON AT AN ELECTION HELD ON NOVEMBER 3, 2015

Council Action

Councilmember Mitchell moved to approve Ordinance No. 4144, adopting the amended Charter. Councilmember Dunn seconded the motion. A vote was taken and passed, 6-0 with Mayor Voelker absent.

E. REVIEW AND DISCUSS THE UNIVERSITY OF TEXAS AT DALLAS UPDATE

Dr. Hobson Wildenthal, President Ad Interim, UTD, gave an update on the University of Texas at Dallas.

F. REPORT ON ITEMS OF COMMUNITY INTEREST

Mr. Johnson reported on the Legacy Award that the City received at the Methodist Richardson Medical Center Foundation Yellow and Black Tie Gala. Councilmember Simpson expressed appreciation to the hospital for recognizing the City.

Councilmember Dunn reported on the Leadership Richardson annual government day with class XXXI.

Mayor Pro Tem Solomon recognized the delegation visiting from Pengzhou, China.

ADJOURNMENT

With no further business, the meeting was adjourned at 7:04 p.m.

MAYOR

ATTEST:

CITY SECRETARY

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION MEETING
DECEMBER 7, 2015

WORK SESSION – 6:00 P.M.:

• **Call to Order**

Mayor Voelker called the meeting to order at 6:00 p.m. with the following Council members present:

Paul Voelker	Mayor
Mark Solomon	Mayor Pro Tem
Bob Townsend	Councilmember
Scott Dunn	Councilmember
Mabel Simpson	Councilmember
Marta Gomez Frey	Councilmember
Steve Mitchell	Councilmember

The following staff members were also present:

Dan Johnson	City Manager
Don Magner	First Assistant City Manager
Kent Pfeil	Chief Financial Officer
Cliff Miller	Assistant City Manager Development Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Taylor Lough	Management Analyst

A. VISITORS

There were no visitor comments submitted.

C. REVIEW AND DISCUSS THE 2016 CITY COUNCIL MEETING CALENDAR

Don Magner, First Assistant City Manager, reviewed the proposed calendar of meetings.

D. REVIEW AND DISCUSS THE CITY COUNCIL GOALS FOR THE 2015 – 2017 COUNCIL TERM

Don Magner, First Assistant City Manager, reviewed the strategies and timeline for the 2015 – 2017 Council Goals.

Enhance the Quality of Life of Our Stakeholders

- Implement 2015 Bond Program in a manner that is financially responsible, maximizes opportunities, and is clearly communicated to stakeholders
- Commence with implementation of the Spring Creek Nature Area Master Plan
- Commence with aquatics assessment and planning initiative
- Evaluate ways to enhance infrastructure maintenance strategies through operating budget support

Attract & Retain Targeted Businesses & Increase the Number, Quality, & Variety of Job Opportunities Throughout the City

- Enhance REDP work plan to include additional small business programming, support and services
- Continue Economic Gardening Services
- Explore the next era of entrepreneurial programming and services
- Conduct “Gap-Analysis” of retail in Richardson to determine specific new feasible retail opportunities

Strengthen Property Values

- Review and adopt 2015 International Building Codes
- Review and recommend revisions to property maintenance codes
- Commercial Program
- Initiate second phase of Main Street / Central Expressway rezoning
- Work with Dallas County to maximize the scope of the W. Spring Valley Road Rehab project

Appropriate Use of Technology & Innovation

- Initiate and complete IT Master Plan
- Develop multi-year technology funding strategy
- Obtain contemporary work order and asset management system
- Evaluate and organize cor.net based on commonly requested information in order to streamline repeat requests
- Improve Communications
- Identify goals and strategies for branding study and future marketing campaigns
- Research and report on methods to refresh/update Richardson’s logo and possibility to create a tagline
- Develop resource to inform residents about infrastructure related projects
- Implement Police Public Service Announcements

Increase the Sense of Community

- Define, explore, and enhance cultural diversity initiatives in the community
- Work with RIA & HASR on an annual Compassionate Richardson event
- Expand Month of Volunteerism to collaborate with community partners on a city wide day of volunteerism
- Develop a plan to begin citywide place-making, place-marking, and wayfinding initiative

Improve Customer Experience in Interactions with the City

- Make customer focused improvements to City Hall through 2015 bond program
- Develop a “How to do business” in Richardson for businesses for RCC and COR
- Evaluate and enhance communication material and methods used for welcoming new residents
- Implement “Express Permitting” for tenant finish out permits
- Implement Year 2 initiatives to make Richardson more ADA accessible

Improve Accessibility to the City

- Make enhancements to “Bike Friendly Community” initiative
- Evaluate safe pass and bicycle parking ordinance
- Study options for rail station TOD “last mile”
- Ongoing support of Cottonbelt Rail System
- Continue to track and promote Richardson’s Vision for the US-75 Corridor Project

Attract, Develop, & Retain Quality City Employees

- Develop and implement training program focused on supporting new supervisors
- Evaluate and develop recommendations regarding the city’s compensation and benefits package to ensure that both elements remain market competitive and financially sustainable
- Create a leadership academy to provide skills development opportunities for current and future leaders

Effective & Efficient Management of City Finances

- Monitor and adjust fees and revenue sources on an annual basis to ensure they are market competitive and reflective of services provided
- Sherrill Park Fee Review
- Continue to evaluate opportunities to refund existing debt and take advantage of interest savings
- Finalize Water/Wastewater Infrastructure Management Plans
- Evaluate options for a Meter Replacement Program
- Evaluate options for reducing I&I
- Work with the NTMWD and member cities to explore alternative strategies for governance and rate setting

Improve Documentation, Processes, Structure, & Services

- Conduct and implement Facilities Maintenance Master Plan
- Complete Service Center Outdoor Master Plan updates
- Identify methods to solicit feedback regarding community programs, projects and services
- Establish standing committee with UT Dallas to strengthen staff relationships and collaboration on services and programs

Increase Private Participation & Contributions

- Develop historical profile of donors and their contributions
- Create citywide strategy regarding cultivating philanthropic opportunities and sponsorships of city services and events
- Clearly state opportunities for donor participation and contributions

Proposed for Winter / Spring 2016

- Implement Year 1 of the 2015 Bond Program
- Initiate second phase of Main Street / Central Expressway rezoning
- Evaluate and/or implement debt refunding opportunity
- Initiate efforts to implement Spring Creek Nature Area Master Plan
- Review compensation and benefits philosophy and practices with our benchmark cities

- Establish standing committee with UT Dallas to enhance staff collaboration and planning

Proposed for Summer/Fall 2016

- Monitor and adjust fees and revenue sources
- Review and adopt international building codes
- Completion of IT Master Plan
- Conduct initial briefing related to citywide strategy regarding cultivating philanthropic opportunities and sponsorships of city services and events
- Conduct initial briefing regarding goals and strategies for branding study and future marketing campaigns

E. REPORT ON ITEMS OF COMMUNITY INTEREST

Mayor Pro Tem Solomon reported on a great Christmas Parade and thanked Senior Net and the Rotary Club for the new Santa's sleigh.

Councilmember Frey reported on the Eastside Tree Lighting, the Richardson Symphony Orchestra, and Santa's Village and tree lighting.

Councilmember Mitchell reported on the meeting of the Dallas Regional Mobility Coalition and the discussions regarding the HOV lane on US 75. He also noted the passing of Congressman Sam Johnson's wife, Shirley Johnson.

Mayor Voelker reported on the Richardson Interfaith Alliance Thanksgiving Dinner as well as the Senior Thanksgiving Dinner hosted by the City.

Mr. Johnson, City Manager, reported on the Richardson Rotary Club recognition of City of Richardson Employee of the Year, Don Sourber; and City of Richardson Supervisor of the Year, Noura Jammal.

EXECUTIVE SESSION

In compliance with Section 551.074 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Personnel
 - Evaluation of the City Manager

Council Action

Council convened into Executive Session at 7:00 p.m.

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

Council Action

Council reconvened into Regular Session at 8:30 p.m. There was no action as a result of the Executive Session.

ADJOURNMENT

With no further business, the meeting was adjourned at 8:30 p.m.

ATTEST:

MAYOR

CITY SECRETARY



City of Richardson
City Council Meeting
Agenda Item Summary



Meeting Date: Monday, December 14, 2015

Agenda Item: Consider Appointments to The Eisemann Center Foundation Board, Parks & Recreation Commission, Sign Control Board, and Tax Increment Finance Zone #2 and #3 Board Of Directors.

Staff Resource: Dan Johnson, City Manager

Summary: The City Council met on September 21, 2015, to discuss appointments to various boards and commissions. This item is set to provide Council the opportunity to take action regarding the various appointments.

Board/Commission Action: NA

Action Proposed: Take action making appointments to the various boards and commissions.



MEMO

DATE: December 10, 2015
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 15-27 – Zoning Change & Special Permit – Motor Vehicle Service Station – SWC Arapaho Road and Bowser Road

REQUEST

Tommy Mann and Laura Hoffmann, Winstead PC, representing RaceTrac Petroleum, Inc., are requesting approval of a change in zoning from I-FP(2) Industrial with special conditions to LR-M(2) Local Retail and approval of a Special Permit for a motor vehicle service station to be located at the southwest corner of Arapaho Road and Bowser Road.

BACKGROUND

The subject properties, totaling 3.4 acres, were initially developed in 1957 with subsequent development and expansions in 1973 and 1983. Existing development includes two (2) office buildings, one (1) of which has multiple drive-through bank lanes. The applicant intends to demolish the existing buildings, and the site would be redeveloped to accommodate a convenience store with gasoline pumps on the eastern portion of the property. There is no development proposed western portion of the property at this time.

The requested zoning change is necessary to allow the applicant to request a Special Permit for a motor vehicle service station. The change would also require future development to be a minimum 85% masonry construction (non-masonry construction is currently allowed). The applicant is proposing changes to the perimeter of the site including the closure and relocation of existing median openings and driveways along Arapaho Road and increased landscaping along Arapaho and Bowser Roads. As part of the Special Permit request, the applicant is requesting a reduction to the internal stacking requirements, which is consistent with reductions granted for other recently developed motor vehicle service stations. The proposed 5,500-square foot convenience store provides an outdoor seating area at the northeast corner, and the gas pump area provides ten (10) double-sided gasoline pumps.

The City Plan Commission discussed whether the use was consistent with the East Arapaho/Collins market study that was completed in 2013. The applicant explained the proposed use provided support services and enhanced streetscape which were stated objectives in the market study. Commissioners also discussed concerns related to increased traffic as well as future development possibilities for the western portion of the property.

One (1) property owner spoke and stated he was not in favor or opposition; however, he stated he had traffic-related concerns.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 6-1 (Commissioner Ferrell opposed), recommends approval of the request as presented subject to the attached special conditions.

ATTACHMENTS

Special Conditions

CC Public Hearing Notice

City Plan Commission Minutes 11-17-2015

Staff Report

Zoning Map

Aerial Map

Oblique Aerial Looking North

Zoning Exhibit (Exhibit "B-1")

Enlarged Zoning Exhibit (Exhibit "B-2")

Building & Canopy Elevations (Exhibits "C-1" & "C-2")

Color Building & Canopy Elevations (Exhibits "D-1" & "D-2")

Site Photos

Applicant's Statement

Notice of Public Hearing

Notification List

ZF 15-27 Special Conditions

1. The subject 3.4-acre property shall be zoned for the LR-M(2) Local Retail District and shall be developed in accordance with the zoning regulations of the LR-M(2) Local Retail District.
2. A Special Permit shall be granted to allow a motor vehicle service station as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof, subject to the following conditions:
 - a. The motor vehicle service station shall be constructed in substantial conformance with the attached concept plan (Exhibit "B-1") and building and canopy elevations (Exhibits "C-1" & "C-2").
 - b. A variance to allow reduced internal stacking at the gas pumps as shown on the attached concept plan (Exhibit "B") shall be allowed.
 - c. Outside storage and display of goods, wares, or merchandise shall be prohibited, except where shown on Exhibit "B".



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: November 24, 2015
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: NOVEMBER 27, 2015

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00p.m. on Monday, December 14, 2015, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 15-27

A request by Tommy Mann & Laura Hoffmann, Winstead PC, representing RaceTrac Petroleum, Inc. for a change in zoning from I-FP(2) Industrial with special conditions to LR-M(2) Local Retail and approval of a Special Permit for a motor vehicle service station to be located at 700 and 720 E. Arapaho Road (southwest corner of Arapaho Road and Bowser Road). The property is currently zoned I-FP(2) Industrial.

ZF 15-28

A request by John Perry, representing JVA Properties, for approval of a Special Permit for a commercial amusement center (indoor trampoline park) to be located at 110 W. Campbell Road (northwest corner of Campbell Road and Alamo Road). The property is currently zoned C-M Commercial.

ZF 15-29

A request by David Danglard, representing K1 Speed, for approval of a Special Permit for a commercial amusement center (indoor karting business) to be located at 677 W. Campbell Road (south side of Campbell Road, between Floyd Road and Nantucket Drive). The property is currently zoned LR-M(2) Local Retail.

ZF 15-30

A request by Kalpita Patel, representing VRKP LLC, for approval of a Special Permit for massage establishment(s), limited to no more than 660 square feet within a salon suites lease space, to be located at 100 S. Central Expressway (southwest corner of Central Expressway and Belt Line Road). The property is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –NOVEMBER 17, 2015**

PUBLIC HEARINGS

Zoning File 15-27 – RaceTrac: Consider and take necessary action on a request for approval of a change in zoning from I-FP(2) Industrial with special conditions to LR-M(2) Local Retail, and approval of a Special Permit for a motor vehicle service station. The property is located at 700 and 720 E. Arapaho Road, southwest corner of Arapaho Road and Bowser Road.

Mr. Shacklett stated the applicant was requesting the zoning change to accommodate the development of a RaceTrac service station on approximately 3 acres on the southwest corner of Bowser and Arapaho Roads. He added that no development was planned for the western 1.2 acres of the site.

Mr. Shacklett pointed out the property was located within the East Arapaho/Collins Redevelopment and Enhancement district (East Arapaho/Collins) and highlighted some of the opportunities and features outlined in 2013 Market Study including attracting support services/amenities and enhancing curb appeal.

Mr. Shacklett noted that a 5,500 square foot convenience store would be constructed towards the rear of the site with ten (10) double-sided gas pumps along Arapaho Road, and the following changes were being proposed for the median openings as well as the driveways:

- Reduce median openings from 3 to 1 to allow adequate storage and transition for vehicles making a left turn into the site;
- Reduce current driveways along Arapaho Road from 3 to 2 to line up new median openings; and
- Add a driveway along Bowser Road between Arapaho Road and the southernmost driveway to aide in circulation through the site.

Mr. Shacklett acknowledged that trip generations had been discussed with the applicant and they provided a report showing an increase in A.M. peak trip hours, but most of those vehicles would already be on Arapaho Road and not new vehicles generated by the site. In the P.M. hours there would also be a slight increase, but the increase in the number of trips would not significantly impact the roadways and would be mitigated by the median and driveway modifications.

Mr. Shacklett concluded his presentation by outlining the variance requests for the distance from center of pump to the curb or building line, and the fact they were similar to requests from almost every other service station applicant since the changes to the ordinance in 2008. He added that no correspondence or phone calls had been received regarding the proposed rezoning.

Commissioner Maxwell asked if there would be a problem with the landscape plan for the site and the power lines along Arapaho Road. He also wanted to know the reason for placing the air and vacuuming service within landscape area along Arapaho Road.

Mr. Shacklett acknowledged there were power lines in the area and if the applicant could not negotiate an agreement with Oncor, they could come back before the Commission and ask for relief and permission to plant ornamental trees in-lieu-of canopy trees.

Regarding the air and vacuum service, Mr. Shacklett stated that staff had suggested moving it elsewhere, but in talks with the representative from RaceTrac they said they have a lot of trucks pulling trailers that need the longer parking area.

Commissioner Frederick asked if the “hatched” area on the zoning exhibit would contain landscaping.

Mr. Shacklett replied they would have landscaping in compliance with the City’s landscaping policy.

With no further questions for staff, Chairman Hand opened the public hearing.

Mr. Tommy Mann, 2728 N. Harwood Road, Suite 500, Dallas, Texas, stated he was representing RaceTrac, a privately held corporation with over 400 stores in the south and southeastern United States. He added the building currently on the site is vacant and was not consistent with the City’s vision for the area, whereas, the proposed zoning change would be more in agreement with that vision.

Mr. Mann highlighted the proposed changes and enhancements to the site versus what currently exist including:

- Eight-five percent masonry construction;
- Increased landscaping;
- Pedestrian amenities;
- Energy conservation in building design;
- Public safety and traffic flow; and
- Updated and modern elevations.

Mr. Mann concluded his presentation by stating he thought what the applicant was proposing was a step forward toward the City’s vision for the area.

Commissioner Maxwell asked if the whole site would be demolished.

Mr. Mann replied that RaceTrac would demolish both sites then prepare the driveways and curb cuts for the gas station and convenience store, but the adjacent site would be left for future development.

Commissioner Roland asked who the applicant anticipated would be using the outdoor seating area and was there some type of monitoring in place to keep individuals from loitering.

Mr. Mann said all stores are corporately owned and the outdoor seating areas would be for customers only and the store management would monitor the area.

Commissioner Frederick asked if the applicant was intending to secure a liquor license to sell beer and wine.

Mr. Mann replied that RaceTrac would be applying for a liquor license through the Texas Alcoholic Beverage Commission (TABC).

No other comments were received in favor and Chairman Hand calls for comments in opposition.

Mr. Steven Dumais, 908 N. Bowser Road, Richardson, Texas, stated he was not in favor or opposed, but noted that his family owns the properties from 903 to 930 Bowser Road on the east side of the road, as well as 919 Bowser Road on the west. He stated his main concerns were the traffic going south on Bowser Road and the impact on the adjacent residential neighborhood; the number of trips generated by the proposed use, and asked if a signal light was planned for one of the exits on Arapaho Road. In addition, Mr. Dumais wanted to know if the service station would be selling diesel fuel.

Chairman Hand replied the plans submitted by the applicant was showing a 10,000 gallon diesel tank so it appeared they would be selling that type of fuel.

Regarding the signal light and the driveways on Bowser Road, Mr. Shacklett stated that if a driver wanted to make a left onto Bowser Road, they could go to the southern exit and make the left. He added there would not be a signal light at the western driveway on Arapaho Road, however, if someone wanted to go west on Arapaho Road, they could exit onto Bowser Road and then go north to the existing signal light to make a left.

With no further comments in opposition, Chairman Hand asked the applicant if he wanted to make a closing statement.

Mr. Mann stated the number of vehicles entering and the existing site would be made up of vehicles already using Arapaho Road and the site would not be a destination use, but a convenience use. He also confirmed that RaceTrac would be selling diesel fuel.

Chairman Hand closed the public hearing.

Commissioner Frederick agreed with Mr. Mann's assessment that the proposed service station would not generate new business on Arapaho or Bowser Roads, but would simply provide a service to those drivers already using the roadways.

Commissioner Taylor commended the applicant's plans to give the property a sense of community access and involvement with wider sidewalks and bicycle racks.

Commissioner Ferrell said the proposal would be an improvement to what was currently located on the site, but expressed concerns that the whole site was not being used.

Chairman Hand also commended the applicant and the design team on the comprehensive package presented to the Commission and felt it would be an improvement over the existing site, but did have some concerns about the very large green space on the west side of the service station and the office building on the companion parcel. He also wanted to know if there were any established guidelines for the East Arapaho/Collins area.

Mr. Shacklett replied that the East Arapaho/Collins study focused on studying the existing inventory, vacancy rates, infrastructure, etc., and read a list of overall recommendations:

- Maintain and strengthen linkage to University of Texas at Dallas (UTD)
- Improve internet service
- Further analyze opportunity sites for potential redevelopment
- Consider establishing a financial assistance program for new development
- Attract support services and amenities
- Enhance curb appeal
- Develop guidelines and standards for private improvements
- Brand the study area

In addition, the study suggested potential implementation actions including amending the zoning requirements; plan and construct infrastructure improvements; work with UTD to develop a marketing or requirement plan; and investigate public/private partnership opportunities.

Mr. Chavez said the study was essentially a market study to uncover elements that could be accomplished to enhance the area as opposed to the more intensive changes as done for the US 75 Corridor and West Spring Valley areas.

Vice Chair Bright concurred with Mr. Hand's comments about the thoroughness of the presentation and felt it was an appropriate use of the property.

Motion: Vice Chair Bright made a motion to recommend approval of Zoning File 15-27 as presented; second by Commissioner Taylor. Motion approved 6-1 with Commissioner Ferrell opposed.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, Assistant Director – Development Services *SC*

DATE: December 10, 2015

RE: **Zoning File 15-27:** Zoning Change & Special Permit – Motor Vehicle Service Station – SWC Arapaho Road and Bowser Road.

REQUEST:

Approval of a change in zoning from I-FP(2) Industrial with special conditions to LR-M(2) Local Retail and approval of a Special Permit for a new motor vehicle service station at the southwest corner of Arapaho Road and Bowser Road.

APPLICANT & PROPERTY OWNER:

Tommy Mann & Laura Hoffmann – Winstead PC representing RaceTrac Petroleum, Inc. / Lennie Nicholson – LegacyTexas Bank

EXISTING DEVELOPMENT:

The 3.4-acre subject property consists of two (2) lots, consisting of a 3,444-square foot vacant office building and a vacant 20,794-square foot bank building with multiple drive-thru lanes.

ADJACENT ROADWAYS:

Arapaho Road: Six-lane, divided arterial; 38,600 vehicles per day on all lanes, eastbound and westbound, west of Bowser Road (April 2014).

Bowser Road: Four-lane, divided major collector; 4,600 vehicles per day on all lanes, northbound and southbound, south of Arapaho Road (March 2014).

SURROUNDING LAND USE AND ZONING:

North: Office; I-M(1) Industrial

South: Industrial; I-FP(2) Industrial

East: Retail/Commercial & Office; LR-M(1) Local Retail & I-M(1) Industrial

West: Industrial; I-FP(2) Industrial

FUTURE LAND USE PLAN:

Enhancement/Redevelopment

These are areas where reinvestment and redevelopment is encouraged. Further study may be necessary to understand the full potential for redevelopment. This property is located in the East Arapaho/Collins enhancement/redevelopment area. This area has been challenged in recent years by evolving markets, technology, and user requirements. Redevelopment, enhancement, and building format changes should be considered. Mid-rise office uses are appropriate throughout the area and mixed-use buildings with ground-floor retail could be appropriate at key locations, including adjacent to the Arapaho Center rail transit stations.

Future Land Uses of Surrounding Area:

North: Enhancement/Redevelopment

South: Enhancement/Redevelopment

East: Enhancement/Redevelopment

West: Enhancement/Redevelopment

EXISTING ZONING:

I-FP(2) Industrial (Ordinance Number 47-A).

INFRASTRUCTURE IMPACTS:

The subject request will not have any significant impacts on the existing utilities in the area.

APPLICANT'S STATEMENT

(Please refer to the complete Applicant's Statement.)

STAFF COMMENTS:

Background:

The subject properties were zoned I-FP(2) Industrial in 1957. The District allows industrial uses, such as warehouse, manufacturing, and distribution center uses as well as office uses, and allows non-masonry construction such as metal buildings. The properties were initially developed in 1967 with subsequent development and building expansions in 1973 and 1983. The properties were recently sold, and the buildings are currently vacant.

Request:

The applicant's request is to change the zoning from I-FP(2) Industrial to LR-M(2) Local Retail and for approval of a Special Permit for a motor vehicle service station to be located on the eastern portion of the subject property. The western portion of the property would also be rezoned, but the motor vehicle service station would be limited to the eastern portion as shown on Exhibit "B". The proposed LR-M(2) Local Retail zoning designation for the western portion

of the property would allow retail, restaurant, and office uses as well as require the building to be constructed with a minimum of 85% masonry materials.

The existing buildings would be demolished, and the site would be reconfigured to accommodate the proposed convenience store and gas fueling area and canopy. The zoning exhibit (Exhibit “B”) shows the motor vehicle service station configuration as well as a possible configuration for the western portion of the property. The building and site configuration shown on the western property depicts a 5,000-square foot office development and is for illustrative purposes only. However, it demonstrates one (1) possible option for how the remaining property could be developed.

Proposed Motor Vehicle Service Station Development:

- Building Area: 5,500 square feet convenience store / 9,565-square foot canopy covering ten (10) double-sided gasoline pumps.
- Building Materials: Exceeds 85% masonry. Materials include brick and stone along with an EIFS and metal cornice. Dark bronze metal awnings and canopies are utilized over doors and windows. Yellow metal awnings are used over the front windows with faux wood (Trex) planks placed on top of the brick at the front building corners.
- Building Setback:
 - Front: 40 feet along Arapaho Road and Bowser Road.
 - Side: No interior side setback required.
 - Rear: No rear setback required.
- Building Height: 1 story / 25’0” to top of tallest element
- Floor Area Ratio: 0.16:1 proposed (includes canopy) / Maximum 0.5:1 allowed
- Landscaping Percentage: 25% proposed, 7% required
- Building Orientation: The main building entrance faces Arapaho Road with a secondary entrance facing Bowser Road. The gasoline pumps are located parallel to Arapaho Road, with a covered, outdoor seating area located at the northeast corner of the building.
- Number of Parking Spaces: 36 proposed; 17 required.

Elements Related to the Request:

Median Opening – There are three (3) median openings along Arapaho Road between Bowser Road and the western property line of the subject property (see “Oblique Aerial Looking North”, attached in the agenda packet). Median opening #1 only allows eastbound traffic to turn left into the office property on the north side of Arapaho; however, the other two (2) median openings (#2 and #3) allow left turns in and out of the subject property on the south side of Arapaho. The following deficiencies exist today with regard to the medians along Arapaho Road:

- Minimum spacing between median openings.
- No left turn lane for westbound traffic turning left at median opening #2

- Minimum storage and transition length of the left turn bay for westbound traffic turning left at median opening #3.

As part of the proposed redevelopment, the applicant is proposing modifications to address issues related to the median openings. The City's Master Thoroughfare Plan and Design Standards require 730 feet of separation between median openings along an arterial where one (1) median opening is located at a street intersection. In this instance, the frontage of the property is only 432 feet long, which would preclude a median opening along Arapaho Road.

In an effort to maximize the distance between a median opening from the Bowser Road intersection, the applicant is proposing to modify the existing median openings. The new median opening at the western end of the subject property would line up with a new driveway on the subject property and the existing driveway for the office property on the north side of Arapaho Road.

This new median opening not only reduces the number of median openings from three (3) to one (1) along the subject property's frontage, but it also provides sufficient transition and storage length within the left turn lane that would provide access to the subject property. The new median configuration removes median opening #2, which currently allows left turns to be made from the main travel lane as a left turn bay does not exist. Ultimately, all existing median openings will be closed, and a new median opening serving both directions of traffic will be constructed in the area generally between existing openings #1 and #2.

Driveway Locations – There are currently three (3) driveways along Arapaho Road serving the subject property. Per the City's Driveway Location criteria, driveways along an arterial are required to be 250 feet away from a signalized intersection, and a 200-foot separation is required between driveways. As currently configured, the three (3) driveways are deficient with respect to these separation requirements.

The proposed development would reduce the number of driveways along Arapaho Road from three (3) driveways to two (2) driveways. The eastern driveway will provide a 245-foot separation from the Bowser Road intersection (current driveway provides 225-foot separation). Also, the western driveway will be separated from the eastern driveway by approximately 144 feet. The current driveways are separated from one another by approximately eighty (80) feet and 110 feet. Although the minimum separation is not provided, the modifications to the median openings and driveway locations along Arapaho Road are an improvement compared to existing conditions as it relates to both safety and access.

Along Bowser Road (a collector), the northern driveway is required to be 175 feet from the Arapaho Road intersection, and spacing between driveways should be a minimum of 100 feet. The northern driveway is approximately 130 feet from the intersection, but the northern driveway is separated from the southern driveway by approximately 150 feet. The northern driveway is a new driveway which creates a deficiency with regard to the required separation from the intersection; however, due to its location on the "departure side" of the intersection and the depth of the driveway throat, the location of the driveway should not pose any traffic related issues.

The proposed driveway locations along Arapaho Road and Bowser Road will not be any closer to off-site driveways than currently exists.

Internal Stacking at Gas Pumps – The proposed motor vehicle service station requires a variance to the City’s Subdivision and Development Ordinance (Chapter 21-59) relating to the amount of internal stacking required at the gas pumps. Chapter 21-59 requires gas pumps to provide a parking space for one (1) vehicle at each pump and a space for one (1) vehicle behind those using the pumps (waiting space), with a minimum of three (3) feet between each space including a minimum of twenty-four (24) feet to be provided behind the waiting space for two-way traffic.

Based on these dimensions, fifty-seven (57) feet of paved area from the center of the pump to the back of a parking space or curb line adjacent to the required 24-foot wide driving aisle is required to provide circulation around the gas pumps. The applicant is proposing a dimension of approximately 52 feet on the north and south sides of the gasoline pump area, thereby requiring a 5-foot variance to the dimension on both sides of the gasoline pump area. This requirement was likely intended for gas stations that provide a single row of gas pumps rather than a double-stacked configuration where stacking can occur on both sides of the pump area, lessening the possibility for circulation around the gasoline pump area to be hindered.

The applicant is also proposing to locate an air/vacuum station within the landscape buffer along Arapaho Road. The location of the station requires vehicles to park within the circulation area around the north side of the canopy, thereby reducing the effective driving aisle width when a vehicle is parked at the station.

Similar relief from the stacking requirement has been granted for similar type gas stations, such as the QT at Belt Line Road and Inge Drive and the 7-Eleven at Renner Road and North Star Road. Additionally, the proposed motor vehicle service station is providing a larger dimension than those previously approved.

Trip Generation – The applicant provided a trip generation report to demonstrate the number of trips that would be generated based on the existing zoning (assumes 5,000-square foot office building and a drive-thru bank with seven (7) lanes) versus the proposed trip generation (assumes a 5,000-square foot office building with the motor vehicle service station located on the subject property). Staff reviewed the report, and the following conclusions have been made:

- The proposed AM peak hour trips are significantly higher
- The proposed PM peak hour trips are slightly higher
- The increase in the number of trips does not significantly impact the surrounding roadways, and the proposed median/driveway modifications will help to mitigate the increased number of trips.

Future Development Lot – The subject property consisting of two (2) lots totals approximately 3.4 acres. As shown on Exhibit “B”, the proposed motor vehicle service station would occupy approximately 2.15 acres. Although there is no development proposed at this time for the remaining 1.23-acre tract (western portion of the subject property), the applicant depicted a preliminary layout containing a 5,000-square foot office building with associated parking, driving aisles, and landscaping. Staff requested this be shown on the zoning exhibit to demonstrate that the remaining tract is developable per the proposed zoning regulations. This portion of the

zoning exhibit is shown for illustrative purposes only and shall not be required to be developed in conformance with Exhibit “B”.

Although the zoning exhibit shows an office building, the proposed LR-M(2) Local Retail Zoning District allows other uses such as retail and restaurant, which would be required to meet their specific parking requirements at the time of development.

Building Elevations – The applicant provided elevations depicting the proposed convenience store and canopy. The proposed building exceeds the City’s minimum 85% masonry construction requirement. The canopy utilizes the same brick and stone as used on the building. The applicant has stated the proposed building design is similar to their newer stores located in the D/FW area; however, it is a new prototype that incorporates new features. Photos are attached of existing stores in Plano and Carrollton that are similar to the proposed store. The following elements are changes/additions to those stores in the photos:

- Addition of faux wood (Trex) planks at the front corners of the buildings
- Increased glazing area on the front elevation
- Covered outdoor seating area
- Flat metal caps with metal bracket supports on the tower elements
- Revised entrance canopies

Outside Storage and Display – Previous motor vehicle service stations have been approved with prohibitions on outside storage and display of goods, wares, or merchandise. This has typically been requested to provide a clutter-free look along the front façade of convenience store buildings. In Retail Zoning Districts, outdoor storage and display is allowed with restrictions on the size and location of the merchandise.

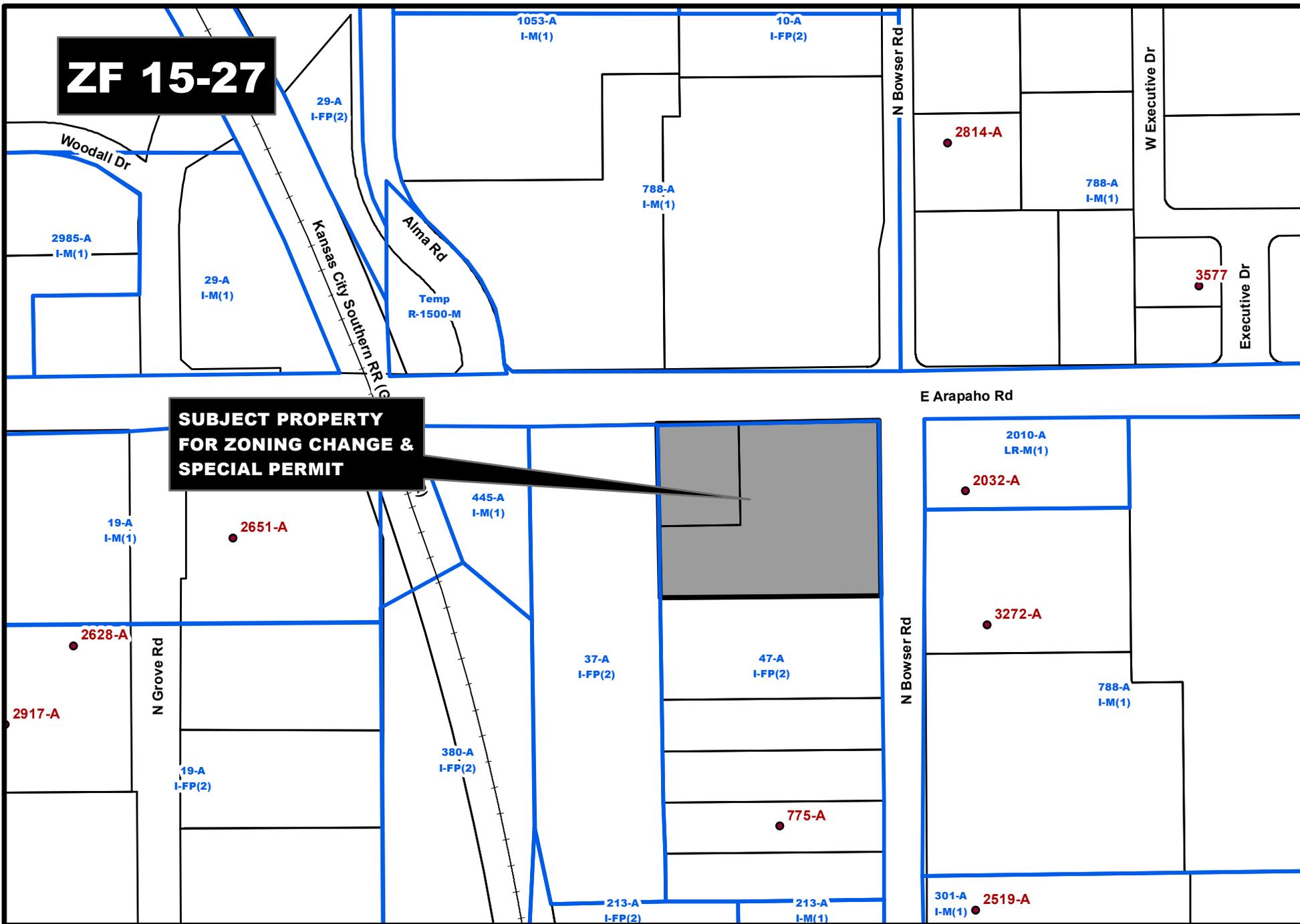
Although the applicant has agreed to prohibit display and storage along the front elevation, they have requested the ability to store and sell propane tanks. The tanks, which are required to be located outside, would be located behind a wing wall on the west side of the building, thereby screening the area from public view; however, final location of the propane tank storage is subject to Fire Code regulations.

Correspondence: As of this date, no correspondence has been received.

Motion: On November 17, 2015, the City Plan Commission recommended approval of the applicant’s request as presented, subject to the following conditions:

1. The subject 3.4-acre property shall be zoned for the LR-M(2) Local Retail District and shall be developed in accordance with the zoning regulations of the LR-M(2) Local Retail District.
2. A Special Permit shall be granted to allow a motor vehicle service station as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the attached concept plan, marked as Exhibit “B” and made a part thereof, subject to the following conditions:

- a. The motor vehicle service station shall be constructed in substantial conformance with the attached concept plan (Exhibit “B-1”) and building and canopy elevations (Exhibits “C-1” & “C-2”).
- b. A variance to allow reduced internal stacking at the gas pumps as shown on the attached concept plan (Exhibit “B”) shall be allowed.
- c. Outside storage and display of goods, wares, or merchandise shall be prohibited, except where shown on Exhibit “B”.

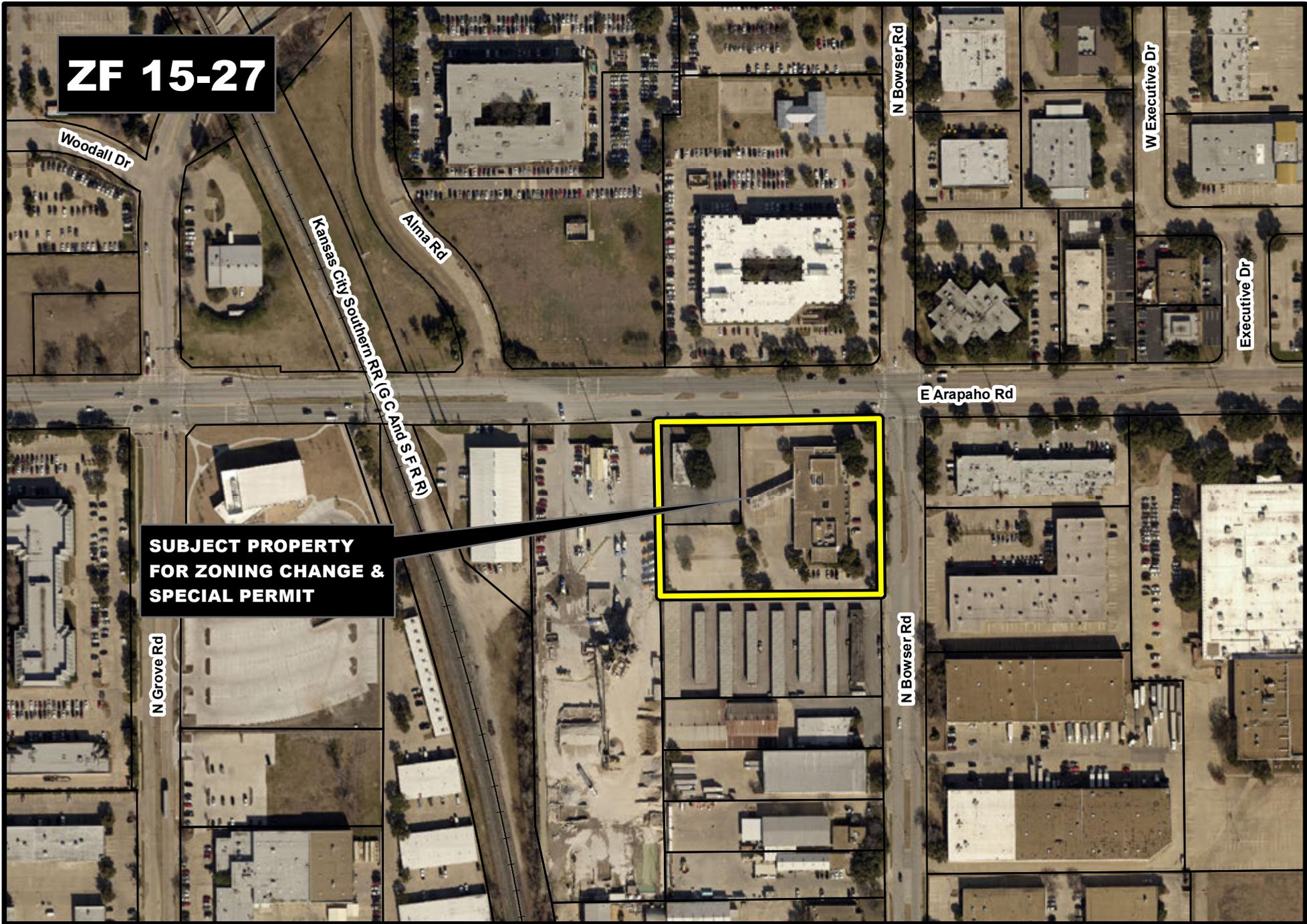


ZF 15-27 Zoning Map

Updated By: shacklett, Update Date: October 15, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1527\ZF1527 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 15-27

**SUBJECT PROPERTY
FOR ZONING CHANGE &
SPECIAL PERMIT**

ZF 15-27 Aerial Map

Updated By: shacklett, Update Date: October 15, 2015
File: DSI\Mapping\Cases\Z\2015\ZF1527\ZF1527 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1

2

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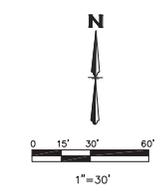
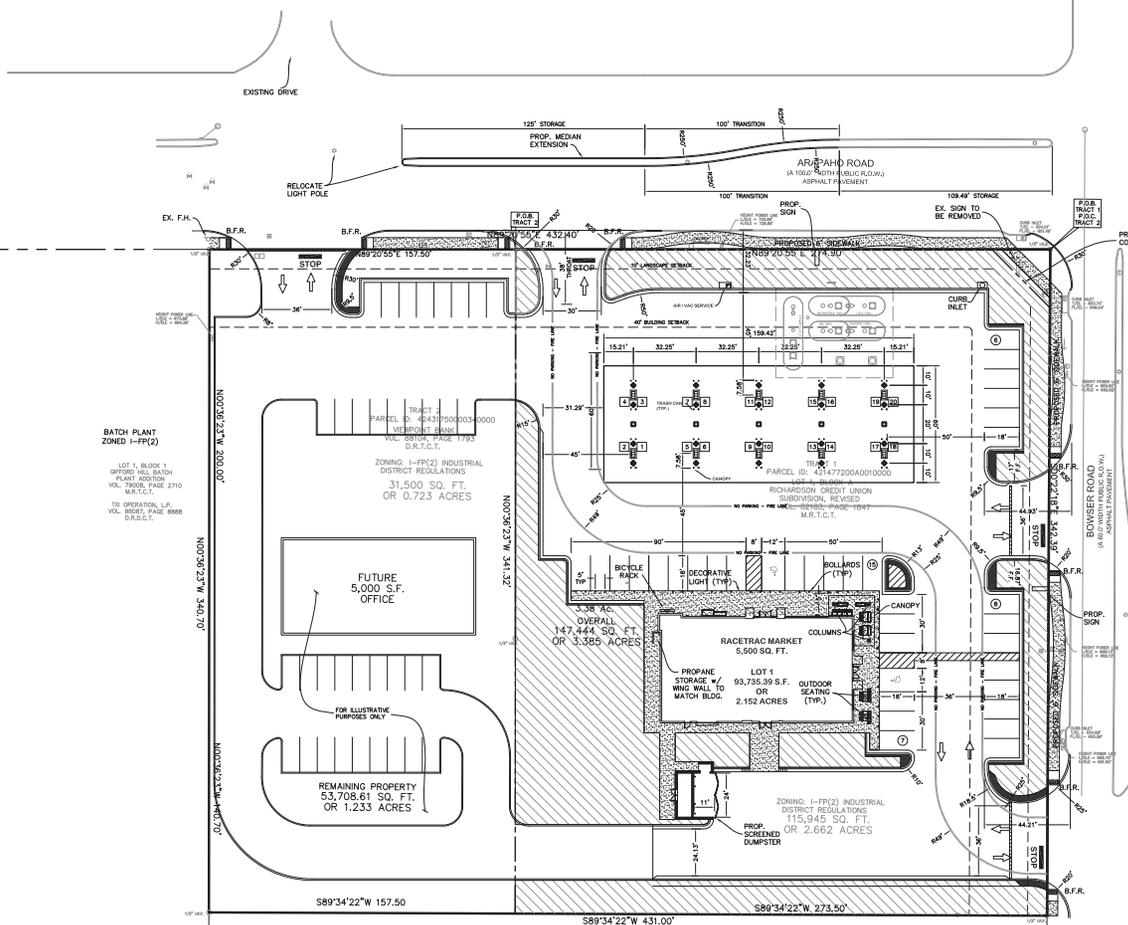
Arapaho Road

Future
Development
Tract

Subject Property
for Motor Vehicle
Service Station

Bowser Road

Oblique Aerial
Looking North



VICINITY MAP
SCALE: N.T.S.

BATCH PLANT
ZONED I-FP(2)

LOT 1, BLOCK 1
OPTING HILL BATCH
PLANT ADDITION
VOL. 2008, PAGE 2710
M.R.T.C.T.

THE OPERATIONAL L.P.
VOL. 8087, PAGE 8888
D.R.T.C.T.

TRACT 4
PARCEL D: 44-437500003-0000
VOLUME: 2008, PAGE 1793
D.R.T.C.T.

ZONING: I-FP(2) INDUSTRIAL
DISTRICT REGULATIONS
31,500 SQ. FT.
OR 0.723 ACRES

FUTURE
5,000 S.F.
OFFICE

REMAINING PROPERTY
53,708.61 SQ. FT.
OR 1.233 ACRES

OVERALL
147,444 SQ. FT.
OR 3.385 ACRES

LOT 1
93,735.39 S.F.
OR 2.152 ACRES

ZONING: I-FP(2) INDUSTRIAL
DISTRICT REGULATIONS
115,945 SQ. FT.
OR 2.662 ACRES

JERRY MULL
VOL. 2001148, PAGE 3608
D.R.T.C.T.

MIN-STORAGE
ZONED I-FP(2)

SITE LEGEND (PROPOSED):

- PROPERTY LINE
- PARKING STALLS
- SIDEWALK PER CITY STANDARDS
- LANDSCAPE/PERVIOUS AREAS
- CONCRETE CURB BACKING
- PAINTED SOLID TRAFFIC FLOW ARROWS
- NEW CURB AND GUTTER
- NEW FIRE LANE (PER LOCAL CODES)

SITE PLAN NOTES:

1. OUTDOOR LIGHTING SHALL BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 1 FOOT-CANDLE OR LESS.
2. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES.
3. ALL GROUND LEVEL EQUIPMENT, INCLUDING FANS, VENTS, AIR CONDITIONING UNITS, COOLING TOWERS, FUEL TANKS AND GENERATORS, SHOULD BE SCREENED FROM THE VIEW OF STREETS AND ADJOINING PROPERTIES BY THE MEANS OF A MASONRY WALL OR A LIVING SCREEN NOT LESS THAN THE HEIGHT OF THE TALLEST ELEMENT OF THE EQUIPMENT. ANY EQUIPMENT INSTALLED THAT IS NOT SHOWN ON AN APPROVED SITE PLAN, IS NOT AN APPROVED LOCATION, AND SHALL BE SUBJECT TO ALL SCREENING REQUIREMENTS.
4. STORAGE LOCATION SUBJECT TO BUILDING INSPECTION APPROVAL.
5. OUTDOOR STORAGE SHALL BE PROHIBITED EXCEPT AS SHOWN ON WEST SIDE OF BUILDING.

SITE SUMMARY:

BUILDING AND PARKING SUMMARY:	
CURRENT ZONING	I-FP(2) INDUSTRIAL DISTRICT
PROPOSED ZONING	LR-M(2) LOCAL RETAIL WITH SPECIAL PERMIT FOR MOTOR VEHICLE SERVICE STATION
BLDG. SETBACKS	45' ALONG ARAPAHO AND BOWSER; SIDE-0' REAR; 0' LOT AREA
LOT AREA	RACETRAC LOT = 93,735 S.F. OR 2.152 AC REMAINING LOT = 53,709 S.F. OR 1.233 AC TOTAL = 147,444 S.F. CONVENIENCE STORE WITH FUEL SALES 5,500 S.F.
BUILDING USE	RETAIL=1:333 = 17 SPACES REQUIRED
BUILDING AREA	
PARKING RATIO	
REQUIRED PARKING	17 SPACES
PROVIDED PARKING	36 SPACES
LANDSCAPE % REQUIRED	7% (6,561 S.F.)
LANDSCAPE % PROVIDED	25% (23,080 S.F.)
IMPERVIOUS AREA	69,805 SF
FLOOR AREA RATIO	0.059:1
BUILDING HEIGHT	1 STORY (25' HIGHEST ROOF RIDGE)

APPLICANT INFO:
RACETRAC PETROLEUM, INC.
3225 CUMBERLAND, STE. 100
ATLANTA, GA

OWNER INFO:
LEICHT TEXAS BANK
PO BOX 941327
DALLAS, TX 75294

<p>ZONING EXHIBIT 3</p> <p>RACETRAC MARKET</p> <p>Arapaho Rd and N. Bowser Richardson, Texas</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"> <p>DATE: Oct. 1, 2015</p> <p>SCALE: 1"=60'</p> <p>DRAWN BY: TJB</p> <p>DRAWING NAME:</p> </td> <td style="width: 50%;"> <p>DATE: _____</p> <p>SCALE: _____</p> <p>DRAWN BY: _____</p> <p>DRAWING NAME: _____</p> </td> </tr> </table> <p>C-1.1</p> <p>SHEET NO. VERSION</p>	<p>DATE: Oct. 1, 2015</p> <p>SCALE: 1"=60'</p> <p>DRAWN BY: TJB</p> <p>DRAWING NAME:</p>	<p>DATE: _____</p> <p>SCALE: _____</p> <p>DRAWN BY: _____</p> <p>DRAWING NAME: _____</p>
<p>DATE: Oct. 1, 2015</p> <p>SCALE: 1"=60'</p> <p>DRAWN BY: TJB</p> <p>DRAWING NAME:</p>	<p>DATE: _____</p> <p>SCALE: _____</p> <p>DRAWN BY: _____</p> <p>DRAWING NAME: _____</p>		



EXISTING DRIVE

RELOCATE LIGHT POLE

ARZAHO ROAD
(A 100.0' WIDTH PUBLIC R.O.W.)
ASPHALT PAVEMENT

P.O.B. TRACT 1
P.O.C. TRACT 2

EX. F.H.

B.F.R.

B.F.R.

B.F.R.

EX. SIGN TO BE REMOVED

B.F.R.

PROP. 30'x30' CORNER CLIP

ZONED LR-M(1)

1/2" L.S.F.

STOP

STOP

CURB INLET
T/E/L = 654.91'
F/L/E/L = 651.46'

CURB INLET
T/E/L = 653.74'
F/L/E/L = 649.54'

CURB INLET
T/E/L = 656.81'
F/L/E/L = 652.82'

CURB INLET
T/E/L = 656.13'
F/L/E/L = 652.13'

CURB INLET
T/E/L = 654.56'
F/L/E/L = 650.56'

CURB INLET
T/E/L = 656.70'
F/L/E/L = 652.50'

ZONED I-M(1)

BATCH PLANT
ZONED I-FP(2)

LOT 1, BLOCK 1
GIFFORD HILL BATCH
PLANT ADDITION
VOL. 79008, PAGE 2710
M.R.T.C.T.

TXI OPERATION, L.P.
VOL. 98087, PAGE 8888
D.R.D.C.T.

ZONING: I-FP(2) INDUSTRIAL
DISTRICT REGULATIONS
31,500 SQ. FT.
OR 0.723 ACRES

FUTURE
5,000 S.F.
OFFICE

FOR ILLUSTRATIVE
PURPOSES ONLY

REMAINING PROPERTY
53,708.61 SQ. FT.
OR 1.233 ACRES

3.38 AC.
OVERALL
147,444 SQ. FT.
OR 3.385 ACRES

RACETRAC MARKET
5,500 SQ. FT.

LOT 1
93,735.39 S.F.
OR
2.152 ACRES

ZONING: I-FP(2) INDUSTRIAL
DISTRICT REGULATIONS
115,945 SQ. FT.
OR 2.662 ACRES

PROP. SCREENED
DUMPSTER

N00°36'23"W 200.00'

N00°36'23"W 340.70'

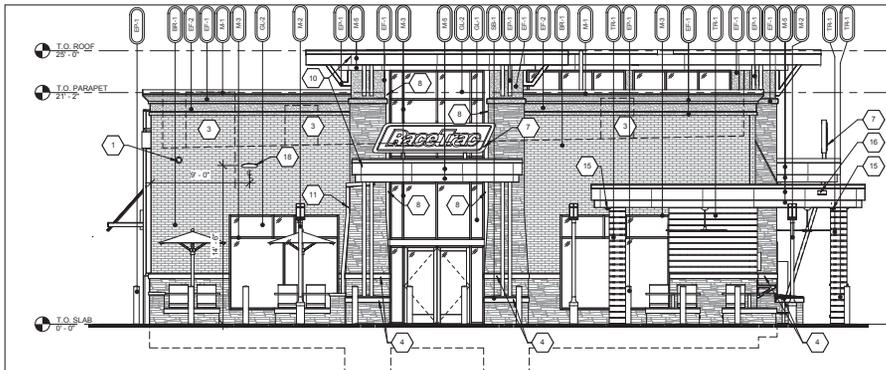
1/2" L.S.F.

S89°34'22"W 157.50'

S89°34'22"W 431.00'

S89°34'22"W 273.50'

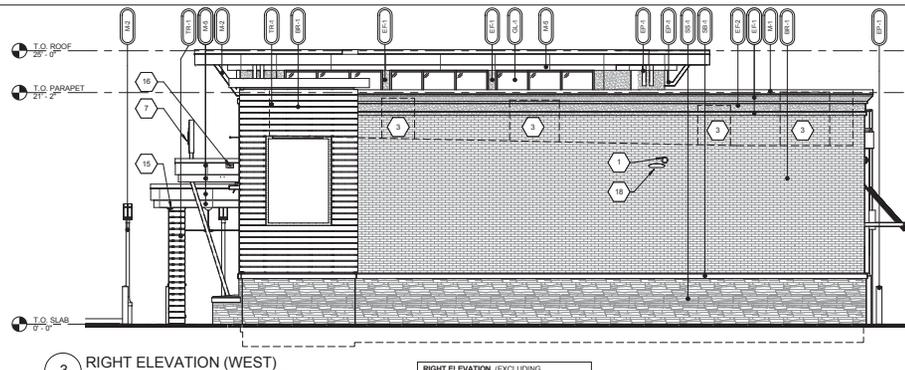
1/2" L.S.F.



4 LEFT ELEVATION (EAST)
3/16" = 1'-0"

LEFT ELEVATION (EXCLUDING DOORS/WINDOWS)		
MATERIAL	SQ FOOTAGE	%
BRICK	647	55%
STONE	325	28%
EFS	90	9%
METAL	107	8%
TOTAL	1170	

MASONRY = 83%
NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY

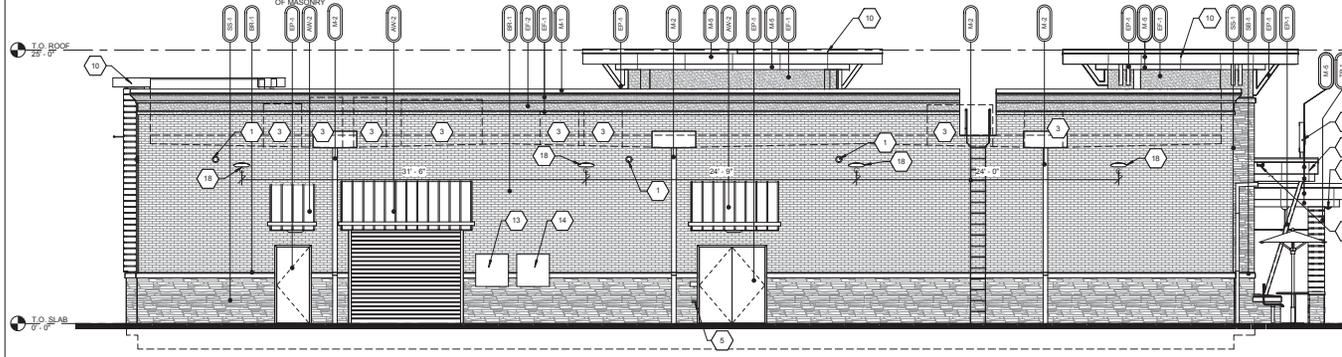


3 RIGHT ELEVATION (WEST)
3/16" = 1'-0"

RIGHT ELEVATION (EXCLUDING DOORS/WINDOWS)		
MATERIAL	SQ FOOTAGE	%
BRICK	805	68%
STONE	235	20%
EFS	88	4%
METAL	47	8%
TOTAL	1175	

MASONRY = 88%
NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY

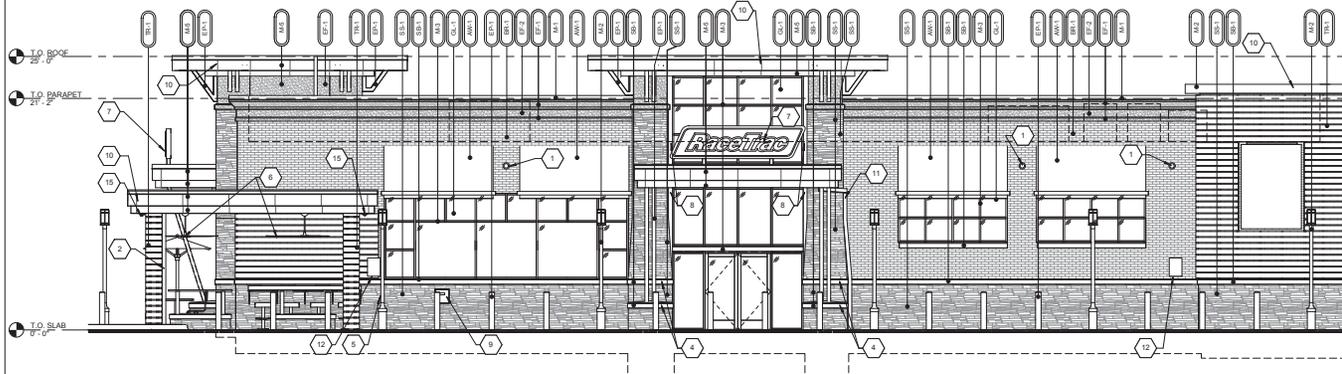
NOTE: SIGNAGE FOR ILLUSTRATION PURPOSES ONLY. SUBJECT TO BUILDING INSPECTION APPROVAL.



2 REAR ELEVATION (SOUTH)
3/16" = 1'-0"

REAR ELEVATION (EXCLUDING DOORS/WINDOWS)		
MATERIAL	SQ FOOTAGE	%
BRICK	1340	69%
STONE	400	21%
EFS	183	9%
METAL	27	1%
TOTAL	1950	

MASONRY = 90%
NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY



1 FRONT ELEVATION (NORTH)
3/16" = 1'-0"

FRONT ELEVATION (EXCLUDING DOORS/WINDOWS)		
MATERIAL	SQ FOOTAGE	%
BRICK	1019	87%
STONE	510	20%
EFS	160	9%
METAL	93	9%
TOTAL	1781	

MASONRY = 89%
NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY

GENERAL NOTES

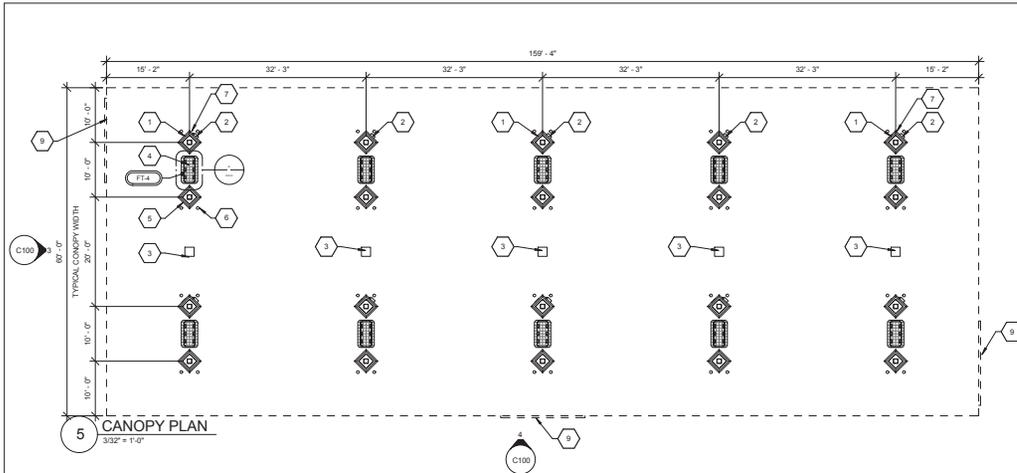
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE CONTROL JOINTS (CJ) AS LOCATED ON EXTERIOR ELEVATIONS.
- SPECIFICATION FOR JOINT SEALANT SHALL BE ADDED TO S-2 BY TREMCO.
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARING AND FOR FOUNDATIONS.
- REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM JOINT LOCATIONS.

ELEVATION KEY NOTES

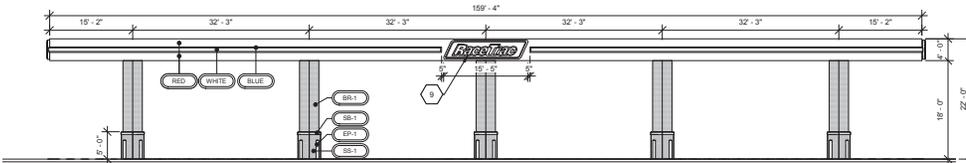
- WALL MOUNTED SECURITY CAMERA. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- 3" SQUARE DOWNSPOUT. REFER TO MECHANICAL EQUIPMENT BEYOND.
- REFER TO DETAILS FOR CAST STONE SHAPES.
- MOSE BIBS. REFER TO PLUMBING DRAWINGS.
- CEILING FAN. REFER TO SPECIFICATIONS.
- ILLUMINATED SIGN PANEL BY OWNER MOUNTED ON MINIMUM 3" STEEL TUBES OR HSS TUBES. PAINT EP-1.
- BRONZE BREAK METAL WRAP AT WINDOW JAMB. TYPICAL.
- PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
- ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
- 3" SQUARE METAL DOWNSPOUT ATTACHED TO WALL WITH BRACKETS. DOWNSPOUT IS TO RUN TO CORNER BEFORE VERTICAL RUN. REFER TO CIVIL FOR CONNECTIONS.
- EMERGENCY FUEL SHUT OFF SWITCH.
- LOCATION OF ELECTRICAL SERVICE CT AND METER.
- GENERATOR TAP BOX. SEE ELECTRICAL FOR LOCATION.
- SECURITY CAMERA MOUNTED ON UNDERSIDE OF OUTDOOR SEATING AREA ROOF.
- OVERFLOW SPILL SCUPPER.
- ROOF ACCESS DOOR.
- WALL MOUNTED SECURITY WALL PACK LIGHT FIXTURE.

EXTERIOR MATERIAL SCHEDULE

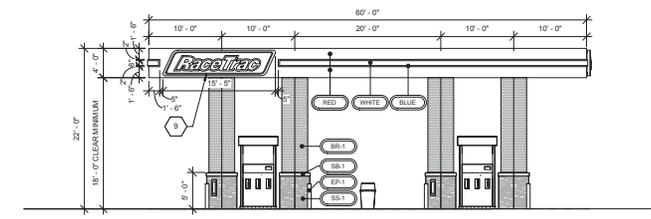
AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC (YELLOW)
AW-1	ALUMINUM AWNING	SELECTED BY RACETRAC (DARK BRONZE)
AW-2	ALUMINUM AWNING	SELECTED BY RACETRAC (DARK BRONZE)
BRICK	BORAL	LAREDO BRICK (TAN)
BR1	BORAL	LAREDO BRICK (TAN)
BR2	BORAL	LAREDO BRICK (TAN)
BR3	BORAL	LAREDO BRICK (TAN)
BR4	BORAL	LAREDO BRICK (TAN)
BR5	BORAL	LAREDO BRICK (TAN)
BR6	BORAL	LAREDO BRICK (TAN)
BR7	BORAL	LAREDO BRICK (TAN)
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BR148	BORAL	LAREDO BRICK (TAN)
BR149	BORAL	LAREDO BRICK (TAN)
BR150	BORAL	LAREDO BRICK (TAN)
BR151	BORAL	LAREDO BRICK (TAN)
BR152	BORAL	LAREDO BRICK (TAN)
BR153	BORAL	LAREDO BRICK (TAN)
BR154	BORAL	LAREDO BRICK (TAN)
BR155	BORAL	LAREDO BRICK (TAN)
BR156	BORAL	LAREDO BRICK (TAN)
BR157	BORAL	LAREDO BRICK (TAN)
BR158	BORAL	LAREDO BRICK (TAN)
BR159	BORAL	LAREDO BRICK (TAN)
BR160	BORAL	LAREDO BRICK (TAN)
BR161	BORAL	LAREDO BRICK (TAN)
BR162	BORAL	LAREDO BRICK (TAN)
BR163	BORAL	LAREDO BRICK (TAN)
BR164	BORAL	LAREDO BRICK (TAN)
BR165	BORAL	LAREDO BRICK (TAN)
BR166	BORAL	LAREDO BRICK (TAN)
BR167	BORAL	LAREDO BRICK (TAN)
BR168	BORAL	LAREDO BRICK (TAN)
BR169	BORAL	LAREDO BRICK (TAN)
BR170	BORAL	LAREDO BRICK (TAN)
BR171	BORAL	LAREDO BRICK (TAN)
BR172	BORAL	LAREDO BRICK (TAN)
BR173	BORAL	LAREDO BRICK (TAN)
BR174	BORAL	LAREDO BRICK (TAN)
BR175	BORAL	LAREDO BRICK (TAN)
BR176	BORAL	LAREDO BRICK (TAN)
BR177	BORAL	LAREDO BRICK (TAN)
BR178	BORAL	LAREDO BRICK (TAN)
BR179	BORAL	LAREDO BRICK (TAN)
BR180	BORAL	LAREDO BRICK (TAN)
BR181	BORAL	LAREDO BRICK (TAN)
BR182	BORAL	LAREDO BRICK (TAN)
BR183	BORAL	LAREDO BRICK (TAN)
BR184	BORAL	LAREDO BRICK (TAN)
BR185	BORAL	LAREDO BRICK (TAN)
BR186	BORAL	LAREDO BRICK (TAN)
BR187	BORAL	LAREDO BRICK (TAN)
BR188	BORAL	LAREDO BRICK (TAN)
BR189	BORAL	LAREDO BRICK (TAN)
BR190	BORAL	LAREDO BRICK (TAN)
BR191	BORAL	LAREDO BRICK (TAN)
BR192	BORAL	LAREDO BRICK (TAN)
BR193	BORAL	LAREDO BRICK (TAN)
BR194	BORAL	LAREDO BRICK (TAN)
BR195	BORAL	LAREDO BRICK (TAN)
BR196	BORAL	LAREDO BRICK (TAN)
BR197	BORAL	LAREDO BRICK (TAN)
BR198	BORAL	LAREDO BRICK (TAN)
BR199	BORAL	LAREDO BRICK (TAN)
BR200	BORAL	LAREDO BRICK (TAN)
BR201	BORAL	LAREDO BRICK (TAN)
BR202	BORAL	LAREDO BRICK (TAN)
BR203	BORAL	LAREDO BRICK (TAN)
BR204	BORAL	LAREDO BRICK (TAN)
BR205	BORAL	LAREDO BRICK (TAN)
BR206	BORAL	LAREDO BRICK (TAN)
BR207	BORAL	LAREDO BRICK (TAN)
BR208	BORAL	LAREDO BRICK (TAN)
BR209	BORAL	LAREDO BRICK (TAN)
BR210	BORAL	LAREDO BRICK (TAN)
BR211	BORAL	LAREDO BRICK (TAN)
BR212	BORAL	LAREDO BRICK (TAN)
BR213	BORAL	LAREDO BRICK (TAN)
BR214	BORAL	LAREDO BRICK (TAN)
BR215	BORAL	LAREDO BRICK (TAN)
BR216	BORAL	LAREDO BRICK (TAN)
BR217	BORAL	LAREDO BRICK (TAN)
BR218	BORAL	LAREDO BRICK (TAN)
BR219	BORAL	LAREDO BRICK (TAN)
BR220	BORAL	LAREDO BRICK (TAN)
BR221	BORAL	LAREDO BRICK (TAN)
BR222	BORAL	LAREDO BRICK (TAN)
BR223	BORAL	LAREDO BRICK (TAN)
BR224	BORAL	LAREDO BRICK (TAN)
BR225	BORAL	LAREDO BRICK (TAN)
BR226	BORAL	LAREDO BRICK (TAN)
BR227	BORAL	LAREDO BRICK (TAN)
BR228	BORAL	LAREDO BRICK (TAN)
BR229	BORAL	LAREDO BRICK (TAN)
BR230	BORAL	LAREDO BRICK (TAN)
BR231	BORAL	LAREDO BRICK (TAN)
BR232	BORAL	LAREDO BRICK (TAN)
BR233	BORAL	LAREDO BRICK (TAN)
BR234	BORAL	LAREDO BRICK (TAN)
BR235	BORAL	LAREDO BRICK (TAN)
BR236	BORAL	LAREDO BRICK (TAN)
BR237	BORAL	LAREDO BRICK (TAN)
BR238	BORAL	LAREDO BRICK (TAN)
BR239	BORAL	LAREDO BRICK (TAN)
BR240	BORAL	LAREDO BRICK (TAN)
BR241	BORAL	LAREDO BRICK (TAN)
BR242	BORAL	LAREDO BRICK (TAN)
BR243	BORAL	LAREDO BRICK (TAN)
BR244	BORAL	LAREDO BRICK (TAN)
BR245	BORAL	LAREDO BRICK (TAN)
BR246	BORAL	LAREDO BRICK (TAN)



5 CANOPY PLAN
3/32" = 1'-0"



4 CANOPY FRONT ELEVATION
3/32" = 1'-0"



3 CANOPY LEFT ELEVATION
1/8" = 1'-0"

NOTE: SIGNAGE FOR ILLUSTRATION PURPOSES ONLY. SUBJECT TO BUILDING INSPECTION APPROVAL.
NOTE: ALL CANOPY LIGHTING TO BE FULLY RECESSED.

GENERAL NOTES

- AREA WITHIN 18" OF DISPENSER BOTH HORIZONTALLY AND VERTICAL SHALL BE CLASS I DIVISION 2.
- EXTINGUISHERS SHALL BE PROVIDED AND SO LOCATED THAT NO PUMP DISPENSER OR FILL PIPE OPENING SHALL BE A GREATER DISTANCE THAN 50' FROM SUCH DISPENSER.
- NO SMOKING SIGNS SHALL BE POSTED IN ACCORDANCE WITH SECTION 907.10 SFGC 1997 TAD STANDARDS 4.2.6 AND 4.2.7.
- PVC PIPE SHALL NOT BE USED ON TOP OF CANOPY. ONLY 3/4" EMT WITH WATER TIGHT CONNECTIONS SHALL BE PERMITTED.
- REFER TO ELECTRICAL SCHEDULES FOR CANOPY CIRCUITS.
- REFER TO SITE ELECTRICAL PLAN FOR SECURITY CAMERA LOCATIONS AND MOUNTING.
- REFER TO FINISH SCHEDULES FOR MATERIAL SPECIFICATIONS.
- REFER TO SITE PLAN FOR NUMBER OF CANOPY SIGNS TO BE PLACED.
- REFER TO MANUFACTURERS SHOP DRAWINGS FOR ALL STRUCTURAL DETAILS.
- REFER TO SITE SPECIFIC PLAN FOR CANOPY LIGHTING.
- REFER TO SITE SPECIFIC PLAN FOR CONCRETE ISLAND LAYOUT.
- REFER TO CANOPY MANUFACTURERS DRAWINGS FOR FOUNDATION INFORMATION AND COLUMN SURROUND.

FUEL CANOPY KEYNOTES

- MGM RED MARK II CABINET WITH RED COVER. ON BACK SIDE OF COLUMN COVER. PROVIDE ONE 80 B RATED EXTINGUISHER.
- TOWEL DISPENSER 10" MARKETING ITEM NUMBER SBWC BLACK.
- TRASH CAN. REFER TO SITE PLANS.
- REFER TO FINISH SCHEDULE THIS SHEET FOR TILE SPECIFICATION. TYPICAL OF ALL FUEL PUMP STATION BASES.
- STEEL CANOPY COLUMN WITH STACKED STONE BASE AND EIFS BAND ABOVE. REFER TO DETAIL THIS SHEET.
- BUMPER POST. REFER TO CIVIL SITE DETAIL SHEETS.
- WOODFORD 1/34 FREEZERLESS IOWA YARD HYDRANT.
- INSTALL PER MANUFACTURERS SPECIFICATIONS. TILE APPLICATION TO BE ON TOP AND SIDE OF CONCRETE ISLAND ONLY. FIELD VERIFY ALL DIMENSIONS.
- RACETRAC LOGO; REFER TO SITE PLAN.

FUEL CANOPY MATERIAL LEGEND

ID	MANUF.	MATERIAL	COMMENTS
BRICK			
BR-1	BRORAL	LAREDDO BRICK (REDISH TAN)	MORTAR COLOR "LIGHT (BUFF)"(BEIGE)
FASCIA			
BLUE			REFER TO SPECIFICATION CHART ON SHEET C100
RED			1" BLUE STRIPE
WHITE PAINT			1" WHITE STRIPE
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH (BROWN)	
STACKED STONE			
SS-1	BRORAL	ASPEN COUNTRY LEDGESTONE (VARIOUS TANS)	WET STACK APPLICATION. MORTAR COLOR "LIGHT (BUFF)"(BEIGE)
STONE BAND			
SB-1	BRORAL	TUSCAN L'INTEL CHAMPAGNE (GREY)	MORTAR COLOR "LIGHT (BUFF)"(BEIGE)

STANDARD CANOPY FASCIA COLOR SPECIFICATION CHART

COLOR CALLOUT	CANOPY MANUFACTURER	STANDARD COLOR SPECIFICATION
"RED"	LANE CANOPIES	TRD RED FASCIA
	MC GEE CANOPIES	TRD RED FASCIA
	MADISON CANOPIES	PROGRAM RED FASCIA
"TAN"	LANE CANOPIES	ETT TAN FASCIA
	MC GEE CANOPIES	ETT TAN FASCIA
	MADISON CANOPIES	PUEBLO TAN FASCIA

RaceTrac
CORPORATE
THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED. 2015 RACETRAC PETROLEUM, INC.

DESIGN PROFESSIONALS

GPD GROUP
Professional Corporation
520 SOUTH MAIN STREET, SUITE 2631
AKRON, OHIO 44311
330.572.2100 Fax: 330.572.2701

ISSUE/REVISION RECORD

DATE	DESCRIPTION
10/27/15	PRELIMINARY PACKAGE
11/03/15	REVISED PRELIM PACKAGE

RaceTrac
RACETRAC PETROLEUM, INC.
3225 CUMBERLAND BOULEVARD
SUITE 100
ATLANTA, GEORGIA 30329
(770) 431-7600

PROJECT NAME
ARAPAHO @ BOWSER

RICHARDSON TEXAS 75081
ARAPAHO RD AND N. BOWSER

RACETRAC PROJ. NUMBER
#1182

PROTOTYPE SERIES
5.5 BR-LH-MQ(-) 15R01

PLAN MODIFICATION NOTICE
SPB NO. 000 DATE XX-XX-XX
STANDARD PLAN SHEETING (SPB) ADOPT THE PROTOTYPE SERIES SEE NOTE ABOVE. THE MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES IS AT ORIGINAL RELEASE. THE ISSUE REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT REVISIONS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

PROJECT NUMBER
2015157.13

SHEET TITLE
FUEL CANOPY PLANS AND ELEVATIONS

SHEET NUMBER

C100
NOT FOR CONSTRUCTION

ISSUE/REVISION RECORD

DATE	DESCRIPTION
10/27/15	PRELIMINARY PACKAGE
11/09/15	REVISED PRELIM PACKAGE
11/09/15	REVISED PRELIM PACKAGE
11/21/15	REVISED PRELIM PACKAGE



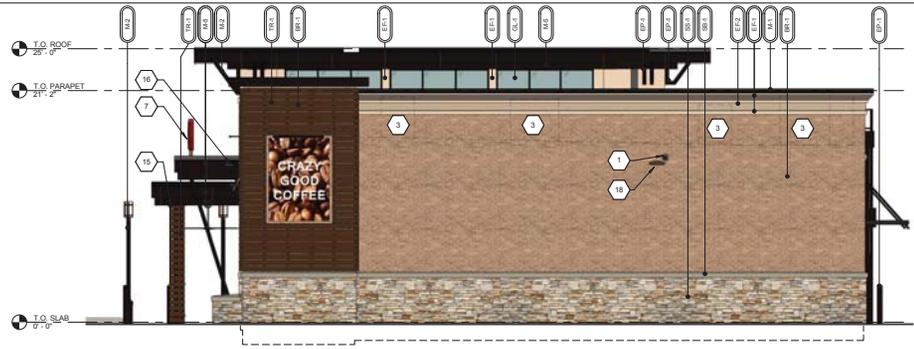
4 LEFT ELEVATION (EAST)
 3/16" = 1'-0"

LEFT ELEVATION (EXCLUDING DOORS/WINDOWS)

MATERIAL	SQ FOOTAGE	%
BRICK	647	55%
STONE	325	28%
EFS	90	9%
METAL	107	8%
TOTAL	1170	

MASONRY = 83%

NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY



3 RIGHT ELEVATION (WEST)
 3/16" = 1'-0"

RIGHT ELEVATION (EXCLUDING DOORS/WINDOWS)

MATERIAL	SQ FOOTAGE	%
BRICK	805	68%
STONE	235	20%
EFS	88	4%
METAL	47	8%

MASONRY = 88%

NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY

NOTE: SIGNAGE FOR ILLUSTRATION PURPOSES ONLY. SUBJECT TO BUILDING INSPECTION APPROVAL.

GENERAL NOTES

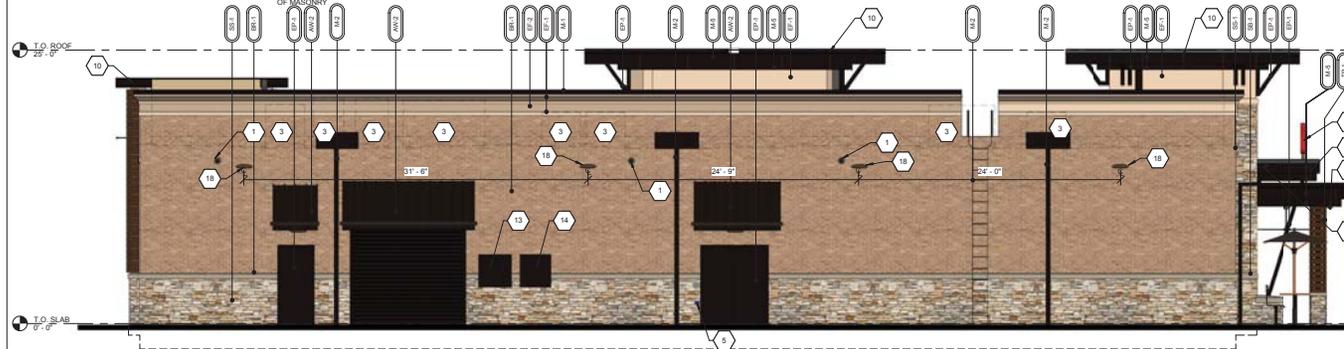
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE CONTROL JOINTS (CJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE "ADHESIVE TAPE SL-2 BY TREMCO."
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARING AND FOR FOUNDATIONS.
- REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM-JOINT LOCATIONS.

ELEVATION KEY NOTES

- WALL MOUNTED SECURITY CAMERA
- 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- MECHANICAL EQUIPMENT BEYOND
- REFER TO DETAILS FOR CAST STONE SHAPES.
- HOSE BIBB. REFER TO PLUMBING DRAWINGS.
- CEILING FAN. REFER TO SPECIFICATIONS.
- ILLUMINATED SIGN PANEL BY OWNER MOUNTED ON MINIMUM 3" STEEL TUBES OR HSS TUBES. PAINT EP-1.
- BRONZE BREAK METAL WRAP AT WINDOW JAMB, TYPICAL.
- PACKAGE PASSER. REFER TO EQUIPMENT PLAN
- ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
- 3" SQUARE METAL DOWNSPOUT ATTACHED TO WALL WITH BRACKETS. DOWNSPOUT IS TO RUN TO CORNER BEFORE VERTICAL RUN. REFER TO CIVIL FOR CONNECTIONS.
- EMERGENCY FUEL SHUT OFF SWITCH
- LOCATION OF ELECTRICAL SERVICE CUT AND METER
- GENERATOR TAP BOX. SEE ELECTRICAL FOR LOCATION
- SECURITY CAMERA MOUNTED ON UNDERSIDE OF OUTDOOR SEATING AREA ROOF.
- OVERFLOW SPILL SCUPPER.
- ROOF ACCESS DOOR.
- WALL MOUNTED SECURITY WALL PACK LIGHT FIXTURE.

EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC (YELLOW)
AW-2	ALUMINUM AWNING	SELECTED BY RACETRAC (DARK BRONZE)
BRICK		
BR-1	BORAL	LAREDO BRICK (TAN)
BR-2	BORAL	MORTAR COLOR "LIGHT BUFF" (BEIGE)
EP-1	STO	STO THERM CI
EP-2	STO	STO THERM CI
GL-1		1" NON-IMPACT RATED INSULATED GLAZING
GL-2		1" NON-IMPACT RATED ACID ETCHED INSULATED GLAZING
METAL		
M-1		PREFINISHED 2-PIECE COMPRESSION METAL COVER
M-2		COLOR DARK BRONZE. METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL	FC-3000 STOREFRONT SYSTEM PREFINISHED PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-MC2244
M-5	REYNOLBOND	METAL TO MATCH STOREFRONT COLOR DARK BRONZE.
M-6		PREFINISHED ALUMINUM DRIP EDGE
PAINT		
EP-1	SHERRIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
ROOFING		
RF-1	TRUSLADAST	50 MIL MEMBRANE ROOFING SYSTEM
STACKED STONE		
SS-1	BORAL	ASPEN COUNTRY LEDESTONE (VARIOUS TANS)
STONE BAND		
SB-1	BORAL	TUSCAN LIMEL. CHAMPAGNE (GREY)
TREX		
TR-1	TREX	TREX COLOR BEACH DUNE



2 REAR ELEVATION (SOUTH)
 3/16" = 1'-0"

REAR ELEVATION (EXCLUDING DOORS/WINDOWS)

MATERIAL	SQ FOOTAGE	%
BRICK	1340	69%
STONE	400	21%
EFS	183	9%
METAL	27	1%

MASONRY = 90%

NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY

OVERALL MATERIAL PERCENTAGES (EXCLUDING DOORS/WINDOWS)

MATERIAL	SQ FOOTAGE	%
BRICK	3810	63%
STONE	1471	24%
EFS	531	9%
METAL	274	4%
TOTAL	6086	

TOTAL MASONRY = 87%

NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY



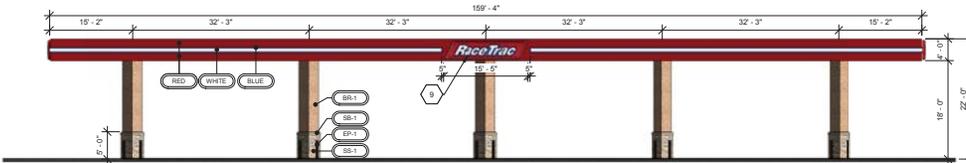
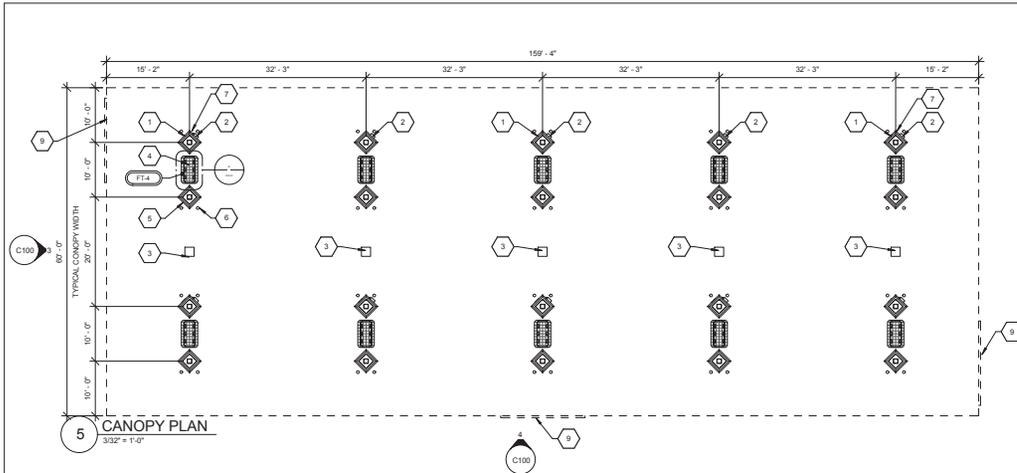
1 FRONT ELEVATION (NORTH)
 3/16" = 1'-0"

FRONT ELEVATION (EXCLUDING DOORS/WINDOWS)

MATERIAL	SQ FOOTAGE	%
BRICK	1019	57%
STONE	510	29%
EFS	100	5%
METAL	93	9%
TOTAL	1781	

MASONRY = 80%

NOTE: TREX MATERIAL IS PLACED OVERTOP OF MASONRY



4 CANOPY FRONT ELEVATION
3/32" = 1'-0"



3 CANOPY LEFT ELEVATION
1/8" = 1'-0"

NOTE: SIGNAGE FOR ILLUSTRATION PURPOSES ONLY. SUBJECT TO BUILDING INSPECTION APPROVAL.
NOTE: ALL CANOPY LIGHTING TO BE FULLY RECESSED.

GENERAL NOTES

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- EXTINGUISHERS SHALL BE PROVIDED AND SO LOCATED THAT NO PUMP DISPENSER OR FILL-PIPE OPENING SHALL BE A GREATER DISTANCE THAN 50' FROM SUCH DISPENSER.
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FUEL CANOPY KEYNOTES

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- TOWEL DISPENSER 10" MARKETING ITEM NUMBER SBWC BLACK.
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- REFER TO FINISH SCHEDULE THIS SHEET FOR TILE SPECIFICATION. TYPICAL OF ALL FUEL PUMP STATION BASES.
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- BUMPER POST. REFER TO CIVIL SITE DETAIL SHEETS.
- WOODFORD 1/34 FREEZERLESS IOWA YARD HYDRANT.
- INSTALL PER MANUFACTURERS SPECIFICATIONS. TILE APPLICATION TO BE ON TOP AND SIDE OF CONCRETE ISLAND ONLY. FIELD VERIFY ALL DIMENSIONS.
- RACETRAC LOGO; REFER TO SITE PLAN.

FUEL CANOPY MATERIAL LEGEND

ID	MANUF.	MATERIAL	COMMENTS
BRICK			
BR-1	BRORAL	LAREDDO BRICK (REDISH TAN)	MORTAR COLOR "LIGHT (BUFF)"(BEIGE)
FASCIA			
BLUE			REFER TO SPECIFICATION CHART ON SHEET C100
RED			2" BLUE STRIPE
WHITE			6" WHITE STRIPE
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH (BROWN)	
STACKED STONE			
SS-1	BRORAL	ASPEN COUNTRY LEDGESTONE (VARIOUS TANS)	WET STACK APPLICATION. MORTAR COLOR "LIGHT (BUFF)"(BEIGE)
STONE BAND			
SB-1	BRORAL	TUSCAN L'INTEL CHAMPAGNE (GREY)	MORTAR COLOR "LIGHT (BUFF)"(BEIGE)

STANDARD CANOPY FASCIA COLOR SPECIFICATION CHART

COLOR CALLOUT	CANOPY MANUFACTURER	STANDARD COLOR SPECIFICATION
"RED"	LANE CANOPIES	TRD RED FASCIA
	MC GEE CANOPIES	TRD RED FASCIA
	MADISON CANOPIES	PROGRAM RED FASCIA
"TAN"	LANE CANOPIES	ETT TAN FASCIA
	MC GEE CANOPIES	ETT TAN FASCIA
	MADISON CANOPIES	PUEBLO TAN FASCIA

RaceTrac
100% RECYCLED
 THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED. 2015 RACETRAC PETROLEUM, INC.
DESIGN PROFESSIONALS

GPD GROUP
 Professional Corporation
 520 SOUTH MAIN STREET, SUITE 2631
 AKRON, OHIO 44311
 330.572.2100 Fax: 330.572.2701

ISSUE/REVISION RECORD

DATE	DESCRIPTION
10/27/15	PRELIMINARY PACKAGE
11/03/15	REVISED PRELIM PACKAGE

RaceTrac
 RACETRAC PETROLEUM, INC.
 3225 CUMBERLAND BOULEVARD
 SUITE 100
 ATLANTA, GEORGIA 30329
 (770) 431-7600

PROJECT NAME
ARAPAHO @ BOWSER

RICHARDSON TEXAS 75081
ARAPAHO RD AND N. BOWSER

RACETRAC PROJ. NUMBER
#1182

PROTOTYPE SERIES
5.5 BR-LH-MQ(-) 15R01

PLAN MODIFICATION NOTICE
 SPB NO. 000 DATE XX-XX-XX
 STANDARD PLAN BULLETIN (SPB) ADOPT THE PROTOTYPE SERIES SEE BELOW. THE (C) IS FOR REVISIONS TO THE DATE MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES. SEE AT ORIGINAL RELEASE. THE ISSUE REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETIN NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

PROJECT NUMBER
 2015157.13

SHEET TITLE
FUEL CANOPY PLANS AND ELEVATIONS

SHEET NUMBER

C100
 NOT FOR CONSTRUCTION



Looking North
across Arapaho Road



Looking West along
Arapaho Road

(2)



(3)

Looking East along
Arapaho Road



Looking East from
Subject Property

(4)



FIRE LANE NO PARKING

Looking South from
Subject Property



(6)

Looking North along
West Property Line



Existing Location
Hwy 121 & Parkwood
Plano, TX



**Existing Location
Hwy 121 & Parkwood
Plano, TX**

(8)



**Existing Location
Hebron & International
Carrollton, TX**



RaceTrac

**Existing Location
Hebron & International
Carrollton, TX**

(10)

Explanation and Description of Request

The approximately 3.385 acre request site is currently zoned within the I-FP(2) Industrial District. The property is presently developed with a vacant bank building and motor bank drive-through. Surrounding properties are mostly zoned industrial, with the exception of a small tract at the southeast corner of Arapaho Road and North Bowser Road that is zoned LR-M(1) Local Retail District. The purpose of this request is to rezone the Property to LR-M(2) Local Retail District with a special permit for a motor vehicle service station. The applicant is also requesting a variance to the gas station stacking requirement in Section 21-59 of the Subdivision Ordinance for the outer drive.

The applicant proposes to develop a RaceTrac retail store and gas station on approximately 2.15 acres at the corner of Arapaho Road and N. Bowser Road. The remaining 1.233 acres will be repositioned for future redevelopment with Local Retail District uses. The property is located in an area identified in the City's Comprehensive Plan as the East Arapaho/Collins Enhancement and Redevelopment zone. The request is consistent with the Comprehensive Plan's goal of redeveloping underperforming sites in this area.

The proposed redevelopment will be a significant enhancement over the existing vacant buildings at the site. The previous use was also an auto-oriented use with a drive-through motor bank. The proposed RaceTrac will increase the landscaping percentages and buffers, creating an overall more aesthetically pleasing streetscape along Arapaho Road. Additionally, the RaceTrac will include a 5,500 square foot retail store with services for the community. The interior will feature RaceTrac's new store concept that includes a wide-variety of food items, a coffee bar, and a frozen yogurt concept. As noted in the 2013 Enhancement/Redevelopment Study, attracting retailers and enhancing the Arapaho Road streetscape are important strategy objectives for spurring new office redevelopment in the area.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

ZONING CHANGE & SPECIAL PERMIT

File No./Name: ZF 15-27 / RaceTrac
Property Owner: Lennie Nicholson / LegacyTexas Bank
Applicant: Tommy Mann & Laura Hoffmann / Winstead PC
Location: 700 & 720 E. Arapaho Road (See map on reverse side)
Current Zoning: I-FP(2) Industrial
Request: Request for a change in zoning from I-FP(2) Industrial with special conditions to LR-M(2) Local Retail and approval of a Special Permit for a motor vehicle service station.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, NOVEMBER 17, 2015
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

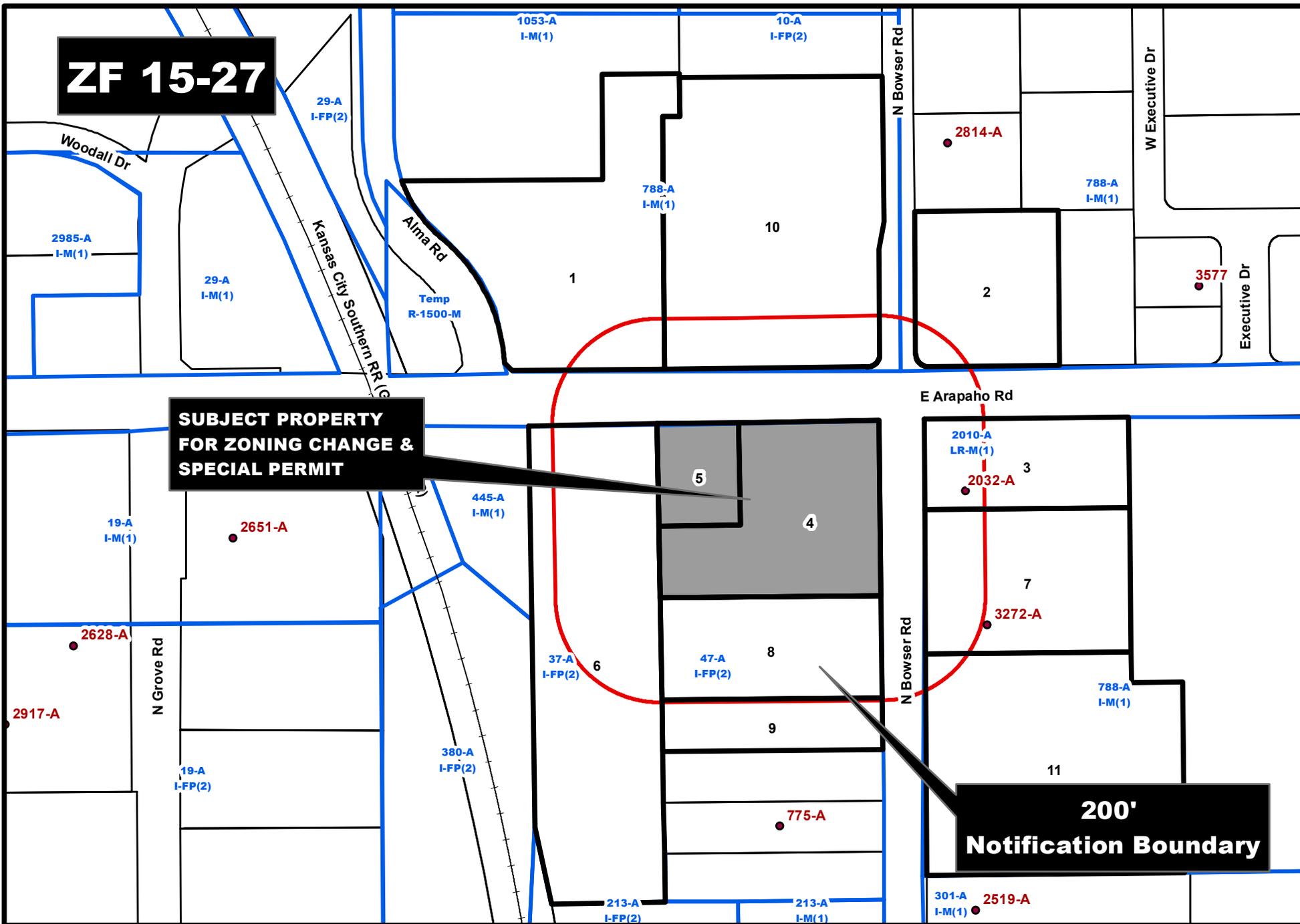
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 15-27.

Date Posted and Mailed: 11/06/2015



ZF 15-27 Notification Map

Updated By: shacklett, Update Date: October 15, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1527\ZF1527 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1-SAF CTP LLC
18111 PRESTON RD, STE 100
DALLAS, TX 75252-6099

2-ARAPAHO OFFICE PARTNES LP
2254 MOORE ST STE 102
SAN DIEGO, CA 92110-3024

3-ARAPAHO SQUARE LTD
7005 CHASE OAKS BLVD STE 200
PLANO, TX 75025-5954

4, 5 & 10-LEGACYTEXAS BANK
PO BOX 941327
PLANO, TEXAS 75094-1327

11-DUMAIS STEVEN M REV LIV TRU
1456 LAKEVIEW DR
WYLIE, TX 75098-4744

6-TXI OPERATIONS LP
1341 W MOCKINGBIRD LN
DALLAS, TX 75247-6913

7-WHITEHALL BOWSER TECH LTD
PO BOX 794005
DDALLAS, TX 755379-4005

8-MULL JERRY C DBA
A MINI SELF STORAGE
1204 SPRUCE CT
PLANO, TX 75075-7347

9-SHERWOOD DALLAS COMPANY
921 N BOWSER RD
RICHARDSON, TX 75081-2823

**TOMMY MANN
WINSTEAD PC, 500 WINSTEAD BLDG,
2728 N HARWOOD STREET
DALLAS, TEXAS 75201**

**LAURA HOFFMANN
WINSTEAD PC, 500 WINSTEAD BLDG,
2728 N HARWOOD STREET
DALLAS, TEXAS 75201**

**LENNIE NICHOLSON
LEGACYTEXAS BANK
PO BOX 941327
PLANO, TEXAS 75094**

**ZF 15-27
NOTIFICATION LIST**



MEMO

DATE: December 10, 2015
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 15-28: Special Permit – Indoor Trampoline Park – 110 W. Campbell Rd.

REQUEST

John Perry, JVA Properties, is requesting approval of a Special Permit for a 23,978-square foot commercial amusement center (indoor trampoline park) located within an existing 113,675-square foot single story retail shopping center located on the north side of Campbell Road, west of Alamo Road. The proposed use is only allowed in the LR-M(2) Local Retail, C-M Commercial and Industrial Districts upon approval of a Special Permit.

BACKGROUND

The applicant intends to occupy a lease space, located between the Fox and Hound and Office Max lease spaces. The applicant states the trampoline park provides family entertainment which includes multiple activity areas where several groups or parties can be accommodated at the same time. The proposed hours of operation are generally between 9:00 a.m. and 9:00 p.m. depending on the day and time of year. The applicant expects the majority of participants to be between the ages of eight (8) and fourteen (14). The facility will sell bottled, non-alcoholic beverages and pre-packaged foods; there will be no on-site food preparation.

As part of the request a parking ratio must be established for the proposed use as the City of Richardson’s parking standards do not include a specific parking ratio for a commercial amusement center. The applicant is proposing a ratio of one (1) parking space per 200 square feet, which would require 120 spaces for the proposed use. Based on this proposed ratio and other uses on the subject property, the site would provide a surplus of seven (7) parking spaces.

The City has a parking ratio for private recreation facilities (health clubs, martial arts studios, dance studios, etc.) which is one (1) space per 100 square feet of activity area. Based on this ratio, the use would require 160-170 parking spaces; however, because the trampoline areas can accommodate only a limited number of jumpers, the applicant is requesting the lower ratio of one (1) parking space per 200 square feet. Although occupancy of the lease space may exceed 120, the applicant maintains that children are frequently dropped off or multiple children are brought to the facility in a single vehicle, thereby requiring less than one (1) parking space for each customer. The proposed ratio of 1 parking space per 200 square feet is generally comparable to the parking ratios required in other cities for this type of use.

One (1) letter in opposition to the request was received.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 7-0, recommends approval of the request subject to the attached special conditions. **Should the City Council approve the request, Ordinance No. 4145 is attached and may be approved with the same motion.**

ATTACHMENTS

Special Conditions
 CC Public Hearing Notice
 City Plan Commission Minutes 11-03-2015
 Staff Report
 Zoning Map
 Aerial Map
 Oblique Aerial Looking North
 Zoning Exhibit (Exhibit “B”)

Floor Plan (for information purposes only)
 Site Photos and Existing Trampoline Park Photos
 Applicant’s Statement
 Notice of Public Hearing
 Notification List
 Correspondence
 Proposed Ordinance – Ordinance Number 4145

ZF 15-28 Special Conditions

1. A commercial amusement center, limited to a trampoline park, shall be allowed and shall be limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof.
2. The commercial amusement center shall provide parking at a ratio of one (1) parking space per 200 square feet.



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: November 24, 2015
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: NOVEMBER 27, 2015

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00p.m. on Monday, December 14, 2015, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 15-27

A request by Tommy Mann & Laura Hoffmann, Winstead PC, representing RaceTrac Petroleum, Inc. for a change in zoning from I-FP(2) Industrial with special conditions to LR-M(2) Local Retail and approval of a Special Permit for a motor vehicle service station to be located at 700 and 720 E. Arapaho Road (southwest corner of Arapaho Road and Bowser Road). The property is currently zoned I-FP(2) Industrial.

ZF 15-28

A request by John Perry, representing JVA Properties, for approval of a Special Permit for a commercial amusement center (indoor trampoline park) to be located at 110 W. Campbell Road (northwest corner of Campbell Road and Alamo Road). The property is currently zoned C-M Commercial.

ZF 15-29

A request by David Danglard, representing K1 Speed, for approval of a Special Permit for a commercial amusement center (indoor karting business) to be located at 677 W. Campbell Road (south side of Campbell Road, between Floyd Road and Nantucket Drive). The property is currently zoned LR-M(2) Local Retail.

ZF 15-30

A request by Kalpita Patel, representing VRKP LLC, for approval of a Special Permit for massage establishment(s), limited to no more than 660 square feet within a salon suites lease space, to be located at 100 S. Central Expressway (southwest corner of Central Expressway and Belt Line Road). The property is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –NOVEMBER 3, 2015**

PUBLIC HEARING

Zoning File 15-28 – Altitude Trampoline Park: Consider and take necessary action on a request for approval of a Special Permit for a commercial amusement center (indoor trampoline park). The property is currently zoned C-M Commercial and located at 110 W. Campbell Road, northwest corner of Campbell Road and Alamo Road.

Mr. Shacklett advised the applicant was requesting a Special Permit for an indoor trampoline park that would be located inside an existing 104,000-square foot retail center. The trampoline park would encompass 23,978 square feet at the west end of the center and would provide the following features:

- Trampoline area – 16,000-17,000 square feet
- Party area – 3,000 square feet
- Offices, restrooms, break rooms, etc. – 4,000 square feet

Mr. Shacklett stated that no exterior modifications were being proposed for the trampoline park, but there were additional changes taking place at the retail center including a 9,000 square foot addition to a fitness center (previously approved) and upgraded landscaping and parking. In addition, he explained the facility would provide multiple activity areas where several groups or parties could be accommodated at the same time, and the proposed hours of operation would be as follows:

- 11:00 a.m. to 8:00 p.m. (Monday through Thursday-earlier time of 9:00 a.m. in the summer):
- 11:00 a.m. to 9:00 p.m. (Friday)
- 10:00 a.m. to 9:00 p.m. (Saturday)
- 10:00 a.m. to 8:00 p.m. (Sunday)

Mr. Shacklett noted the City's Code of Ordinances did not list a specific parking ratio for a commercial amusement center, and the most similar type of parking requirement was for a private recreation facilities (health clubs, dance studios, etc.) at one parking space to every 100 square feet of floor area (1:100). He added the applicant was proposing a parking ratio of 1:200, which would equal approximately 120 parking spaces, and provided a parking survey of a similar business and a letter from the landlord approving the request.

In closing his presentation, Mr. Shacklett noted that staff had received one letter in opposition from a property owner outside the 200-foot notification area stating concerns with traffic, crowds and debris.

Vice Chair Bright wanted to know if the business was not a success could any other amusement type business occupy the space.

Mr. Shacklett replied the Special Permit was limited to a trampoline park so if something other than a trampoline amusement park wanted to locate in the space they would have to come back for a Special Permit. However, if the business changed ownership, the new owner would not need a new permit.

With no other questions for staff, Chairman Hand opened the public hearing.

Mr. John Perry, 1971 Great House Road, Waxahachie, Texas, stated he was available for any questions.

Commissioner DePuy mentioned that the staff report indicated the majority of the patrons would be from 8 to 14 years old and wanted to know if younger patrons would be allowed and would they be separated from the older patrons.

Mr. Perry said younger patrons would be separated from the older patrons and adults.

No other comments were received in favor or opposed and Chairman Hand closed the public hearing.

Vice Chair Bright thought the use was appropriate, but asked the staff if the Special Permit should be limited to the proposed use and, if not, should it revert back to a commercial use.

Mr. Chavez replied that the special conditions in the staff report were specific to the proposed use as opposed to the operator.

Motion: Commissioner DePuy made a motion to recommend approval of Zoning File 15-28 as presented; second by Commissioner Frederick. Motion approved 7-0.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, Assistant Director – Development Services *SC*

DATE: December 10, 2015

RE: **Zoning File 15-28:** Special Permit – Commercial Amusement Center (Indoor Trampoline Park)

REQUEST:

Special Permit for a commercial amusement center (indoor trampoline park) located in a 23,978-square foot lease space within an existing 113,675-square foot building located at 110 W. Campbell Road, on the north side of Campbell Road, west of Alamo Road.

APPLICANT / PROPERTY OWNER:

John Perry – JVA Properties / Coy Haynes – Leon Capital Group.

EXISTING DEVELOPMENT:

The 10.86-acre site currently consists of the subject 113,675-square foot building as well as two (2) freestanding restaurant buildings, totaling 9,849 square feet.

ADJACENT ROADWAYS:

Campbell Road: Six-lane, divided arterial; 38,700 vehicles per day on all lanes, eastbound and westbound, west of Alamo Road (April 2014).

Alamo Road: Two-lane, undivided local street; no traffic counts available.

SURROUNDING LAND USE AND ZONING:

North: Office; O-M Office
South: Retail/Commercial & Office; C-M Commercial & LR-M(2) Local Retail
East: Retail/Commercial; LR-M(2) Local Retail
West: Retail/Commercial; C-M Commercial

FUTURE LAND USE PLAN:

Neighborhood Service

Service-related uses such as retail sales; personal services; entertainment; recreation; and office uses oriented to the immediate area.

Future Land Uses of Surrounding Area:

North: Neighborhood Service
South: Regional Employment

East: Neighborhood Service

West: Neighborhood Service

EXISTING ZONING:

C-M Commercial per Ordinance Number 558-A & 710-A.

TRAFFIC/ INFRASTRUCTURE IMPACTS:

The request will not have any significant impacts on the surrounding roadway system or the existing utilities in the area.

APPLICANT'S STATEMENT

(Please refer to the complete Applicant's Statement.)

STAFF COMMENTS:

Background:

The subject property was initially developed in the 1970's as a 104,000-square retail building along with multiple restaurant pad sites along Campbell Road. Currently, the shopping center is being expanded by approximately 9,700 square feet to accommodate a health club that will occupy the eastern third of Building 'A' (as shown on Exhibit "B"). The other tenants include a restaurant/bar and office supply store.

Request:

The applicant is requesting a Special Permit for a commercial amusement center, specifically to accommodate an indoor trampoline park. The proposed use, which would be located in a 23,978-square foot lease space, provides the following areas within the facility:

- Trampoline area – 16,000-17,000 square feet
- Party area – 3,000 square feet
- Offices, restrooms, break rooms, etc. – 4,000 square feet

The applicant states the trampoline park provides family entertainment. These types of facilities typically provide multiple activity areas where several groups or parties can be accommodated at the same time. The proposed hours of operation would be as follows with earlier opening times (9:00 a.m. in the summer):

- 11:00 a.m. to 8:00 p.m. (Monday through Thursday)
- 11:00 a.m. to 9:00 p.m. (Friday)
- 10:00 a.m. to 9:00 p.m. (Saturday)
- 10:00 a.m. to 8:00 p.m. (Sunday)

The applicant expects the maximum allowable occupancy to be 300 to 400; however, he does not expect the facility to achieve maximum occupancy except during the grand opening or holidays. The maximum number of expected employees on a busy weekend day is thirty (30) to forty (40), but only half would be on shift at a given time. It is expected that 65-70% of the participants will be between the ages of eight (8) and fourteen (14). Regarding food service, the facility will sell bottled, non-alcoholic beverages and pre-packaged snacks. No food will be prepared on-site; however, food will be provided from contract vendors, which are typically local restaurants.

Parking – Staff requested the applicant to provide additional information regarding the parking needs for the proposed use along with parking survey information from existing, similar facilities and parking requirements from area cities. The applicant is proposing a parking ratio of one (1) space per 200 square feet, which would require 120 parking spaces for the proposed use. Based on this proposed ratio and other uses on the subject property, the site would provide a surplus of seven (7) parking spaces. The City has a parking ratio for private recreation facilities (health clubs, martial arts studios, dance studios, etc...) which is one (1) space per 100 square feet of activity area. The space would require 160-170 spaces based on their trampoline area; however, the applicant is requesting a lower ratio since the trampoline areas can only accommodate a limited number of jumpers, and he feels the requested ratio of one (1) space per 200 square feet for the entire space is adequate for the use. He states that although the occupancy may be over 120, children are frequently dropped off or multiple children are brought to the facility in one (1) vehicle, thereby requiring less than one (1) parking space for each attendant.

The applicant provided a parking survey from a similar location located at US-75 and Royal Lane in Dallas called Jump Street. The applicant states between the hours of 1:30 p.m. and 3:30 p.m., a total of fifty (50) vehicles entered the parking lot. The survey states most of the vehicles parked for an extended period of time, and occupants went into the facility. Furthermore, the applicant has provided parking ratios for this type of use from the following cities:

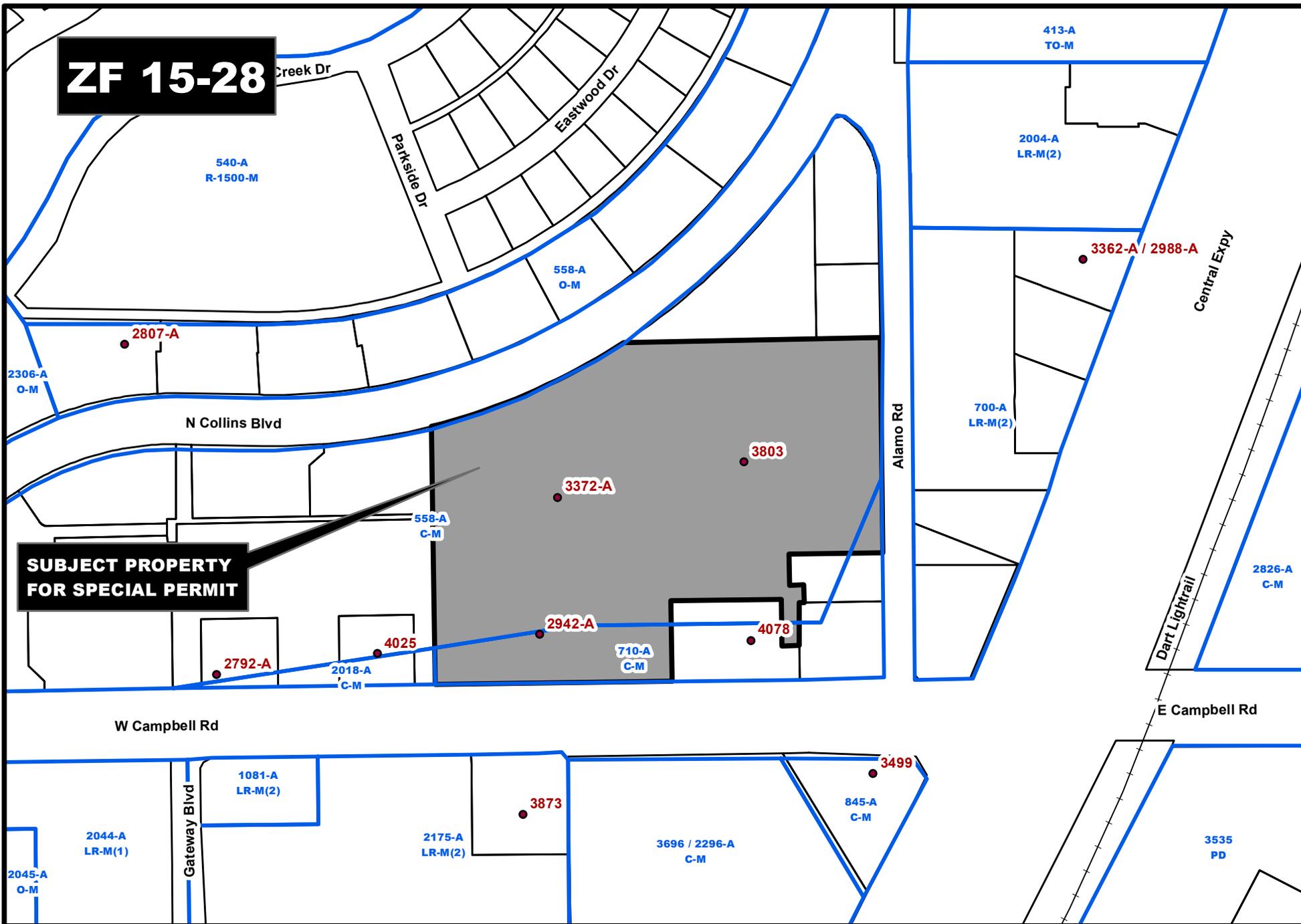
- City of Arlington – 1 space per 225-250 square feet.
- City of Cedar Hill – 1 space per 200 square feet.
- City of Sugarland – 1 space per 350 square feet (plus one (1) additional space per two (2) employees on shift).

Staff contacted additional surrounding cities that have this type of use in their cities. It appears that the proposed ratio is comparable to the ratios being required in other cities. Some require parking based on the area of the space while others require a certain number of parking spaces for a certain number of attendants and employees.

Correspondence: As of this date, one (1) letter in opposition has been received.

Motion: On November 3, 2015, the City Plan Commission recommended approval of the applicant's request as presented, subject to the following conditions:

1. A commercial amusement center, limited to a trampoline park, shall be allowed and shall be limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof.
2. The commercial amusement center shall provide parking at a ratio of one (1) parking space per 200 square feet.



ZF 15-28

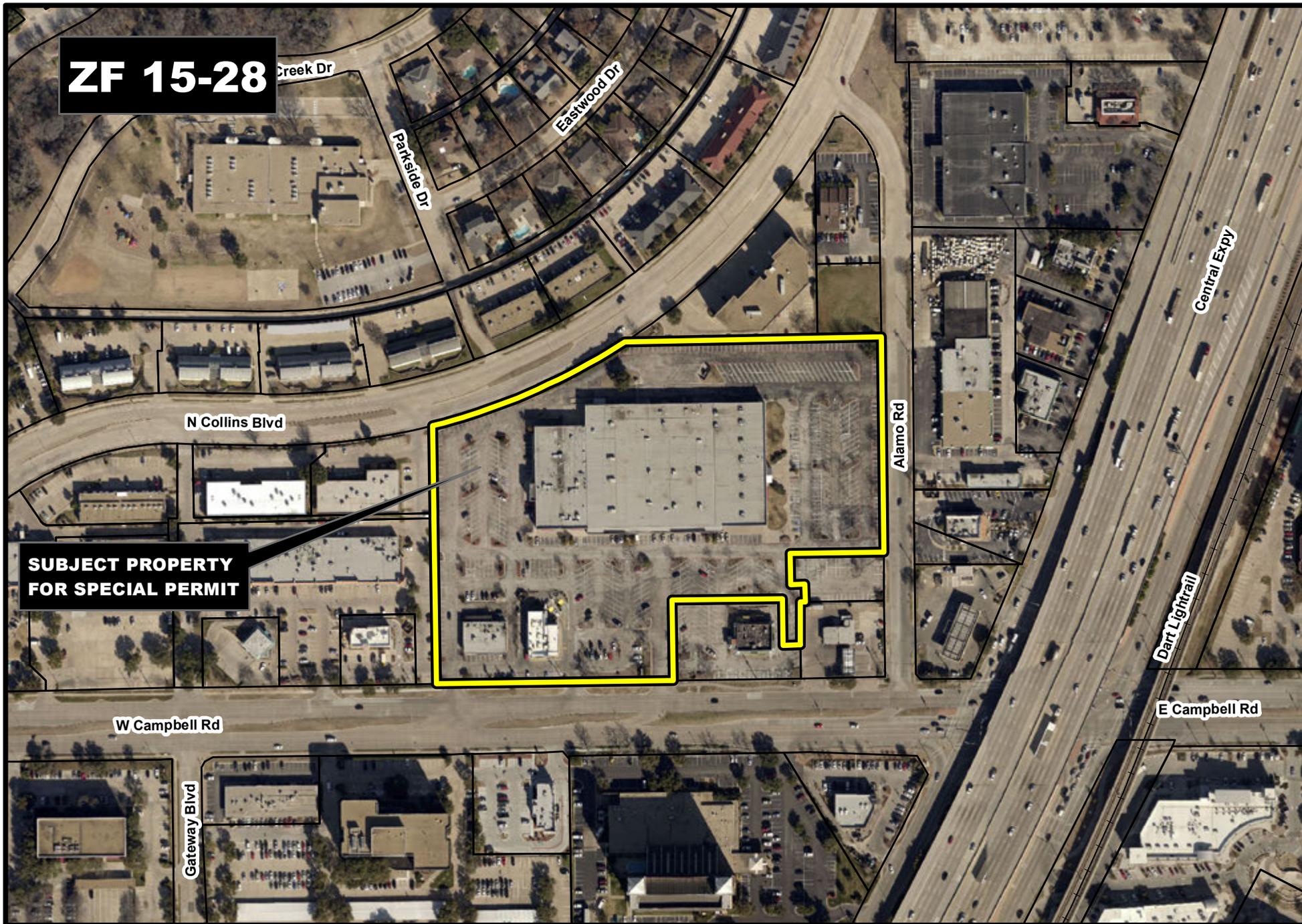
**SUBJECT PROPERTY
FOR SPECIAL PERMIT**

ZF 15-28 Zoning Map

Updated By: shacklett, Update Date: October 15, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1528\ZF1528 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 15-28

**SUBJECT PROPERTY
FOR SPECIAL PERMIT**

ZF 15-28 Aerial Map

Updated By: shacklett, Update Date: October 15, 2015
File: DSI\Mapping\Cases\Z\2015\ZF1528\ZF1528 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





Collins Boulevard

Alamo Road

Campbell Road

**Subject
Lease
Space**

Fox &
Hound

Office Max

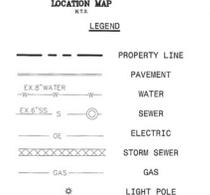
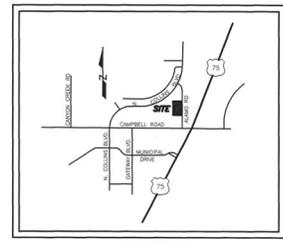
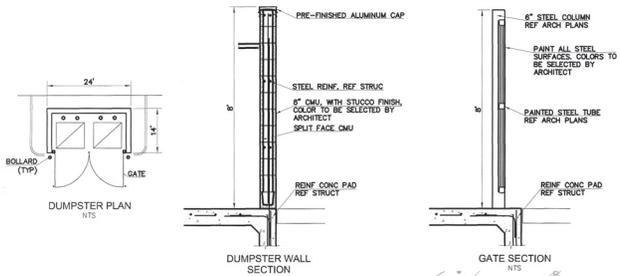
Gold's Gym

Dimassi's

McDonald's

Future
Pollo Tropical

Oblique Aerial
Looking North



- NOTES:**
1. BACKGROUND PROVIDED BY GOOD FULTON & FARRELL, INC.
 2. SEE CIVIL SHEETS FOR CIVIL SITE DESIGN.
 3. SEE LANDSCAPE PLAN FOR SITE LANDSCAPING.
 4. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES.
 5. OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 1 FOOT-CANDLE OR LESS.
 6. PROPERTY LINE BEARINGS AND DISTANCES BASED ON LOT 1B & 4, BLOCK 1 K-MART PLAZA ADDITION, DOC #2015000033667

SITE SUMMARY TABLE LOT 1C

Site Address	110 W. CAMPBELL ROAD
Zoning District	C-M "COMMERCIAL"
Proposed use	RESTAURANT/RETAIL/FITNESS CENTER
Site Area:	10.658 Acres 472,698 S.F.
Building Area:	123,524 S.F.
Building Setbacks:	40 Feet at all Right-of-way
Building A	113,676 S.F.
Building B	5,287 S.F.
Building C	4,562 S.F.
Building Height:	1 Story - 25'8"
Lot Coverage:	123,524 / 472,698 = 26.1%
Floor Area Ratio:	123,524 S.F. / 472,968 = 0.261
Parking Required:	
Restaurants:	1 spc/100 SF
BLDG B (5,287 SF)	= 53 Spaces
BLDG C (4,562 SF)	= 46 Spaces
Restaurants:	1 spc/175 SF - Per Ordinance 3372
Office Max (31,110 SF)	= 117 Spaces
Retail:	30 spcs for the first 10,000 SF; 1 spc/200 remainder
Proposed Altitude Trampoline Park (23,978 SF)	= 136 Spaces
Fitness Center:	1 spc/100 SF of Activity Area
Gold's Gym (24,604 SF)	= 246 Spaces
Parking Required:	= 718 Spaces
10% Parking Reduction allowed:	= 72 Spaces
Total Parking Required:	= 646 Spaces
Parking Provided:	
Standard	= 638 Spaces
Handicap	= 15 Spaces
Total	= 653 Spaces
Open Space Required:	7.3% Per Landscape Variance 8/18/93
Lot 1C = 472,968 x 0.073 = 34,527 SF	
Open Space Provided:	
Lot 1C = 34,682 SF or 7.3%	

**ALTITUDE TRAMPOLINE PARK
SITE PLAN
RICHARDSON PLAZA EXPANSION
110 W. CAMPBELL ROAD
K-MART PLAZA
BLOCK 1, LOT 1C
WILLIAM HUGHES SURVEY, ABSTRACT NO. 573
CITY OF RICHARDSON, DALLAS COUNTY
OCTOBER 1, 2015**

OWNER/APPLICANT
LG 75 CAMPBELL, LLC
COY HAYNES
2301 CEDAR SPRINGS
SUITE 200
DALLAS, TX 75201
214-865-9097

ENGINEER
VASQUEZ ENGINEERING, L.L.C.
JUAN J. VASQUEZ, P.E.
1919 S. SHILOH ROAD
SUITE 440
GARLAND, TEXAS 75042
972-278-2948 TELE
972-271-1383 FAX

LINE TABLE

L1	S00°53'29"E 60.70'
L2	S89°06'31"E 27.79'
L3	S00°53'29"E 34.24'
L4	S89°06'31"W 10.18'

APP.	
DATE	
NO.	

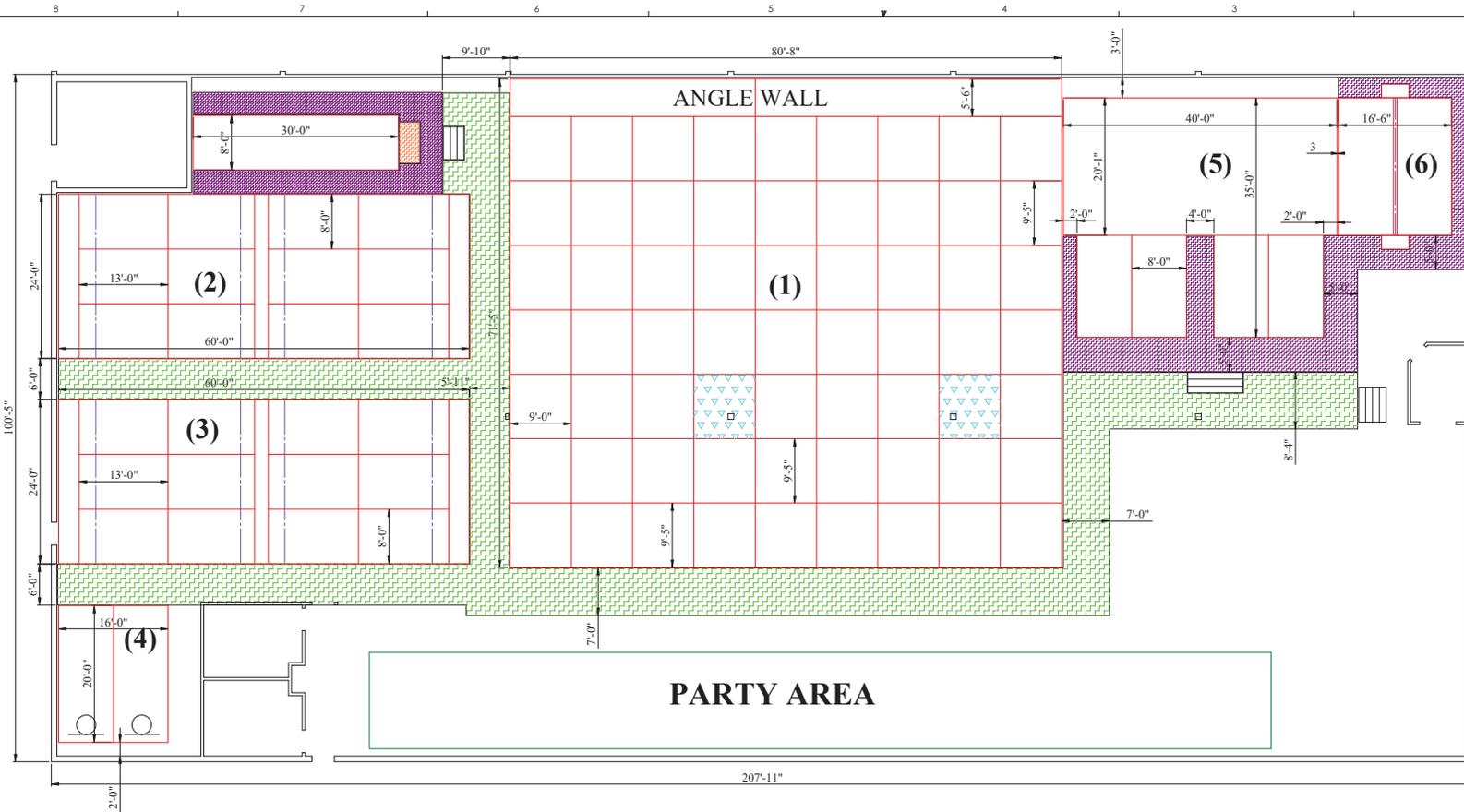


DEVELOPER:
LG 75 CAMPBELL, LLC
2301 Cedar Springs
Suite 200
Dallas, TX 75201

SITE PLAN
RICHARDSON PLAZA EXPANSION
110 W. CAMPBELL ROAD
CITY OF RICHARDSON, TEXAS

Scale:	1" = 50'
Designed by:	JAV
Drawn by:	BYM
Checked by:	BYM
Scale:	8881 (AutoCAD Plot Area)
Date:	10/01/2015

SHEET
SP1

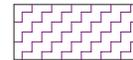


AREA OF BUILDING :- 20900 SQ. FT.
55 % AREA HAVE BEEN COVERED BY TRAMPOLINES

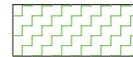
TOTAL AREA FOR TRAMPOLINE :- 11398 SQ. FT.

1. MAIN COURT :- 6080 SQ. FT.
2. DODGE BALL-1 :- 1544 SQ. FT.
3. DODGE BALL-2:- 1544.5 SQ. FT.
4. BASKET BALL :- 320 SQ. FT.
5. FOAM PIT :- 1340 SQ. FT.
6. BATTLE BEAM :- 330 SQ. FT.
7. TRAPEZE BAR :- 240 SQ. FT.

Note :- "Per ASTM 2970, this layout assumes clear ceiling height not less than 20-ft (6.1m) over foam pit and 17-ft (5.18m) over all other courts. Alert us immediately if building fails this requirement." This installation assumes normal concrete floor with no radiant floor heating.



61.6875 Inch high platform above concrete floor(refer dwg)



35.6875 Inch high platform above concrete floor(refer dwg)

3 ATOMS, LLC 1321 E Franklin St Hartwell, Georgia 30643-7132		NAME	DATE	ALTITUDE
DRAWN	NEHA	03-11-13		RICHARDSON
CHECKED	AMIT D			TITLE:
ENG APPR.				TC LAYOUT
MFG APPR.				
Q.A.				
INTERPRET GEOMETRIC TOLERANCING PER:			SIZE	DWG. NO.
MATERIAL			D	01
FINISH			SCALE: 1:130	SHEET 1 OF 1

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF 3 ATOMS, LLC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF 3 ATOMS, LLC IS PROHIBITED.



Looking North at
Subject Lease Space

(1)



(2)

Looking East along
Front of Shopping Center



Existing Altitude Trampoline Park

(3)



(4)

Existing Altitude Trampoline Park



(5)

Existing Altitude
Trampoline Park

ZF 15-28 Applicant's Statement

City of Richardson

To Whom It May Concern:

JVA Properties in partnership with Altitude Trampoline Parks is requesting a zoning change for the property at 110 W. Campbell Road. We are requesting that parking be 1 space per 200sf of building square footage. Because this is a relatively new form of family entertainment, we have enclosed several examples of parking requirements from other cities.

John Perry

JVA Properties, L.L.C.
972-617-7110

ZF 15-28 Applicant's Statement

Additional information on existing trampoline parks in the area and the number of required and provided parking spaces. Examples below:

- City of Arlington - 1 parking place for every 225-250sf of building space.
- City of Cedar Hill - 1 parking place for every 200sf of building space.
- Sugarland, TX - 1 parking place for every 350sf of building space.

In addition, Redlee USA, LTD. took a survey Saturday, October 10, 2015 at Jump Street in North Dallas (Central Expressway at Royal) - the report is enclosed.

* HOURS OF OPERATION: The hours of operation during the school year will be approximately 11am-8pm M-Th, 11am-9pm Friday, 10am-9pm Saturday and 10am-8pm Sunday. During the summer months the hours will be extended by opening earlier in the mornings - approximately 9am.

* EMPLOYEES: The maximum number of employees required to operate this facility for a busy weekend will be 15-20 per shift or 30-40 per day.

* CUSTOMERS: This particular concept is targeting kids age 8-14. This segment of the market makes up 65-70% of all jumpers.

* SQUARE FOOTAGE ALLOTMENT: We hope to get 16k-17k square foot of trampoline area in the building. The party area will be around 3k sf. The remainder will be used for restroom facilities, office, break room, etc.

* FOOD AND DRINK: We will be selling bottled beverages and package snacks; but all other food will come from contract vendors in the area such as Chic-fil-a, CiCi's and/or Domino's.

REDLEE USA, LTD.

Service Management

October 12, 2015

John Perry

On October 10, 2015, we surveyed the activities related to guests parking and entering the facility versus the cars that pulled up and dropped kids and then left the parking lot. This survey was done in the parking lot of Jump Street located at the Royal Central Center, 11250 N. Central Expressway, Dallas, Texas. The survey began at 1:30 PM cst and ended at 3:30 PM cst.

There were a total of 50 cars involved in the survey. 48 cars parked and occupants went into the facility for extended periods of time. 2 cars dropped children at the curb and drove out of the parking lot.

Respectfully,

Larry Wright
Managing Partner
REDLEE USA, LTD.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

SPECIAL PERMIT

File No./Name: ZF 15-28 / Altitude Trampoline Park
Property Owner: Coy Haynes / Leon Capital Group
Applicant: John Perry / JVA Properties
Location: 110 W. Campbell Road (See map on reverse side)
Current Zoning: C-M Commercial with Special Conditions
Request: A request for approval of a Special Permit for a commercial amusement center (indoor trampoline park) to be located at 110 W. Campbell Road (northwest corner of Campbell Road and Alamo Road).

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, NOVEMBER 3, 2015
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

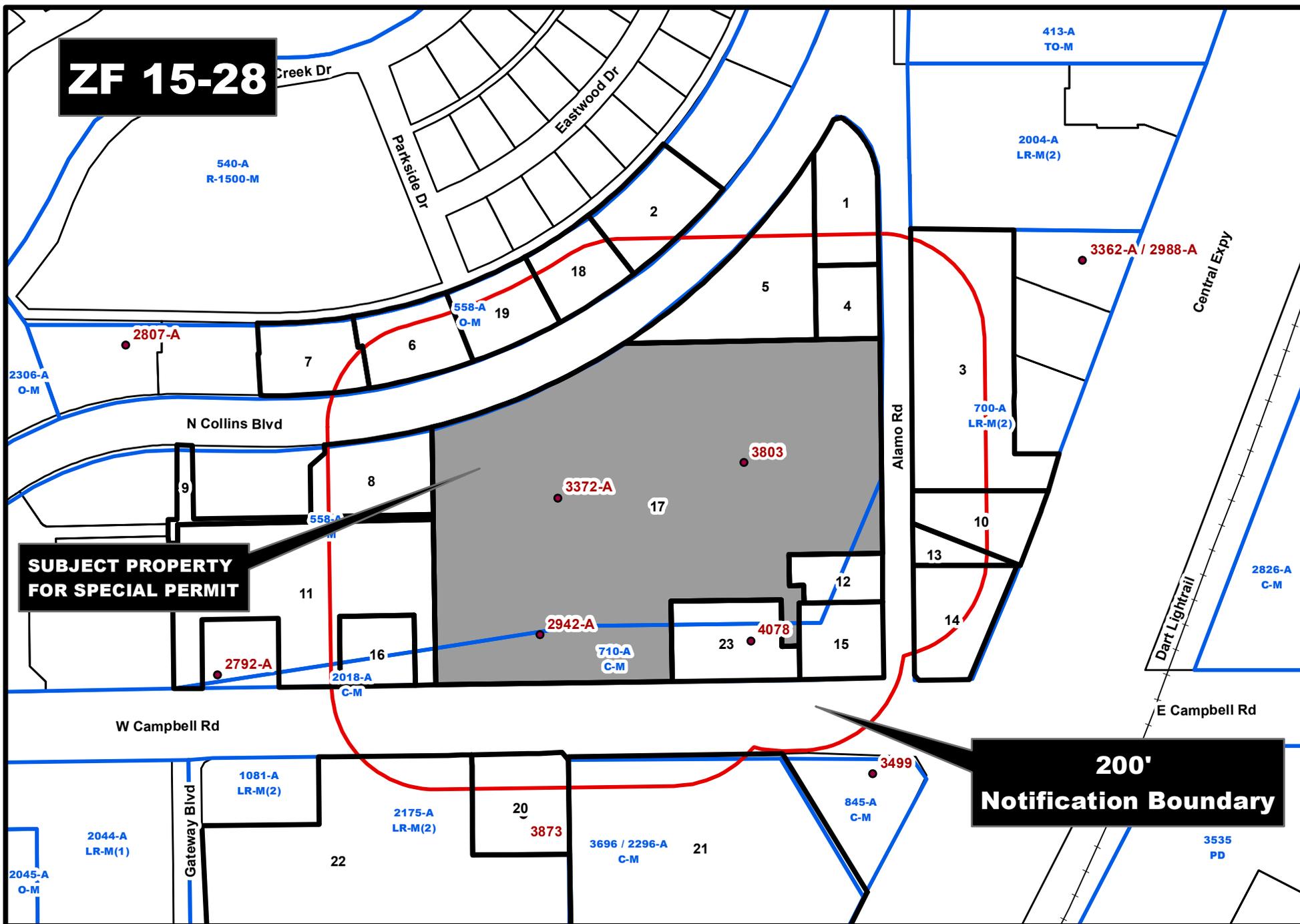
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 15-28.

Date Posted and Mailed: 10/23/2015



ZF 15-28 Notification Map

Updated By: shacklett, Update Date: October 15, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1528\ZF1528 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1&4-TAKANORI LLC
2150 N COLLINS BLVD
RICHARDSON, TX 75080-2639

2-COLLINS 2095 LTD
2071 N COLLINS BLVD STE 200
RICHARDSON, TX 75080-2697

3-BRAVO CENTRAL LLC
% KEITH KOOP
5720 LBJ FWY STE 180
DALLAS, TX 75240-6386

5-2100 NORTH COLLINS LLC
PO BOX 1868
ROCKWALL, TX 75087-1868

6-VALINOTES LLC
2089 N COLLINS BLVD STE 100
RICHARDSON, TX 75080-2664

7-LION ROCK LP
2083 N COLLINS BLVD STE 100
RICHARDSON, TX 75080-2660

8-RHODES PROPERTIES
613 EASY ST
GARLAND, TX 75042-6812

9&11-NW CANYON CREEK LP
7047 CURRIN DR
DALLAS, TX 75230-3527

12-FAMBRO JAMES R
1416 J AVE
PLANO, TX 75074-6225

10&13-PATIRIS YIOTA REV TR A &
%MICHAEL SHEBAY
PO BOX 6969
SYRACUSE, NY 13217-6969

14-QUIK WAY RETAIL ASSOCIATES
8350 N CENTRAL EXPY STE M2185
DALLAS, TX 75206-1600

15-FAMBRO LUTHER J
1416 J AVE
PLANO, TX 75074-6225

16-SCHOLER ZK DALLAS LLC
%SGU INSURANCE PPTY LP
2815 TOWNSGATE RD # 130
WESTLAKE VILLAGE, CA 91361-3089

18-PRINCE & GOLDEN PROP LP
105 N TRENTON ST
RUSTON, LA 71270-4321

19-EVAN AZ ENTERPRISES LP
3933 SUNFLOWER LN
PLANO, TX 75025-2022

20-BURGER KING WEST
%RYAN
PO BOX 460189
HOUSTON, TX 77056-8189

21-TARAZ KOOH LLC
%ALIREZA MORIRAHIMI
1981 N CENTRAL EXPY
RICHARDSON, TX 75080-3509

22-275 CAMPBELL PTNRS LTD
15280 ADDISON RD STE 301
ADDISON, TX 75001-4548

17&23-LG 75 CAMPBELL LLC
2301 CEDAR SPRINGS RD STE 200
DALLAS, TX 75201-7387

**COY HAYNES
LEON CAPITAL GROUP
2301 CEDAR SPRINGS RD, STE 200
DALLAS, TEXAS 75214**

**JOHN PERRY
JVA PROPERTIES
PO BOX 298
RED OAK, TEXAS 75154**

**ZF 15-28
Notification List**

428 Sandy Trail

Richardson, TX 75080-3423

October 27, 2015

Dept. of Development Services

P.O. Box 830309

Richardson, TX 75083

Subject: Zoning Request ZF 15-28

Attn: City Plan Commission

We have recently become aware of this zoning request and, as 50+ year residents of Richardson, want to strongly object to this improper use of property in our neighborhood.

While our youth need healthy and safe places of amusement, this proposed location is not appropriate. The potential extra traffic, crowds and debris will only result in the deterioration of our residential neighborhood.

We strongly recommend that this request be denied.

Sincerely yours,




Richard Roberts

Sally Roberts

972-231-4197

ORDINANCE NO. 4145

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, TO GRANT A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A COMMERCIAL AMUSEMENT CENTER ON A 10.86-ACRE TRACT OF LAND ZONED C-M COMMERCIAL LOCATED ON AT THE NORTHWEST CORNER OF CAMPBELL ROAD AND ALAMO ROAD, RICHARDSON, TEXAS, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 15-28).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be amended, to grant a change in zoning to grant a Special Permit for a commercial amusement center on a 10.86-acre tract of land zoned C-M Commercial located at the northwest corner of Campbell Road and Alamo Road, Richardson, Texas, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That the Special Permit for a commercial amusement center is hereby conditionally granted subject to the following special conditions:

1. A Special Permit shall be granted to allow a commercial amusement center, limited to a trampoline park. Use and development of the property for a trampoline park shall be

in conformance with the concept plan attached as Exhibit “B” and made a part thereof, and the area shown thereon.

2. The commercial amusement center shall provide parking at a ratio of one (1) parking space per 200 square feet.

SECTION 3. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars

(\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 14th day of December, 2015.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:12-4-15:TM 74531)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 15-28

BEING a 10.86-acre tract of land situated in the William Hughes Survey, Abstract No. 573, Dallas County, Texas; said tract being all of Lot 1B, Block 1, K-Mart Plaza Addition, an addition to the City of Richardson, Texas according to the plat recorded in Document No. 201500033657 of the Official Public Records of Dallas County, Texas.



MEMO

DATE: December 10, 2015
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 15-29: Special Permit – K-1 Speed – 677 W. Campbell Road

REQUEST

David Danglard, K1 Speed Inc., is requesting approval of a Special Permit for a 48,998 square foot commercial amusement center (indoor electric kart racing facility) inside an existing 76,802 square foot single story building (NTX Event Center) located on the south side of Campbell Road, between Floyd Road and Nantucket Drive. The proposed use is only allowed in the LR-M(2) Local Retail, C-M Commercial and Industrial Districts upon approval of a Special Permit.

The subject site is zoned LR-M(2) Local Retail with Special Permits for an Automobile Museum/Meeting Room and Special Events Facility (NTX Event Center), and a Temporary Open Air Market (Four Seasons Market).

BACKGROUND

The applicant intends to occupy the western 48,998 square feet of the existing 76,802 square foot building. K1 Speed is an indoor, state-of-the-art kart racing facility with thirty-four (34) locations throughout the US, including four (4) locations in Texas. The karts are fully electric powered, high performance, single person karts, which produce no noise or odor. The karts are fully computerized and can be remotely controlled by the track operator to control undisciplined driving, or to reduce all speeds if someone has lost control. The race track itself is surrounded with a 12 inch tall hard plastic/polyurethane barrier, while the race track area, as depicted on the floor plan, is separated from the concession/retail/office area by a 42 inch tall galvanized fence.

The remaining 27,804 square feet of the 76,802 square foot building will continue to operate as the NTX Event Center; however, the Four Seasons Market's ability to operate will be affected if the request is approved. The Special Permit previously granted for the Four Seasons Open Air Market precludes its operation when the principal building on-site is open or hosting an event. K1 Speed intends to operate seven (7) days a week; consequently the Market would be prohibited from operating once K-1 Speed opens for business. The property owner and the Market operator are aware of this situation and intend to submit a request in the near future to amend the current Special Permit for the Market to allow it and K1 Speed; if approved, to operate simultaneously on Saturdays.

As part of the request a parking ratio needs to be established for the proposed use as the City of Richardson's parking standards do not include a specific parking ratio for a commercial amusement center. Although a parking ratio was not proposed by the applicant, staff considered the number of proposed employees (30-35 employees), maximum number of karts on the race track during a race (12), ancillary uses (concessions, retail, office etc.) and the applicant's projected maximum capacity of 100 patrons to help determine an appropriate parking ratio for the proposed use

Based on these factors, an appropriate parking ratio would be one (1) space per 1,150 square feet of race track area (34,900 square feet) and one (1) space per 1,000 square feet of concession/retail/office area (14,098 square feet). As proposed, the parking ratios would yield 172 parking spaces for the proposed use which would support the number of racers, employees and the projected maximum capacity of 100 patrons.

With the NTX Event Center area being reduced, a total of 195 parking spaces will now be required for the NTX Event Center. When combined, the NTX Event Center and the proposed K1 Speed facility will require a total of

367 parking spaces, while 483 parking spaces are provided thus leaving the site with an additional 116 available parking spaces.

At the City Plan Commission public hearing one (1) resident spoke in favor of the request and one (1) letter in opposition has been received.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 7-0, recommends approval of the request subject to the attached special conditions. **Should the City Council approve the request, Ordinance No. 4146 is attached and may be approved with the same motion.**

ATTACHMENTS

Special Conditions
CC Public Hearing Notice
City Plan Commission Minutes 11-03-2015
Staff Report
Zoning Map
Aerial Map
Oblique Aerial Looking South
Zoning Exhibit (Exhibit "B")

Floor Plan (for information purposes only)
K-1 Speed Photos
Applicant's Statement
Notice of Public Hearing
Notification List
Correspondence
Proposed Ordinance – Ordinance Number 4146

ZF 15-29 Special Conditions

1. A commercial amusement center, limited to an indoor electric kart racing facility, shall be allowed and limited to the area shown on the attached Zoning Exhibit, marked as Exhibit "B" and made a part thereof.
2. The parking ratio for the proposed use shall be:
 - a. Race Track Area: One parking space/1,150 square feet
 - b. Concession/Office Area: One parking space/100 square feet



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: November 24, 2015
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: NOVEMBER 27, 2015

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00p.m. on Monday, December 14, 2015, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 15-27

A request by Tommy Mann & Laura Hoffmann, Winstead PC, representing RaceTrac Petroleum, Inc. for a change in zoning from I-FP(2) Industrial with special conditions to LR-M(2) Local Retail and approval of a Special Permit for a motor vehicle service station to be located at 700 and 720 E. Arapaho Road (southwest corner of Arapaho Road and Bowser Road). The property is currently zoned I-FP(2) Industrial.

ZF 15-28

A request by John Perry, representing JVA Properties, for approval of a Special Permit for a commercial amusement center (indoor trampoline park) to be located at 110 W. Campbell Road (northwest corner of Campbell Road and Alamo Road). The property is currently zoned C-M Commercial.

ZF 15-29

A request by David Danglard, representing K1 Speed, for approval of a Special Permit for a commercial amusement center (indoor karting business) to be located at 677 W. Campbell Road (south side of Campbell Road, between Floyd Road and Nantucket Drive). The property is currently zoned LR-M(2) Local Retail.

ZF 15-30

A request by Kalpita Patel, representing VRKP LLC, for approval of a Special Permit for massage establishment(s), limited to no more than 660 square feet within a salon suites lease space, to be located at 100 S. Central Expressway (southwest corner of Central Expressway and Belt Line Road). The property is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –November 3, 2015**

PUBLIC HEARING

Zoning File 15-29 – K1 Speed Indoor Karting: Consider and take necessary action on a request for approval of a Special Permit for a commercial amusement center (indoor go-kart business) to be located at 677 W. Campbell Road, south side of Campbell Road between Floyd Road and Nantucket Drive. The property is currently zoned LR-M(2) Local Retail.

Mr. Chavez advised the applicant was requesting a Special Permit for a 49,000 square foot indoor electric kart racing facility to be located within an existing 77,000 square foot, single story building on the south side of Campbell Road between Floyd Road and Nantucket Drive. He added that K1 Speed runs a state-of-the-art indoor racing facility with thirty-four locations throughout the United States and uses only electric powered, high performance, single person, carts that produce no noise or odor.

Mr. Chavez noted if the current request was approved, the existing North Texas (NTX) Event Center would be reduced in size to accommodate indoor kart racing. However, the Special Permit for the Four Seasons Market in the NTX parking lot prohibited the market from operating if the main building was in use; therefore, the property owner and the market operator anticipate an amendment to the Special Permit in the near future.

In closing his presentation, Mr. Chavez stated that the proposed hours of operation would be Monday through Thursday 12:00 p.m. to 10:00 p.m., Friday 11:00 a.m. to midnight, Saturday 10 a.m. to midnight; and Sunday from 10:00 a.m. to 10:00 p.m. He added that in calculating the number of parking spaces required, staff considered the number of employees and the projected maximum capacity and recommended a parking ratio of 1:1,150 for the track area and 1:100 for concession area equaling 172 parking spaces. With 195 parking spaces now required for the reduced NTX and 483 total parking spaces on site, staff felt the parking would be sufficient.

With no questions for staff, Chairman Hand opened the public hearing.

Mr. Mike Maguire, 17221 Von Karmen Avenue, Irvine, California, said their company had been in business for thirteen years and operated four locations in Texas. He added the karts are very safe and clean and they were excited to be in the north Dallas area.

Commissioner DePuy asked if the go-karts would race against time or other drivers. She also wanted to know if there would be different sized carts for adults and children.

Mr. Maguire replied there will be a maximum of twelve go-karts allowed on the track at any one time so each driver will be trying to set the best time for that particular race. He added that they do not allow any bumping or dangerous driving on the track. Regarding the types of carts, there are two different types of carts – junior carts for the younger patrons, and larger carts for the adults and the two never run on the track at the same time.

Commissioner Roland stated he had been to the K1 Speed facility in Austin, Texas, and noticed the televisions and other activities to do other than racing and wanted to know if the Richardson facility would have special events to coincide with major sporting events. He also wanted to know if those times would affect events at the NTX.

Mr. Maguire confirmed they would have special events that would coincide with races at major motor speedways, but he did not think those times would interfere with NTX events.

Mr. Mark Huey, Eitz Chaim Messianic Congregation, 650 W. Campbell Road, Richardson, Texas, said he was an elder at the congregation across from the NTX and they were in favor of the proposed Special Permit.

Mr. Chavez said he wanted to also mention a letter in opposition had been from a property owner outside the 200-foot notification area stating concerns with traffic, crowds and debris.

With no other comments in favor or opposed, Chairman Hand closed the public hearing.

Commissioner Roland explained that during his visit to the K1 Speed facility in Austin his group greatly enjoyed the go-karts and other amenities and he would vote in support of the Special Permit.

Commissioner Springs said he wanted to go on record that the proposed use was something that was missing, entertainment wise, from the community and he was also in support of the request.

Chairman Hand concurred and thought the go-karts would add to the entertainment already in the area (NTX, open air market, restaurants, etc.) and re-invigorate that section of the city.

Motion: Commissioner Roland made a motion to recommend approval of Zoning File 15-29 as presented; second by Commissioner Springs. Motion approved 7-0.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, Assistance Director of Development Services *SC*

DATE: December 10, 2015

RE: **Zoning File 15-29:** K1 Speed – 677 W. Campbell Road.

REQUEST:

Special Permit for a 48,998 square foot commercial amusement center (indoor electric kart racing facility) located within an existing 76,802 square foot single story building at 677 W. Campbell Road. The site is located on the south side of Campbell Road, between Floyd Road and Nantucket Drive.

APPLICANT / PROPERTY OWNER:

David Danglard – K1 Speed, Inc. / Dr. Michael Mazaheri

EXISTING DEVELOPMENT:

The 7.3-acre site contains a 76,802-square foot building and associated parking lot. The site is currently used as an automobile museum and special event facility (NTX Event Center).

ADJACENT ROADWAYS:

Campbell Road: Six-lane, divided arterial; 40,300 vehicles per day on all lanes, eastbound and westbound, west of Floyd Road (April 2014).

Floyd Road: Two-lane, undivided minor collector; 9,200 vehicles per day on all lanes, northbound and southbound, north of Campbell Road (April 2014).

SURROUNDING LAND USE AND ZONING:

North: Office & Retail/Commercial; O-M Office (Mobil 1 Lube Express)

South: School; R-1100-M Residential (Richardson North Junior High School)

East: Retail/Commercial; LR-M(2) Local Retail (Campbell Road Shopping Center)

West: Single Family; D-2400-M Duplex (Duplexes)

FUTURE LAND USE PLAN:

Neighborhood Service

Service-related uses such as retail sales; personal services; entertainment; recreation; and office uses oriented to the immediate area.

Future Land Uses of Surrounding Area:

North & East: Neighborhood Service
South: School
West: Neighborhood Residential

EXISTING ZONING:

LR-M(2) Local Retail (Ordinance Number 272) with a Special Permit for an automobile museum and special events facility (Ordinance Number 3720) and a Special Permit for a Temporary Open Air Market (Ordinance Number 4103).

TRAFFIC & INFRASTRUCTURE IMPACTS:

The requested Special Permit will not have any significant impacts on the existing utilities or traffic in the area.

APPLICANT'S STATEMENT

(Please refer to the complete Applicant's Statement.)

STAFF COMMENTS:

Background:

The subject site is zoned LR-M(2) Local Retail with Special Permits for an Automobile Museum/Meeting Room and Special Events Facility (NTX Event Center), and a Temporary Open Air Market (Four Seasons Market). The subject site is buffered from the duplex residential subdivision to the west and south by an existing six (6) foot high masonry screening wall.

The NTX Event Center will be reduced in size and will operate at this location; however, the Four Seasons Market will be impacted if the applicant's request is ultimately approved.

Since K1 Speed intends to operate seven (7) days a week, the Four Seasons Market will be prohibited from operating since a condition of the Special Permit allows the Market to operate only on Saturdays and only when the principal building located on the property is not open and/or not holding an event. The property owner and the Four Seasons Market are aware of this situation and they intend to submit a request in the near future to amend the current Special Permit for the Temporary Open Air Market to allow the Market and K1 Speed; if approved, to operate simultaneously on a Saturday.

Request:

The applicant is requesting approval of a Special Permit for an commercial amusement center and more specifically an indoor electric kart racing facility. The Comprehensive Zoning Ordinance only allows commercial amusement centers upon approval of a Special Permit in the LR-M(2) Local Retail, C-M Commercial and Industrial Districts.

K1 Speed is an indoor, state-of-the-art kart racing facility with thirty-four (34) locations throughout the US, including locations in Arlington, Austin, Houston and San Antonio. The karts are fully electric powered, high performance, 20-hp, single person karts, which produce no noise or odor. The karts are fully computerized and can be remotely controlled by the track operator to control undisciplined driving, or to reduce all speeds if someone has lost control.

The proposed kart racing facility will occupy the western 48,998 square feet of the existing 76,802 square foot building. The remaining 27,804 square feet will continue to operate as the NTX Event Center. The NTX Event Center will now support 15,000 square feet of meeting/event area and 12,804 of museum area.

The proposed facility will operate seven (7) days a week, with the hours of operation being:

- Monday – Thursday 12 pm – 10 pm
- Friday 11am – Midnight
- Saturday from 10 am – Midnight, and
- Sunday 10am – 10 pm.

As part of the request, and common with similar proposed uses, a parking ratio will need to be established for the proposed use as the City of Richardson's parking standards do not have a specific parking ratio for a commercial amusement center.

Related Request:

Parking Ratios – Although a parking ratio was not proposed by the applicant, a comparison of their facility in Carlsbad, California revealed a parking ratio of one (1) parking space per 1,672 square feet of facility. Based on staff's review of the stated parking ratio, the parking ratio is insufficient for the proposed facility as the stated parking ratio yields a total of thirty (30) required parking spaces.

Staff considered the following elements of the request to help determine an appropriate parking ratio for the proposed use:

- the number of proposed employees (30-35 employees)
- the maximum number of karts on the race track during a race (12)
- ancillary uses (concessions, retail, office etc.), and
- the applicant's projected maximum capacity of 100 patrons.

As a result, an appropriate parking ratio should include separate parking ratios for the race track area and for the concession/retail/office area.

The proposed 48,998 square foot facility supports 34,900 square feet of race track area (track, kart charging area and kart maintenance) and 14,098 square feet of concession/retail/office area. The race track itself is surrounded with a 12 inch tall hard plastic/polyurethane barrier, while the race track area, as depicted on the floor plan, is separated from the concession/retail/office area by a 42 inch tall galvanized fence.

Based on the number of karts that can be on the track during a race and those in the que waiting to start a race, a parking ratio of one (1) space per 1,150 square feet of area is recommended which would yield thirty-one (31) parking spaces.

Based on the amount of square footage of concessions/retail/office area, a parking ratio of one (1) space per 100 square feet is recommended which would yield 141 parking spaces. The recommended parking ratio is compatible with other previously approved parking ratio for areas with multiple uses.

As proposed by staff, the parking ratios would yield 172 parking spaces for the proposed use which would support the number of racers, employees and the projected maximum capacity of 100 patrons.

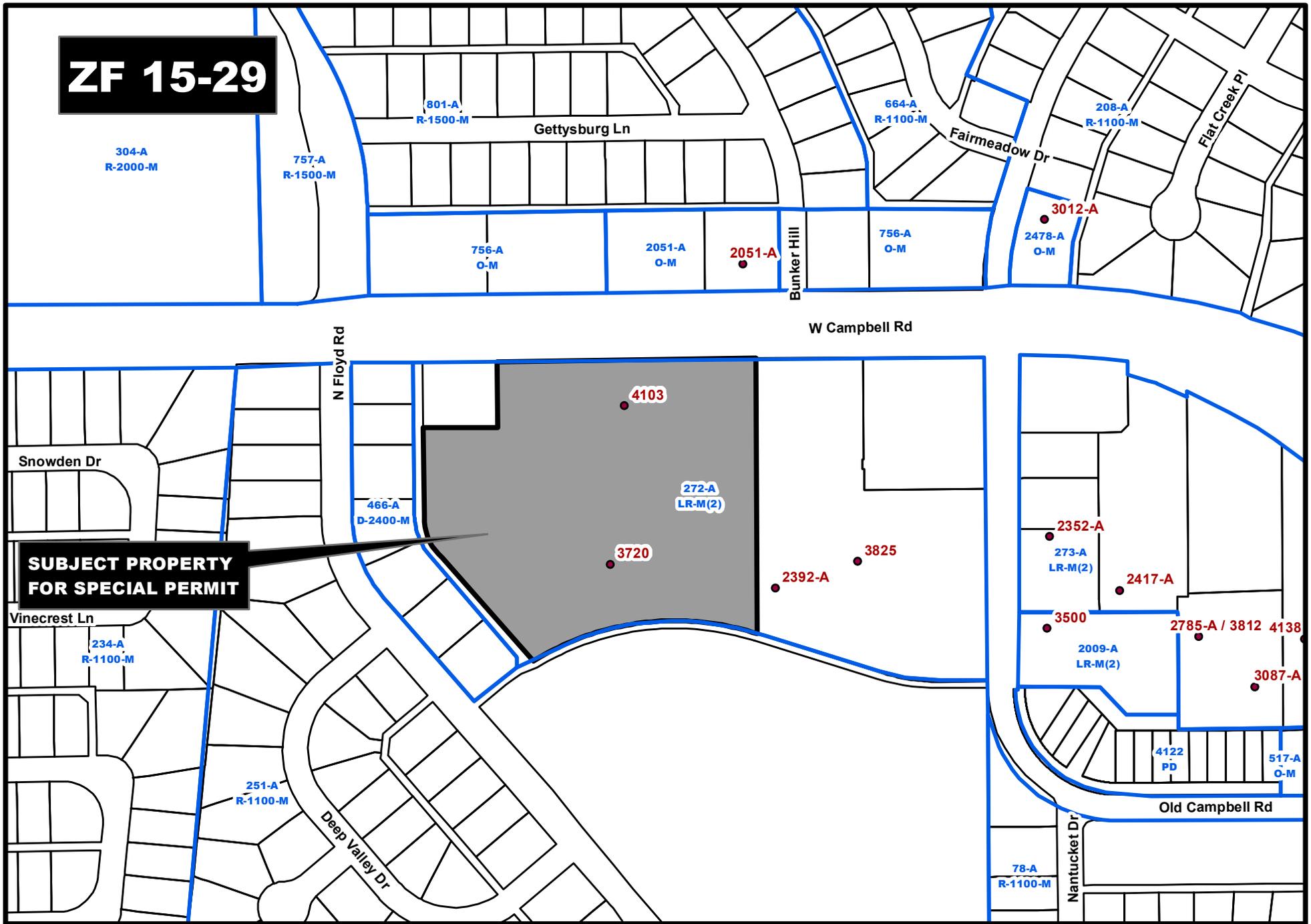
With the NTX Event Center area being reduced, a total of 195 parking spaces will now be required for the NTX Event Center. When combined, the NTX Event Center and the proposed K1 Speed facility will require a total of 367 parking spaces, while 483 parking spaces are provided thus leaving the site with an additional 116 available parking spaces.

Correspondence: As of this date, one (1) letter in opposition has been received.

Motion: On November 3, 2015, the City Plan Commission recommended approval of the applicant's request as presented, subject to the following conditions:

1. A commercial amusement center, limited to an indoor electric kart racing facility, shall be allowed and limited to the area shown on the attached Zoning Exhibit, marked as Exhibit "B" and made a part thereof.
2. The parking ratio for the proposed use shall be:
 - a. Race Track Area: One parking space/1,150 square feet
 - b. Concession/Office Area: One parking space/100 square feet

ZF 15-29



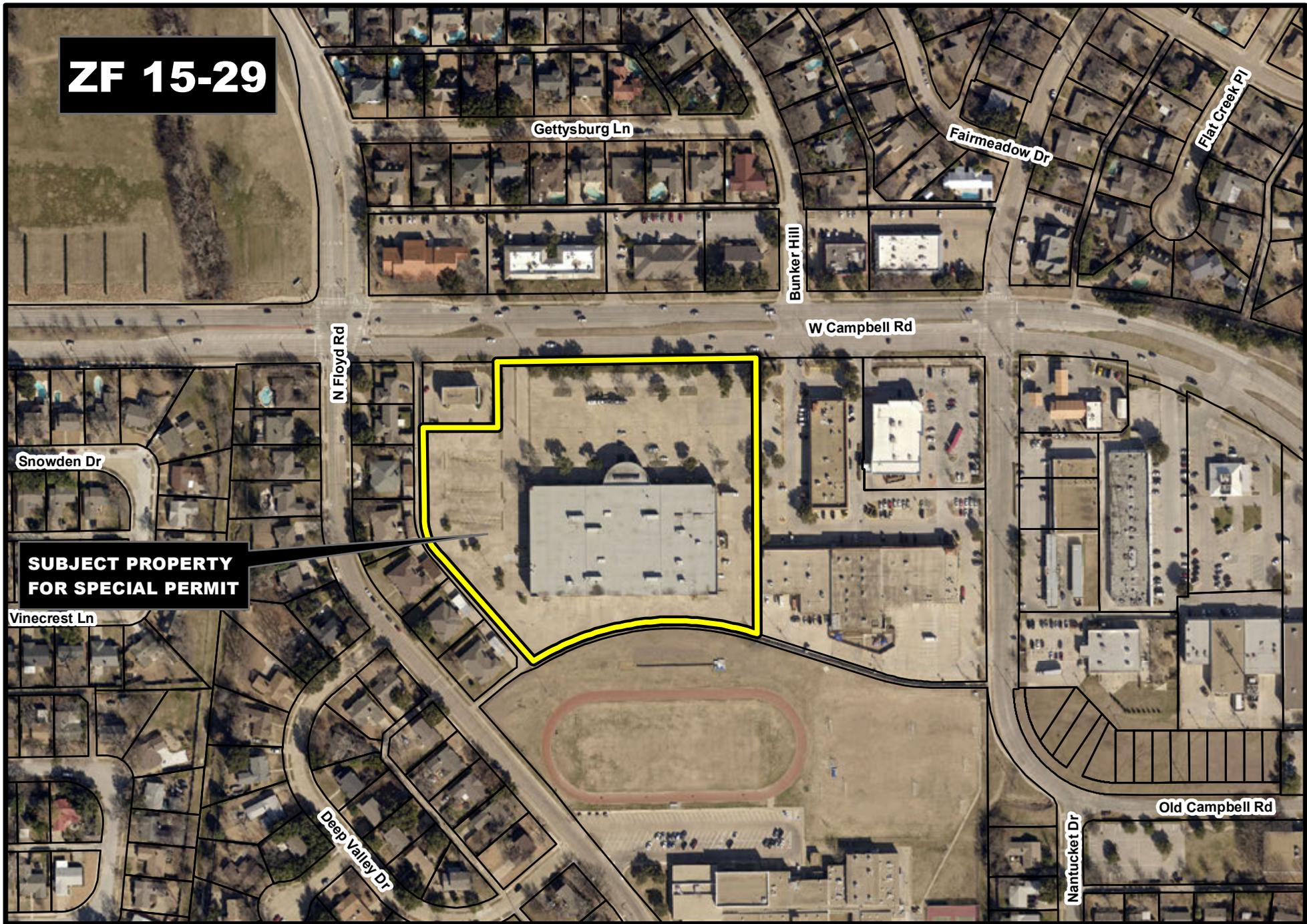
ZF 15-29 Zoning Map

Updated By: shacklett, Update Date: October 16, 2015
File: DSI\Mapping\Cases\Z\2015\ZF1529\ZF1529 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



ZF 15-29



**SUBJECT PROPERTY
FOR SPECIAL PERMIT**

ZF 15-29 Aerial Map

Updated By: shacklett, Update Date: October 16, 2015
File: DSI\Mapping\Cases\Z\2015\ZF1529\ZF1529 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



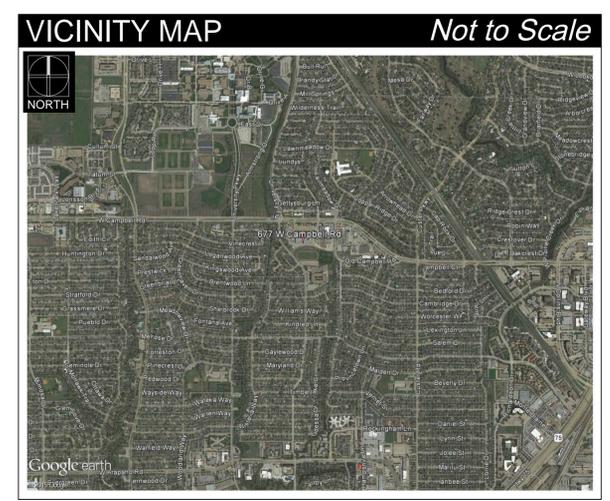
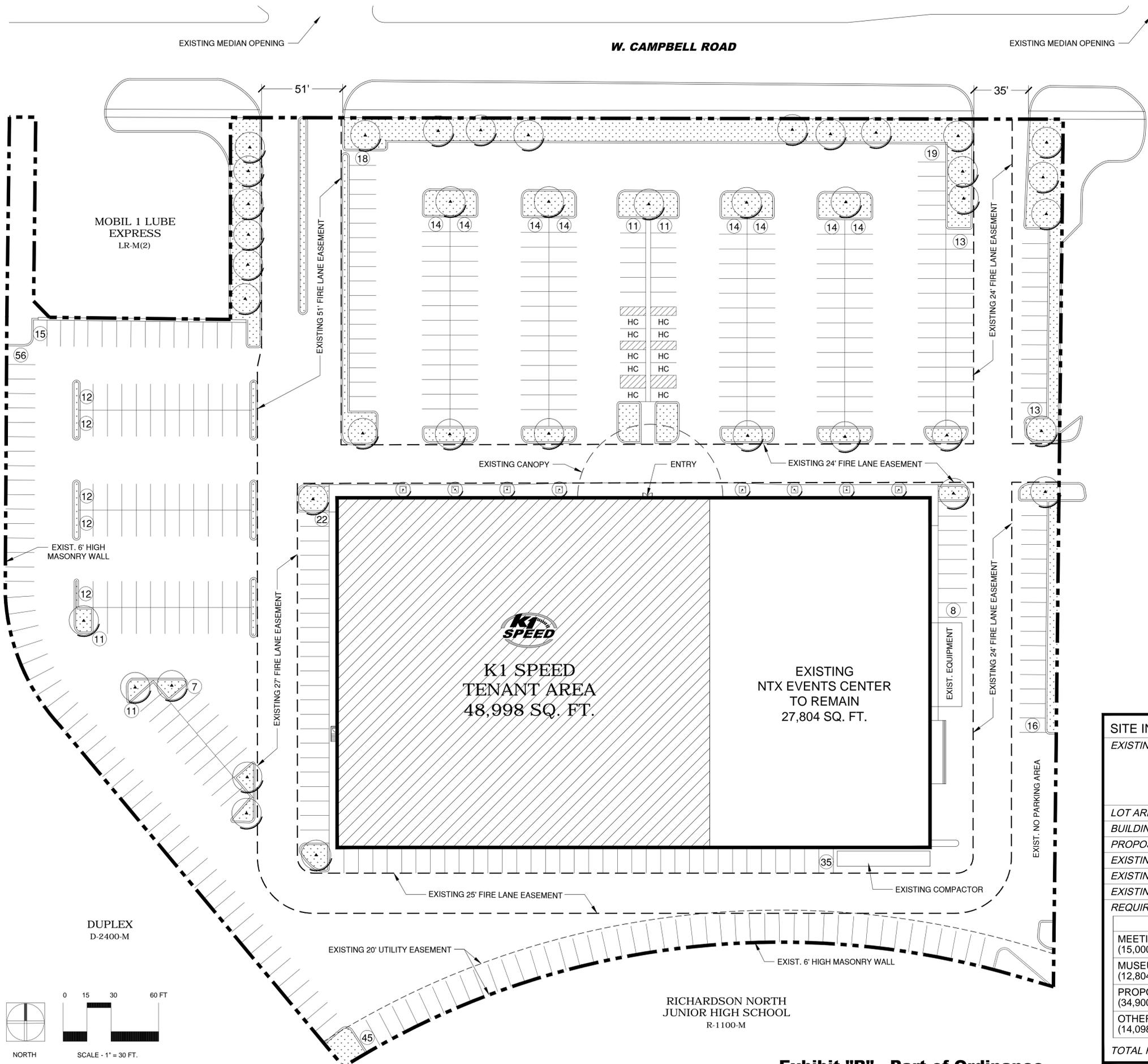


Subject Lease Space

Campbell Road

Floyd Road

**Oblique Aerial
Looking South**



CAMPBELL ROAD SHOPPING CENTER LR-M(2)

LEGEND

- PROPERTY LINE
- PROPOSED K1 SPEED TENANT AREA
- EXISTING LANDSCAPE AREA WITHIN PROPERTY
- EXISTING FIRE LANE EASEMENT
- INDICATED NUMBER OF PARKING SPACES PER ROW

SITE INFORMATION - PROJECT SUMMARY

EXISTING ZONING: LR-M(2) WITH SPECIAL PERMIT FOR AN AUTOMOBILE MUSEUM, MEETING ROOM AND SPECIAL EVENTS FACILITY (ORDINANCE NO. 3720) AND A SPECIAL PERMIT FOR A TEMPORARY OPEN AIR MARKET (ORDINANCE NO. 4102)

LOT AREA:	7.288 AC (317,465 S.F.)																		
BUILDING AREA:	76,802 S.F.																		
PROPOSED K1 SPEED AREA:	48,998 S.F.																		
EXISTING FLOOR AREA RATIO (FAR):	0.24:1 (0.5:1 ALLOWED)																		
EXISTING BUILDING HEIGHT:	24'-2" (ONE STORY)																		
EXISTING PARKING:	483 SPACES																		
REQUIRED PARKING:																			
	<table border="1"> <thead> <tr> <th>USE</th> <th>PARKING RATIO</th> <th>REQUIRED SPACES</th> </tr> </thead> <tbody> <tr> <td>MEETING/EVENT AREA (NTX CTR.) (15,000 S.F.)</td> <td>1/100 S.F.</td> <td>150 SPACES</td> </tr> <tr> <td>MUSEUM AREA (NTX CTR.) (12,804 S.F.)</td> <td>30 SPACES + 1/200 S.F. OVER 10,000 SF</td> <td>45 SPACES</td> </tr> <tr> <td>PROPOSED K1 SPEED RACE TRACK (34,900 S.F.)</td> <td>1/1,150 S.F.</td> <td>31 SPACES</td> </tr> <tr> <td>OTHER K1 SPEED USE (14,098 S.F.)</td> <td>1/100 S.F.</td> <td>141 SPACES</td> </tr> <tr> <td>TOTAL REQUIRED SPACES:</td> <td></td> <td>367 SPACES</td> </tr> </tbody> </table>	USE	PARKING RATIO	REQUIRED SPACES	MEETING/EVENT AREA (NTX CTR.) (15,000 S.F.)	1/100 S.F.	150 SPACES	MUSEUM AREA (NTX CTR.) (12,804 S.F.)	30 SPACES + 1/200 S.F. OVER 10,000 SF	45 SPACES	PROPOSED K1 SPEED RACE TRACK (34,900 S.F.)	1/1,150 S.F.	31 SPACES	OTHER K1 SPEED USE (14,098 S.F.)	1/100 S.F.	141 SPACES	TOTAL REQUIRED SPACES:		367 SPACES
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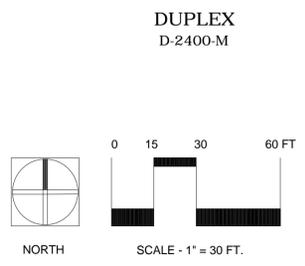


Exhibit "B" - Part of Ordinance

1530 PARKWAY AVENUE, SUITE 100, CAMARILLO, CA 92008
 (805) 465-0980 FAX (805) 465-9144

APPLICANT:
 K1 Speed (David Danglard)
ADDRESS:
 17221 Von Karman Ave. - Irvine, CA 92614
PHONE: (858) 254-0722

ZONING EXHIBIT - Special Permit RICHARDSON, TX

OWNER: Michael Mazaheri PHONE: (469)534-2297
ADDRESS: 677 W. Campbell Rd. - Richardson, TX 75080 GROSS ACREAGE: 7.288 AC.

Date: 10-19-15
 Scale: 1"=30'
 Sheet 1 of 2 Sheets

1

Zoning Exhibit
ZF 15-29

K1 Speed Photos



K1 SPEED INDOOR KARTING USE – EXPLANATION AND DESCRIPTION OF REQUEST

Description. K1 Speed is an indoor karting business which provides clean, wholesome entertainment for its customers. K1 Speed customers consist of both the general public and corporate groups. The upscale recreation use in many ways benefits the surrounding industrial business community. The general public can also enjoy walk-in racing or schedule special events such as birthday parties.

State-of-the-Art Electric Karting. K1 Speed provides a state-of-the-art kart racing facility. The operation is totally indoors on a race track, in which drivers participate in an authentic racing experience in hi-tech engineered electric karts, with speeds timed by computerized timing and scoring systems. The karts are fully electric powered, high-performance, 20-hp, single person karts. They create no noise and no odor or fumes whatsoever. They are the highest quality electric karts in the world. Up to 12 karts can race at one time. The karts are made in Italy, are fully computerized, and can be remotely controlled so the track operator can control the race situation to avoid dangerous or undisciplined driving, or reduce all speeds if someone has lost control. The track operator can control every car in the race, as necessary.

Pollution Impacts: The subject karting facility is wholly indoors, and creates no pollution. The electric powered karts create no odors and operate quietly. The karts offer an extremely quiet indoor operation with no exterior noise. A kart at 10 feet away approximates 49 db (quiet residential street). At 25 feet, it approximates 44 db (bird calls – quiet residential street). At 50 feet it generates 36 db (soft music – bird calls). The batteries are completely sealed and safe. Extensive technical information on the batteries and noise generated can be provided if requested.

Kart Speed and Safety: The karts are powerful and capable of speeds much greater than the 30 mph at which they are governed. The karts have wide racing slick pneumatic tires, disc brakes, racing bucket seats, and racing steering wheels. They weigh approximately 300 pounds less than a typical recreational kart. The karts are safe, easy to control and all karts will be equipped with a full radio control that allows the track marshal to change the speed, slow down or shut off each cart or all of them. Safety helmets and seat belts are standard features on all karts. The business will have no gasoline or other flammable storage.

Racing Track. The race track, approximately 1/3 mile in length, is provided with a series of demanding twists, turns, hairpin curves, and straight-aways. Improving one's skill demands repetition, which tends to create repeat business. The protection barrier for the track is the TecPro system. K1 Speed utilizes a computerized software program which tracks the team or solo driver's time, laps and position in relation to their competitors. The timing system allows for a clear comparison of timing and skill. The track area includes a driver loading/unloading zone, kart charging area, and maintenance repair area.

Traffic Generation and Parking. Overall net traffic generated by the proposed use is projected to be less than that which would result from office, manufacturing, or even warehouse use on the subject site. An analysis by Linscott Law & Greenspan of the K1 Speed facility in Carlsbad, California (which is an identical use) concluded that the average weekday daily trip generation rate was 5.13 trips/1,000 sf, with a PM peak hour trip generation rate of 0.472 trips/1,000 sf. Thus, K1 Speed would be projected to generate a total of 282 ADT onto the public streets surrounding the site, with a PM peak hour generation of 26 trips. No AM peak traffic is generated. Parking rates at the K1 Carlsbad facility reveal a parking rate of 1 space per 1,672 sf. The projected maximum capacity of a typical K1 Speed facility is approximately 100 patrons. Virtually all clients arrive with two or more persons per vehicle.

Secondary Uses. In addition to the road track, the center will also include a small concession area with fast food (catered from off-site) and non-alcoholic beverages for the convenience of racers. No foods will be prepared onsite. The concessions will consist of soft drinks and light snacks. Kart racing is somewhat physically demanding and most racers will purchase drinks and snacks between or after races. The operation will also sell gift vouchers, racing apparel, promotion tickets and other similar racing memorabilia. The facility will also include a business office, a concession counter, and ancillary interior support uses.

Employment and Hours of Operation. K1 Speed typically employs 30 to 35 employees. These employees are trained in the operations and management of the equipment, safety and customer service. K1 Speed proposes to operate seven (7) days a week. Typical hours of operation are as follows:

Monday – Thursday	12 pm – 10pm
Friday	11 am – 12 am
Saturday	10 am – 12 am
Sunday	10 am – 10 pm



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

SPECIAL PERMIT

File No./Name: ZF 15-29 / K1 Speed Indoor Karting
Property Owner: Michael Mazaheri
Applicant: David Danglard / K1 Speed, Inc
Location: 677 W. Campbell Road (See map on reverse side)
Current Zoning: LR-M(2) Local Retail
Request: A request for approval of a Special Permit for a commercial amusement center (indoor karting facility).

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, NOVEMBER 3, 2015
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

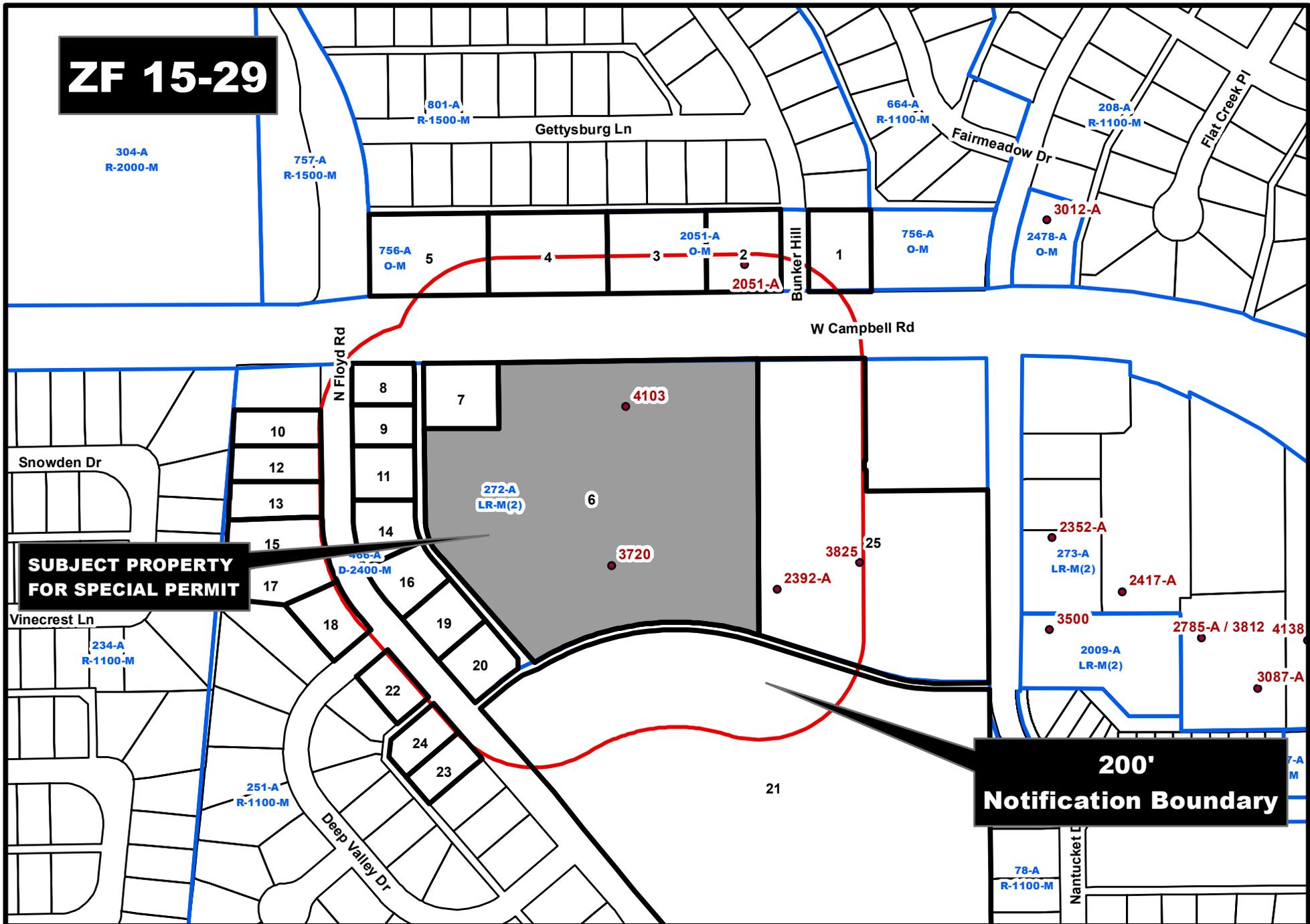
The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 15-29.

Date Posted and Mailed: 10/23/2015

ZF 15-29



ZF 15-29 Notification Map

Updated By: shacklett, Update Date: October 16, 2015
File: DSI\Mapping\Cases\Z\2015\ZF1529\ZF1529 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



1-MAZAHERI MEHRDAD
648 W CAMPBELL RD STE B
RICHARDSON, TX 75080-3300

2-EITZ CHAIM CONGREGATION INC
650 W CAMPBELL RD
RICHARDSON, TX 75080-3301

3-KSH HOLDINGS LLC
25 SHADY CV
RICHARDSON, TX 75080-2540

4-MEHRDAD MAZAHERI
670 W CAMPBELL RD
RICHARDSON, TX 75080-3393

5-690 METROPOLITAN CAMPBELL R
3838 OAK LAWN AVE STE 1416
DALLAS, TX 75219-4515

6-MAZAHERI MEHRDAD
670 W CAMPBELL RD STE 100
RICHARDSON, TX 75080-3358

7-SPARLING FINANCIAL CORP
LONE STAR LUBRICATION INC
3059 W 15TH ST
PLANO, TX 75075-7633

8-GRAY CANDACE J
1932 N FLOYD RD
RICHARDSON, TX 75080-3330

9-SOUIFE JACQUELINE
1930 N FLOYD RD
RICHARDSON, TX 75080-3330

10-RICHARD RAJIV S & SUSHILA R
1927 N FLOYD RD
RICHARDSON, TX 75080-3369

11-LING JAMES & IHIM PONG
PO BOX 833322
RICHARDSON, TX 75083-3322

12-GOSS KRISTEN & MICHAEL RYAN
1925 N FLOYD RD
RICHARDSON, TX 75080-3369

13-COOK ALAN
534 RINEY RD
LITTLE ELM, TX 75068-5403

14-OSBORNE DOUGLAS W II
1924 N FLOYD RD
RICHARDSON, TX 75080-3330

15-SAMSON DANIEL & AVERILL PAINE
1108 HAWTHORNE DR
SAN MATEO, CA 94402-1978

16-NOLAND RUTH
7654 INDIAN SPRINGS RD
DALLAS, TX 75248-5607

17-FERGUSON JOSH
1919 N FLOYD RD
RICHARDSON, TX 75080-3369

18-SMELKO THOMAS J
1933 DEEP VALLEY DR
RICHARDSON, TX 75080-3100

19-NELSON MICHAEL W &
PATRICIA H NELSON
4103 CROWNE BROOK CIR
FRANKLIN, TN 37067-1640

20-NELSON MICHAEL W SR &
PATRICIA H NELSON
4103 CROWNE BROOK CIR
FRANKLIN, TN 37067-1640

21-RICHARDSON I S D
970 SECURITY ROW
RICHARDSON, TX 75081-2234

22-HARRISON PAMELA D
1916 DEEP VALLEY DR
RICHARDSON, TX 75080-3108

23-TING SARAH C LIFE ESTATE
SARAH TING FAMILY TRUST
1907 N FLOYD RD
RICHARDSON, TX 75080-3331

24-BOLTON JANET J
1909 N FLOYD RD
RICHARDSON, TX 75080-3331

25-UNDERWOOD FINANCIAL CORP
25 HIGHLAND PARK VLG # 100-574
DALLAS, TX 75205-2789

**DAVID DANGLARD
K1 SPEED
17221 VON KARMAN AVENUE
IRVINE, CA 92614**

**MICHAEL MAZAHERI
677 W CAMPBELL ROAD
RICHARDSON, TEXAS 75080**

**ZF 15-29
Notification List**

428 Sandy Trail

Richardson, TX 75080-3423

October 27, 2015

Dept. of Development Services

P.O. Box 830309

Richardson, TX 75083

Subject: Zoning Request ZF 15-29

Attn: City Plan Commission

We have recently become aware of this zoning request and, as 50+ year residents of Richardson, want to strongly object to this improper use of property in our residential neighborhood.

While our youth need healthy and safe places of amusement, this proposed location is not appropriate. The potential extra traffic, crowds and debris will only result in the deterioration of our residential neighborhood.

We strongly recommend that this request be denied.

Sincerely yours,



Richard Roberts

Sally Roberts

972-231-4197

ORDINANCE NO. 4146

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, TO GRANT A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A COMMERCIAL AMUSEMENT CENTER ON A 7.288-ACRE TRACT OF LAND ZONED LR-M(2) LOCAL RETAIL LOCATED ON THE SOUTH SIDE OF CAMPBELL ROAD, BETWEEN FLOYD ROAD AND NANTUCKET DRIVE, RICHARDSON, TEXAS, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 15-29).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be amended to grant a change in zoning to grant a Special Permit for a commercial amusement center on a 7.288-acre tract of land zoned LR-M(2) Local Retail located on the south side of Campbell Road, between Floyd Road and Nantucket Drive, Richardson, Texas, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That the Special Permit for a commercial amusement center is hereby conditionally granted subject to the following special conditions:

1. A Special Permit shall be conditionally granted to allow a commercial amusement center, limited to an indoor electric kart racing facility, which shall be developed and used in accordance with, and limited to the area shown on the concept plan attached as Exhibit "B", and which is hereby approved and made a part thereof.
2. The parking ratio for use of the property for a commercial amusement center shall be:
 - a. Race Track Area: One parking space/1,150 square feet;
 - b. Concession/Office Area: One parking space/100 square feet.

SECTION 3. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon

conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 14th day of December, 2015.

APPROVED:

MAYOR

APPROVED AS TO FORM:

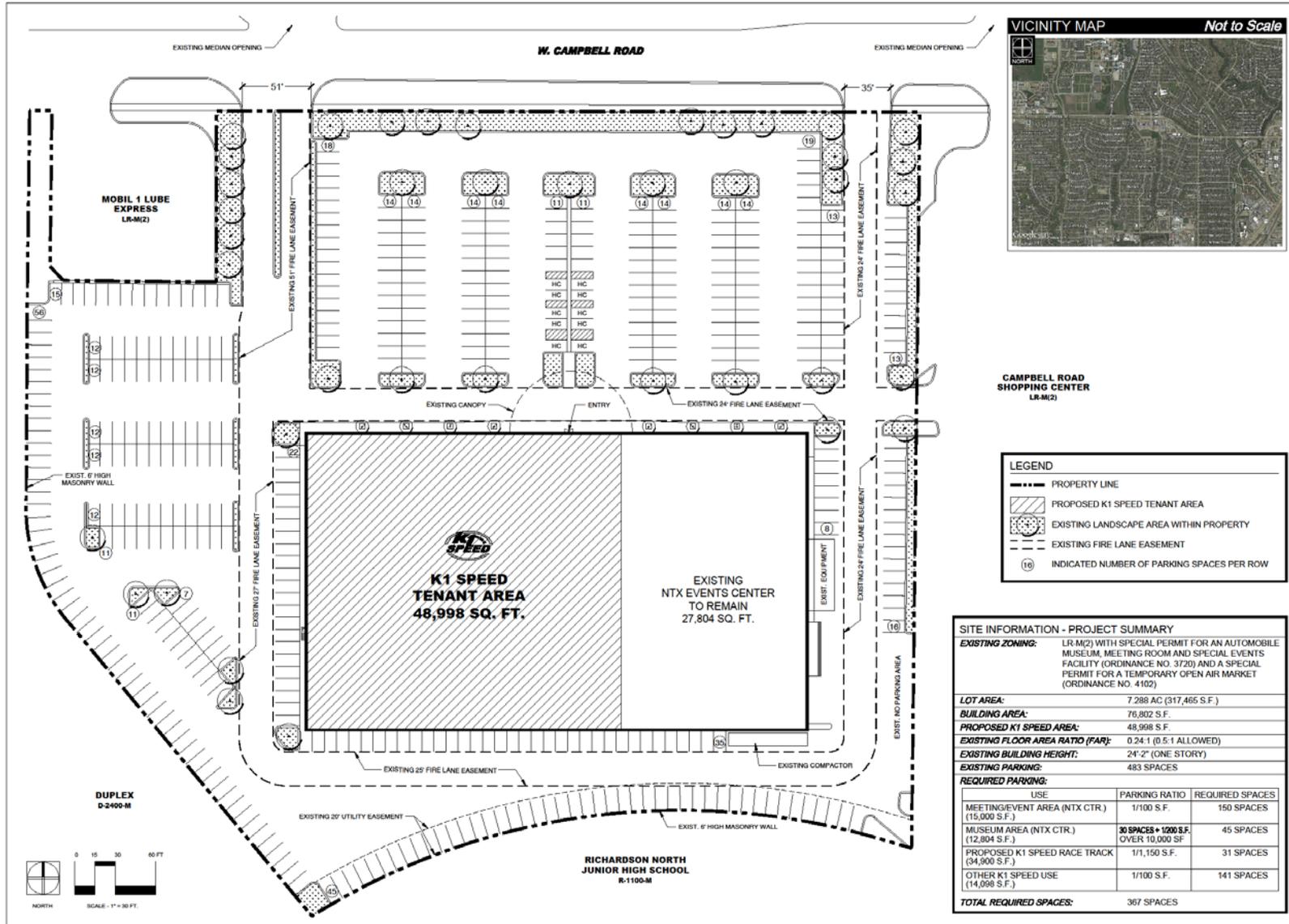
CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:11-19-15:TM 74375)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 15-29

BEING a 7.288-acre tract of land situated in the John Edmonds Survey, Abstract No. 429, Dallas County, Texas; said tract being all of Lot 1, Block A, Sterling Jewelry Addition, an addition to the City of Richardson, Texas according to the plat recorded in Volume 94193, Page 3163 of the Map Records of Dallas County, Texas.



APPLICANT:
K1 Speed (David Dangler)

ADDRESS:
17221 Von Karman Ave. - Irvine, CA 92614

PHONE: (951) 254-0722

WAGNER
LANDSCAPE ARCHITECT

ZONING EXHIBIT - Special Permit RICHARDSON, TX

OWNER: Michael Mazaheri PHONE: (469) 534-2287

ADDRESS: 677 W. Campbell Rd. - Richardson, TX 75080

GROSS ACREAGE: 7.288 AC.

Date: 10-19-15

Scale: 1"=30'

Sheet 1 of 2 Sheets

1

Zoning Exhibit



MEMO

DATE: December 10, 2015
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 15-30: Special Permit – Phenix Salon Suites Massage Establishment(s) – 100 S. Central Expressway.

REQUEST

Kalpita Patel, VRKP, LLC, is requesting approval of a Special Permit to allow massage establishment(s), limited to no more than 660 square feet within a 6,000-square foot salon suites lease space, in an existing building located at the Richardson Heights Shopping Center, at the southwest corner of Central Expressway and Belt Line Road. Because the subject property is located within the Central Place Sub-District of the area regulated by the Main Street/Central Expressway Form Based Code, the proposed use requires approval of a Special Permit.

BACKGROUND

The existing business, Phenix Salon Suites, was recently issued its Certificate of Occupancy and is operating at the subject property. Phenix Salon Suites rents multiple suites to individuals offering barber, hair styling, nail care, and skin care services, which are uses allowed by right per the definition of “barber or beauty salon”. Massage establishments, as defined under the Main Street/Central Expressway Form Based Code, are not allowed by right, but require approval of a Special Permit. Massage establishments are not defined within the Comprehensive Zoning Ordinance and have historically been treated as an office use similar to other health care or wellness-related uses such as medical offices, optometrists, dentists, etc...

The applicant is requesting to allow up to 660 square feet of the 6,000-square foot lease space to be occupied by massage therapists. Based on the provided floor plan, up to five (5) or six (6) massage therapists could be accommodated at the subject property depending on the size of the individual suite areas. The applicant states the plan is to have approximately thirty-two (32) total suites within the 6,000-square foot lease space.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 7-0, recommends approval of the request subject to the attached special conditions.

ATTACHMENTS

Special Conditions	Zoning Exhibit (Exhibit “B”)
CC Public Hearing Notice	Floor Plan (Exhibit “C”)
City Plan Commission Minutes 11-17-2015	Site Photos
Staff Report	Applicant’s Statement
Zoning Map	Notice of Public Hearing
Aerial Map	Notification List
Oblique Aerial Looking North	

ZF 15-30 Special Conditions

1. Massage establishment(s) shall be allowed and limited within the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof.
2. No more than 660 square feet of the subject lease space as shown on Exhibit "B" shall be used for massage establishment uses.



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: November 24, 2015
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: NOVEMBER 27, 2015

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00p.m. on Monday, December 14, 2015, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 15-27

A request by Tommy Mann & Laura Hoffmann, Winstead PC, representing RaceTrac Petroleum, Inc. for a change in zoning from I-FP(2) Industrial with special conditions to LR-M(2) Local Retail and approval of a Special Permit for a motor vehicle service station to be located at 700 and 720 E. Arapaho Road (southwest corner of Arapaho Road and Bowser Road). The property is currently zoned I-FP(2) Industrial.

ZF 15-28

A request by John Perry, representing JVA Properties, for approval of a Special Permit for a commercial amusement center (indoor trampoline park) to be located at 110 W. Campbell Road (northwest corner of Campbell Road and Alamo Road). The property is currently zoned C-M Commercial.

ZF 15-29

A request by David Danglard, representing K1 Speed, for approval of a Special Permit for a commercial amusement center (indoor karting business) to be located at 677 W. Campbell Road (south side of Campbell Road, between Floyd Road and Nantucket Drive). The property is currently zoned LR-M(2) Local Retail.

ZF 15-30

A request by Kalpita Patel, representing VRKP LLC, for approval of a Special Permit for massage establishment(s), limited to no more than 660 square feet within a salon suites lease space, to be located at 100 S. Central Expressway (southwest corner of Central Expressway and Belt Line Road). The property is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –NOVEMBER 17, 2015**

PUBLIC HEARING

Zoning File 15-30 – Phenix Salon Suites: Consider and take necessary action on a request for approval of a Special Permit for a massage establishment(s) limited to no more than 660 square feet within a salon suites lease space located at Phenix Salon, 100 S. Central Expressway, southwest corner of Central Expressway and Belt Line Road.

Mr. Shacklett advised the applicant was requesting a Special Permit for massage establishments located inside an existing 6,000 square foot salon suites lease space. The massage establishments would not exceed 660 square feet within the salon at the Richardson Heights Shopping Center located at the southwest corner of Central Expressway and Belt Line Road.

Mr. Shacklett noted that Phenix Salon Suites already received their Certificate of Occupancy (CO) and was operating as a salon suites business (barber/beauty salons, nail and skin care services); however, the Main Street/Central Code required massage establishments to acquire a Special Permit.

Mr. Shacklett concluded his presentation by presenting photos of the interior of the salon and noting that no correspondence, in favor or opposed, had been received.

Commissioner Frederick asked to confirm the only reason for the Special Permit was based on the regulations in the zoning district.

Mr. Shacklett confirmed that was correct.

Chairman Hand opened the public hearing.

Ms. Kalpita Patel, representing Phenix Salons, 100 S. Central Expressway, Suite 43, Richardson, Texas, said the current location would provide space for 32 different businesses allowing customers to go to a single location for hair, make-up, nails and massage. She also noted that Phenix Salons has over 300 locations through the United States.

Vice Chair Bright asked if the massage therapist would be licensed.

Ms. Patel replied they would have to be licensed by the State of Texas.

Commissioner Ferrell asked how the square footage for each massage unit was determined.

Ms. Patel said that Phenix Salons usually allows three to four massage therapists per location and based on the typical size of the individual salons (110 to 117 square feet) at the current location, that would be approximately four to five therapists for the site.

No other comments in favor or opposed were received and Chairman Hand closed the public hearing.

Chairman Hand said he appreciated the fact the district regulations allowed the Commission to take a closer look at businesses wanting to come into certain areas of the city, especially after all the work that went into the enhancement and redevelopment studies and the visions that were developed by those studies.

Motion: Commissioner Roland made a motion to recommend approval of Zoning File 15-30 as presented; second by Commissioner Frederick. Motion approved 7-0.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services **MS**

FROM: Sam Chavez, Assistant Director – Development Services **SC**

DATE: December 10, 2015

RE: **Zoning File 15-30:** Phenix Salon Suites – Massage Establishment(s) –
100 S. Central Expressway.

REQUEST:

Special Permit for a massage establishment(s), limited to no more than 660 square feet within a 6,000-square foot salon suites lease space to be located in Building F as shown on Exhibit “B”. The shopping center is located at the southwest corner of US-75 and Belt Line Road.

APPLICANT / PROPERTY OWNER:

Kalpita Patel – VRKP, LLC / Lou T. Fox III – Hartman Income REIT.

EXISTING DEVELOPMENT:

The property is currently developed as a multi-building retail shopping center and supports six (6) retail buildings totaling approximately 204,000 square feet.

ADJACENT ROADWAYS:

US-75: Freeway/Turnpike; 338,000 vehicles per day on all lanes, northbound and southbound, south of Campbell Road (2014).

Belt Line Road: Six-lane, divided arterial; 24,700 vehicles per day on all lanes, eastbound and westbound, west of US-75 (April 2014).

SURROUNDING LAND USE AND ZONING:

North: Retail/Commercial; PD Planned Development

South: Retail/Commercial & Single Family; C-M Commercial & R-1100-M Residential

East: Retail/Commercial; PD Planned Development

West: Single Family; R-1100-M Residential

FUTURE LAND USE PLAN:

Enhancement/Redevelopment

The subject property is located in the Central Place Sub-District of the recently approved Main Street/Central Expressway Form Based Code. The vision for this sub-district is to create a vibrant, mixed-use district which focuses on supporting infill development. A pedestrian-oriented, more walkable environment is desired, which is to be accomplished through building arrangement that frames public space, building design, and streetscape enhancements.

Future Land Uses of Surrounding Area:

North: Enhancement/Redevelopment

South: Enhancement/Redevelopment & Neighborhood Residential

East: Enhancement/Redevelopment

West: Neighborhood Residential

EXISTING ZONING:

PD Planned Development – Main Street/Central Expressway Form Based Code (Ordinance Number 4097).

TRAFFIC & INFRASTRUCTURE IMPACTS:

The requested Special Permit will not have any significant impacts on the existing utilities or traffic in the area.

APPLICANT'S STATEMENT

(Please refer to the complete Applicant's Statement.)

STAFF COMMENTS:

Request:

The existing business, Phenix Salon Suites, recently received their certificate of occupancy, and is operating at the subject property. Phenix Salon Suites provides multiple suites that are rented to individuals offering barber, hair styling, nail care, and skin care services which are uses allowed by right per the definition of "barber or beauty salon".

The applicant inquired whether massage therapists would be allowed within the lease space. Staff informed the applicant that massage establishments, as defined by the Main Street/Central Expressway Form Based Code, are not allowed by right, and the use requires a Special Permit within the Planned Development. Massage establishments are not defined within the Comprehensive Zoning Ordinance and have historically been treated as an office use.

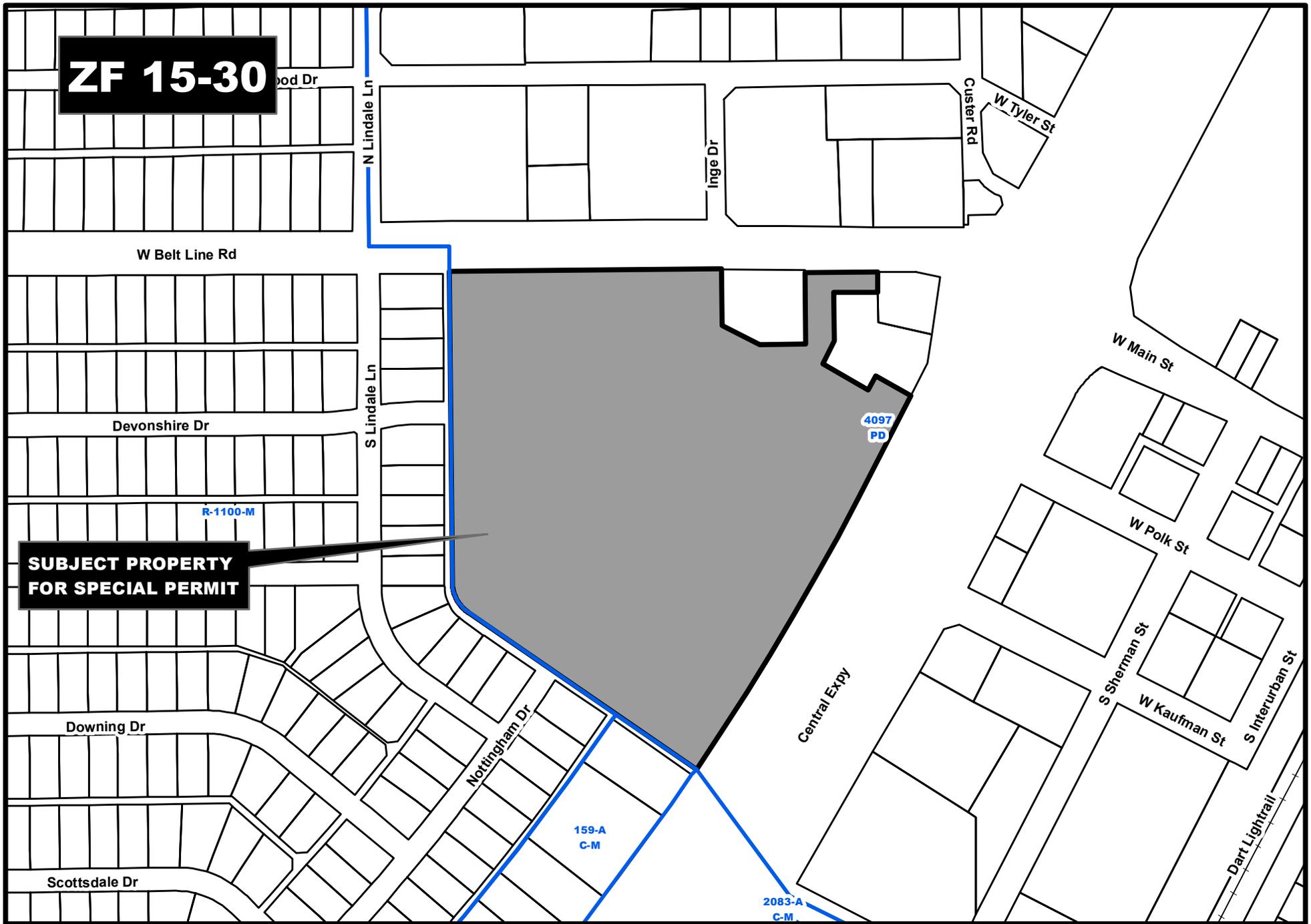
The applicant is requesting to allow up to 660 square feet of the 6,000-square foot lease space to be occupied by massage therapists. Based on the provided floor plan, this would allow up to a five (5) or six (6) massage therapists depending on the size of their individual suite area. The applicant states they plan on having approximately thirty-two (32) suites within the 6,000-square foot lease space.

Correspondence: As of this date, no correspondence has been received.

Motion: On November 17, 2015, the City Plan Commission recommended approval of the applicant's request as presented, subject to the following conditions:

Should the CPC recommend approval of the applicant's request, the motion should include the following special conditions:

1. Massage establishment(s) shall be allowed and limited within the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof.
2. No more than 660 square feet of the subject lease space as shown on Exhibit "B" shall be used for massage establishment uses.



ZF 15-30

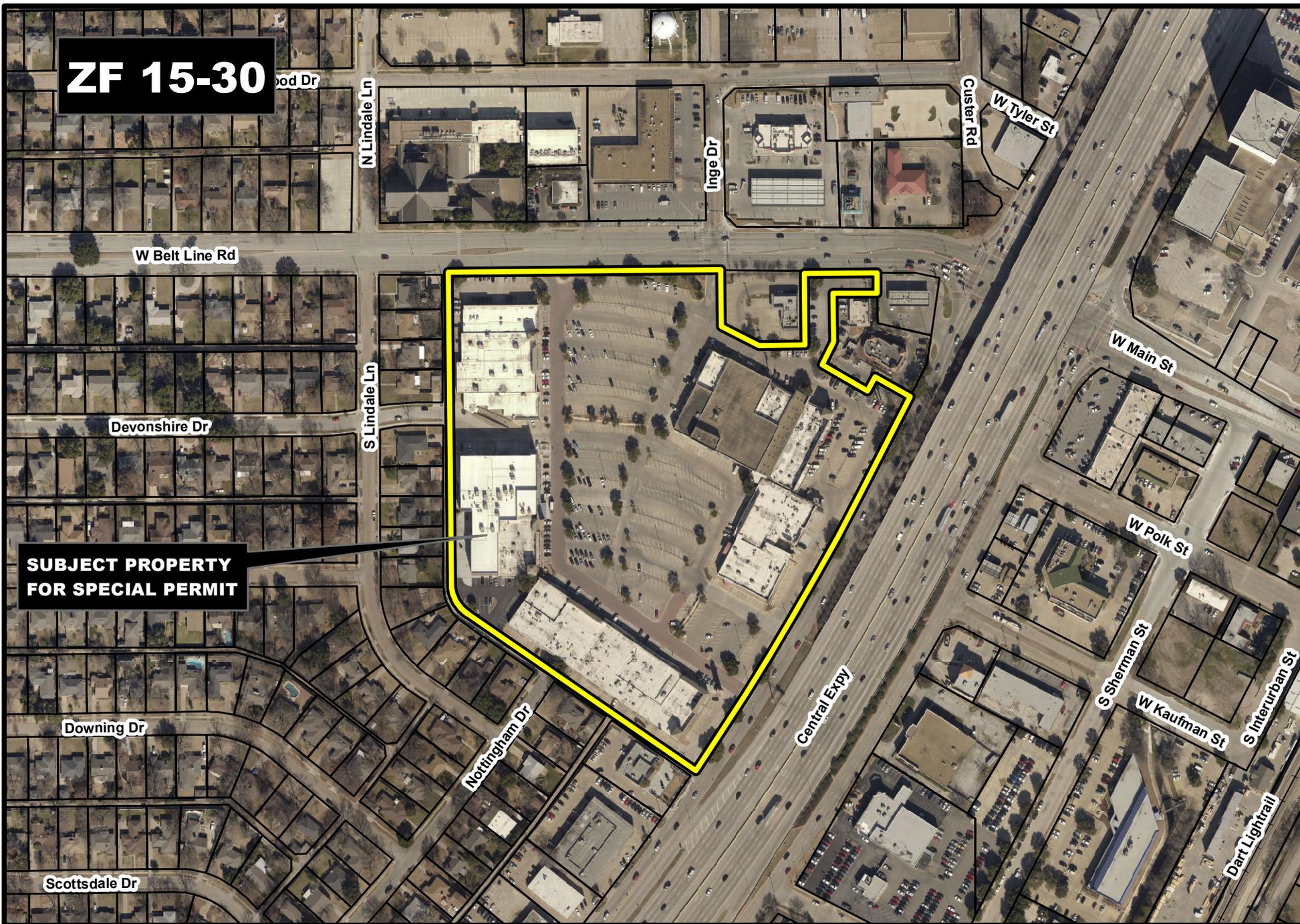
**SUBJECT PROPERTY
FOR SPECIAL PERMIT**

ZF 15-30 Zoning Map

Updated By: shacklett, Update Date: November 2, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1530\ZF1530 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 15-30

**SUBJECT PROPERTY
FOR SPECIAL PERMIT**

ZF 15-30 Aerial Map

Updated By: shacklett, Update Date: November 2, 2015
File: DSI\Mapping\Cases\Z\2015\ZF1530\ZF1530 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





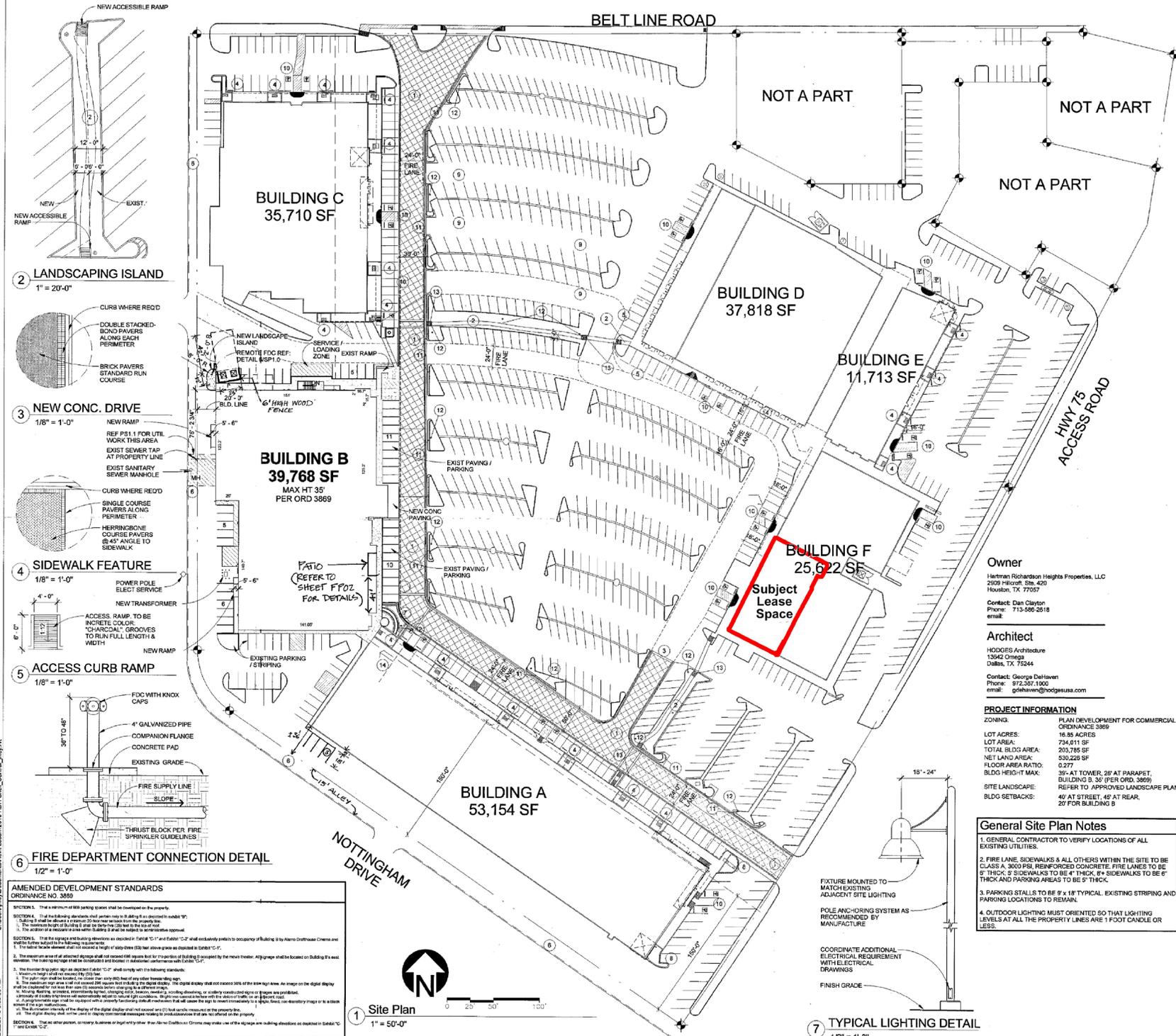
Belt Line Road

Subject
Lease Space

US-75

Nottingham Dr

Oblique Aerial
Looking North



PAVING NOTES

BRICK PAVERS ON CONCRETE AS SPEC'D: 80% COMPACTION, 6" THICK, REINF. W/ NO. 3 REBARS @ 24" O.C. BOTH WAYS; EXPANSION JOINTS 80' INTERVALS, LATERAL SAW-CUTS @ 20' INTERVALS.

COLOR: RED COURSE; RUNNING BOND @ INTERIOR W/ DOUBLE STACKED BOND @ PERIMETER. REF 08101

*EXIST. FIRE LANE TO BE REPLACED AS NOTED. EXIST. DRAINAGE PATTERNS TO MAINTAIN.

BRICK PAVERS @ SIDEWALKS & PLANTERS ON CONCRETE AS SPEC'D: 80% COMPACTION, 6" THICK, REINF. W/ NO. 3 REBARS @ 24" O.C. BOTH WAYS.

COLOR: RED COURSE; HERRINGBONE @ INTERIOR W/ SINGLE STACKED BOND @ PERIMETER. REF 08101

NEW CONCRETE AT SIDEWALKS, 85% COMPACTION, 4" THICK, REINFORCE W/ NO. 3 REBARS @ 24" O.C. BOTH WAYS.

EXPANSION JOINTS 20' INTERVALS. TOoled JOINTS @ 5' INTERVALS.

COLOR: INCRETE "HARVEST SAND", TO BE INTEGRALLY COLORED. www.designconcrete.com FINISH: BROOM FINISH ONLY.

NEW CONC. PARKING: 85% COMPACTION, 6" THICK, REINF. W/ NO. 3 REBARS @ 24" O.C. BOTH WAYS (NATURAL COLOR).

NEW SIDEWALK: 85% COMPACTION, 6" THICK, REINF. W/ NO. 3 REBARS @ 24" O.C. BOTH WAYS. EXPANSION JOINTS @ 20' & TOoled JOINTS @ 5' INTERVALS (NATURAL COLOR).

AREA CALCULATIONS

BUILDING A	53,154 SF
BUILDING B (First Floor)	39,768 SF
BUILDING C (Mezzanine)	35,710 SF
BUILDING D	37,818 SF
BUILDING E	11,713 SF
BUILDING F	25,622 SF
TOTAL AREA:	203,785 SF

PARKING TABULATIONS

PARKING SPACES PER ORDINANCE 3869	998
PARKING SPACES PROVIDED	998
HANDICAP RECD:	30 SPACES
HANDICAP PROVIDED:	30 SPACES

- KEY NOTES:**
- BRICK PAVER DRIVE, REF. PAVING NOTES.
 - NEW 4' WIDE SIDEWALK (4" THICK, INTEGRALLY COLORED CONCRETE, BROOM FINISH); TO UNCLUTTER BETWEEN EXISTING TREES.
 - BRICK PAVER DRIVE TO TERMINATE AT END OF ISLAND.
 - NEW CANOPY COLUMNS W/ ADJACENT PLANTERS AND BRICK PAVERS. REF TO FLOOR PLANS & PAVING NOTES.
 -
 - NEW 8' TALL CEDAR FENCE TO REPLACE EXISTING WOOD FENCE, 6" PICKETS SIDE BY SIDE W/ (3) 2x4 CEDAR RAILS ON METAL POLES W/ CAPS. FENCE CONSTRUCTED BY OWNER ON RESIDENTIAL PROPERTY. THE CONSTRUCTION OF THIS FENCE MUST BE APPROVED BY RESIDENT. ONCE CONSTRUCTED, THE FENCE MUST BE MAINTAINED BY THE RESIDENT.
 - NEW MINI-PLAZA W/ WATER FOUNTAIN FEATURE & BRICK PAVERS.
 - NEW BRICK PAVERS. REF FLOOR PLANS FOR LOCATIONS.
 - REMOVE EXIST. H.C. PARKING. REMOVE EXIST. ACCESSIBILITY GRAPHICS & STRIPING. RESTRIPE AS TYP PARKING STALL.
 - NEW HANDICAP PARKING & ACCESSIBLE RAMP / ALTERATION TO EXIST. CURB RAMP @ EXISTING CURB RAMP TO BE REMOVED FROM ASBL AND TO EXTEND INTO SIDEWALK. NEW H.C. SIGNAGE. PARKING TO BE RE-STRIPPED. REF 03101
 - REMOVE EXIST. CONC. CURB ALONG MAIN DRIVE @ ISLANDS & CONSTRUCT A NEW CONC. CURB PARALLEL TO EXIST. BUT 24" CLOSER TO THE BLDGS FOR AN INCREASED LANDSCAPE BED SIZE.
 - NEW ORNAMENTAL LIGHT POLE W/ 18" CONC. BASE TO 6" ABOVE GRADE.
 - NEW CURB RAMP. REF TO 07101.
 - DAMAGED CONCRETE TO BE REPLACED WHERE SHOWN.

- GENERAL NOTES:**
- REF TO FLOOR PLANS FOR ADDITIONAL INFORMATION ON NEW CONCRETE @ PEDESTRIAN SIDEWALKS. PROVIDE SOLID STAIN ON SIDE PAVING DETAILS.
 - REF TO FLOOR PLANS FOR INDIVIDUAL BLDG RENOVATION NOTES.
 - REF TO LANDSCAPE PLANS FOR LANDSCAPE DESIGN.
 - PEDESTRIAN HEAD- IN PARKING & HANDICAP PARKING AT ALL BLDGS AT COMPLETION OF CONSTRUCTION.
 - ALL HANDICAP PARKING SHOWN AS CURRENTLY EXISTS. U.N.O. G.C. TO ALLOW FOR REDEVELOPMENT OF NEW EXIST. HC PARKING AREAS. PROVIDE BID FOR 15 NEW CURB RAMPS (INTEGRALLY COLORED CONCRETE), 30 HANDICAP SPACES, 15 (8) ACCESS ZONES AND 30 HANDICAP SIGNS. REF 03001
 - ADD H.C. PARKING SIGNAGE ON POLES AT EVERY H.C. PARKING SPACE. NEW EXIST.
 - WHEEL STOPS TO BE PLACED IN ALL H.C. PARKING STALLS. PARKING STALLS LOCATED IN FRONT OF NEW COLUMNS ALSO TO RECEIVE WHEEL STOPS.
 - REPAIR / REPLACE ALL BROKEN OR DAMAGED CONCRETE @ CURBS, SIDEWALKS & RAMPS (DISTANCE AND/OR LOCATION OF SIDEWALK SEGMENTS TO BE REPLACED AS NOTED ON SITE PLAN).
 - ALL HANDICAP ACCESS CURB RAMPS TO BE BUILT INTO SIDEWALK.

Owner
Hertman Richardson Heights Properties, LLC
13042 Omega
Dallas, TX 75244
Contact: Dan Clayton
Phone: 713-586-2818
email: dclayton@hrhproperties.com

Architect
HDDGS Architecture
13042 Omega
Dallas, TX 75244
Contact: George Deitwain
Phone: 972-287-1900
email: gdeitwain@hddgs.com

PROJECT INFORMATION

ZONING: PLAN DEVELOPMENT FOR COMMERCIAL
ORDINANCE 3869

LOT ACRES: 16.85 ACRES

LOT AREA: 734,011 SF

TOTAL BLDG AREA: 203,785 SF

NET LAND AREA: 530,226 SF

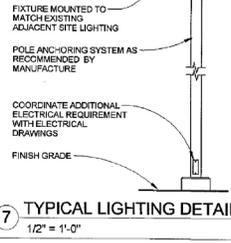
FLOOR AREA RATIO: 0.277

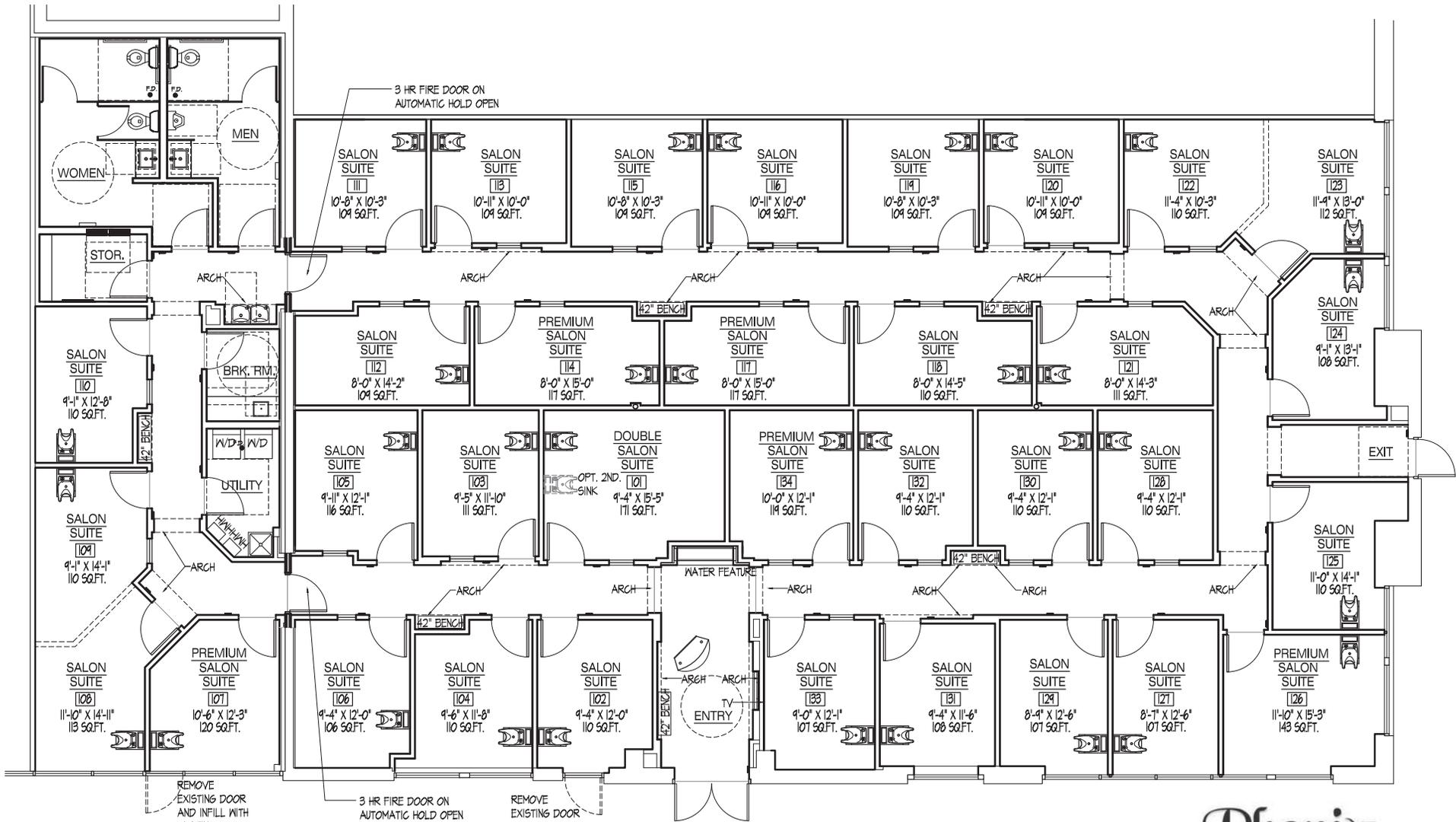
BLDG HEIGHT MAX: 39'-0" AT TOWER, 28' AT PARAPET, BUILDING B, 30' (PER ORD. 3869)

SITE LANDSCAPE: REFER TO APPROVED LANDSCAPE PLAN

BLDG SETBACKS: 40' AT STREET, 45' AT REAR, 20' FOR BUILDING B

- General Site Plan Notes**
- GENERAL CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES.
 - FIRE LANE, SIDEWALKS & ALL OTHERS WITHIN THE SITE TO BE CLASS A, 3000 PSI, REINFORCED CONCRETE. FIRE LANES TO BE 6" THICK, 5' SIDEWALKS TO BE 4" THICK, 6" SIDEWALKS TO BE 6" THICK AND PARKING AREAS TO BE 5" THICK.
 - PARKING STALLS TO BE 8' x 18' TYPICAL. EXISTING STRIPING AND PARKING LOCATIONS TO REMAIN.
 - OUTDOOR LIGHTING MUST ORIENTED SO THAT LIGHTING LEVELS AT ALL THE PROPERTY LINES ARE 1 FOOT CANDLE OR LESS.





PHENIX SALON SUITES - RICHARDSON HEIGHTS - TEXAS

06.30.15 © 2014 ARCHITRILogy, P.C. REV: 06.19.14 / 08.21.14 / 09.03.14 / 09.04.14 / 01.19.14 / 01.20.15 / 02.12.15

34 SUITES (1 AS A DOUBLE = 35 TOTAL PLUS 5 AS PREMIUMS)





CLUB

PHENIX SALON SUITES

Phenix
Salon Suites
Services Available
Call 972-850-6161

Handicap

Handicap

(1)

Looking East at
Subject Lease Space



(2)

Looking North at
Subject Lease Space



**Interior Photo
Internal Corridor**

(3)



(4)

Interior Photo
Hair Styling Suite

City of Richardson Professional:

Re: Phenix Salon Suites , 100 S. Central Expressway, Suite #43, Richardson, TX 75080

Background:

Phenix Salon Suites is the fastest growing "Salon Suite" concept in the US. The company began expanding in 2012 and opened 26 new locations in 2012. The company has 125 new locations that will open during the next year and a half and over 300 locations are currently scheduled to be opened in the next couple of years. The rapid growth of Phenix Salon Suites has been through the "Salon Community". The Phenix Salon Suites difference is in truly understanding the Salon Professional and what they go through on a daily basis. After all, the founder of Phenix Salon Suites (Gina Rivera) still works in a suite several days a week as a Hair Dresser. A deep love and passion for the "Salon Industry" and truly caring for every Salon Professional that is part of the Phenix Salon Suites family is what we are about.

Phenix Salon Suites is changing the Salon Industry. Founded by a family of Salon Professionals with over 85 years of Salon Industry experience, Phenix Salon Suites is poised to be the premier provider of Salon Suite concepts throughout the United States and Internationally. With over two dozen salon Professionals within the family, Phenix Salon Suites has a first hand understanding of the Salon Industry. We are not a company that was founded by people that had a "business idea" but a family that has been in the Salon Industry for over many decades. Our experience in the Salon Industry and our approach to operating our locations with the Salon Professional in mind have proven to be a key to the success of our company.

Phenix Featured on Undercover Boss On January 9th. 2015 on CBS

About Richardson, TX Location and Request:

- Area – 6,000 square feet
- 32 individual suites (Please see the attached floor plan of the space – Each room is rented by different individuals)
- Each room has a door with locks.
- Services we offer: Barbers, Hair Styles, Nail Tech
- We have an on-site manager during business hours
- We have a security camera, which we can operate and watch from anywhere.
- We have an alarm system at the site

Services we would like to add: We would like to allow massage therapist(s), limited to 660 s.f. of the 6,000 s.f., which is about 12% out of total 6,000 s.f. Usually we have at least 3 to 4 massage therapists at all of our locations. For your reference I am also attaching some photos with this application to show how the suite looks from the inside. For more details please visit: <http://phenixsalonsuites.com/>

Please feel free to reach me if you have any question.

817-312-7307

kalpuprem@yahoo.com.

Thank You for your support and help.

Kalpita



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

SPECIAL PERMIT

File No./Name: ZF 15-30 / Phenix Salon Suites
Property Owner: Lou T. Fox III, CFO / Hartman Income Reit
Applicant: Kalpita Patel / VRKP LLC
Location: 100 S Central Expressway (See map on reverse side)
Current Zoning: PD Planned Development
Request: A request for approval of a Special Permit for massage establishment(s) limited to no more than 660 square feet within a salon suites lease space.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, NOVEMBER 17, 2015
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

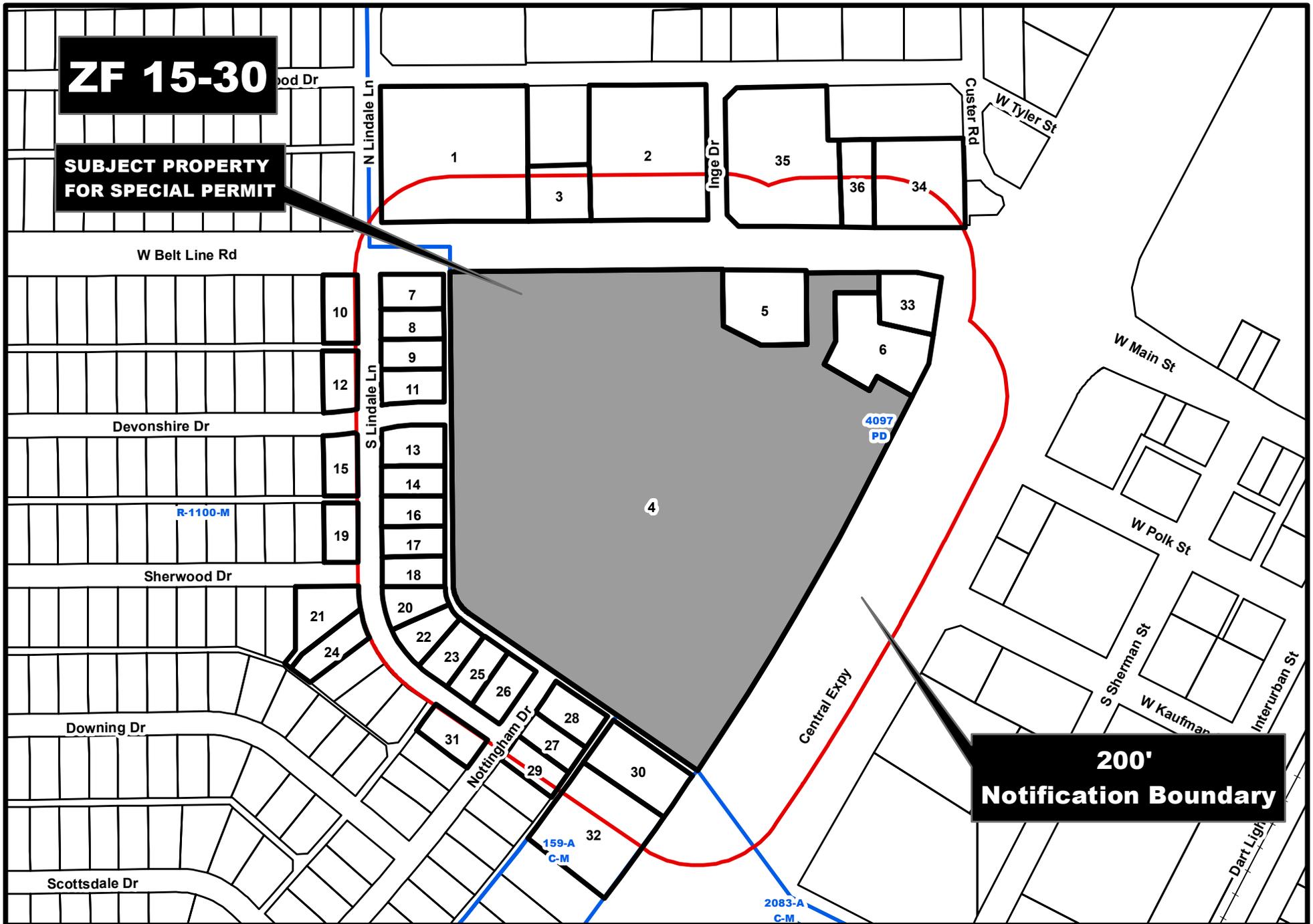
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 15-30.

Date Posted and Mailed: 11/06/2015



ZF 15-30 Notification Map

Updated By: shacklett, Update Date: November 2, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1530\ZF1530 notification.mxd

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1-BUDDHIST COMPASSION
RELIEF TZU CHI FOUNDATION
534 W BELT LINE RD
RICHARDSON, TX 75080-6311

2-CBRYANT RHN LLC
PO BOX 29088
DALLAS, TX 75229-0088

3-FTB OF TEXAS LLC
PO BOX 1350
MADISONVILLE, LA 70447-1350

4 – 6-HARTMAN RICHARDSON HEIGHTS
2909 HILLCROFT ST STE 420
HOUSTON, TX 77057-5815

35-SIGNATURE LEASING LLC
QUIK TRIP CORP
PO BOX 3475
TULSA, OK 74101-3475

36-WAUGH ENTERPRISES PROPERTY
10903 ALDER CIR
DALLAS, TX 75238-1354

7-MARTIN BETTY
1601 FAIR OAKS DR
RICHARDSON, TX 75081-3047

8-KAUR PARMJEET
103 S LINDALE LN
RICHARDSON, TX 75080-6119

9-SIMMONS DIANE ELIZABETH
105 S LINDALE LN
RICHARDSON, TX 75080-6119

10-MCKINNEY SUE LORENE
601 W BELT LINE RD
RICHARDSON, TX 75080-6114

11-ROSA PATRICIA G
6603 TYREE ST
DALLAS, TX 75209-4516

12-MARSHALL RAQUEL
600 DEVONSHIRE DR
RICHARDSON, TX 75080-6115

13-MAIN MARIAN L &
SHIRLEY J STROUD
201 S LINDALE LN
RICHARDSON, TX 75080-6120

14-FREITES ALMIRA G
203 S LINDALE LN
RICHARDSON, TX 75080-6120

15-CAFFEY MARGARET
714 SCOTTSDALE DR
RICHARDSON, TX 75080-6009

16-GAPONENKO ALEKSANDR A
205 S LINDALE LN
RICHARDSON, TX 75080-6120

17-WASHINGTON BRUCE E &
ROBERTS KAREN C
7012 MIDCREST DR
DALLAS, TX 75254-7948

18-REINHART WILLIAM D
209 S LINDALE LN
RICHARDSON, TX 75080-6120

19-ORAM JESSICA RENEE & DAVID
600 SHERWOOD DR
RICHARDSON, TX 75080-6123

20-MADRID NORMA
301 S LINDALE LN
RICHARDSON, TX 75080-6122

21-SEYMOUR CONRAD L
603 SHERWOOD DR
RICHARDSON, TX 75080-6124

22-POWERS RAMONA
303 S LINDALE LN
RICHARDSON, TX 75080-6122

23-BUDJENSKA H C JR EST OF
305 S LINDALE LN
RICHARDSON, TX 75080-6122

24-FOLTZ ANNE ELIZABETH
300 S LINDALE LN
RICHARDSON, TX 75080-6121

25-RAY SHANNON
307 S LINDALE LN
RICHARDSON, TX 75080-6122

26-ASH BERNICE S
309 S LINDALE LN
RICHARDSON, TX 75080-6122

27-RUSSELL CARMEN M
303 NOTTINGHAM DR
RICHARDSON, TX 75080-6104

28-DUHON TERRI B
2202 BLACKBERRY DR
RICHARDSON, TX 75082-3306

29-LUONG JOE
683 E MUIRFIELD RD
GARLAND, TX 75044-5033

30-MALANI MUN INC
318 S CENTRAL EXPY STE 108
RICHARDSON, TX 75080-6300

31-VANETTI BRIAN DALE
300 NOTTINGHAM DR
RICHARDSON, TX 75080-6103

32-GOLDENWEST DIAMOND CORP
15732 TUSTIN VILLAGE WAY STE A
TUSTIN, CA 92780-4924

33-GREENWAY 501 BELTLINE LP
2808 FAIRMONT ST STE 100
DALLAS, TX 75201-7622

34-STATE BANK OF TEXAS
PO BOX 763009
DALLAS, TX 75376-3009

KALPITA PATEL, VRKP LLC
306 PARK MEADOWS DR
EULESS, TX 76039

LOU T FOX III, CFO
HARTMAN INCOME REIT
2929 HILLCROFT
HOUSTON, TX 77057

ZF 15-30
Notification List

ORDINANCE NO. 4147

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, TO GRANT A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A RESTAURANT WITH DRIVE-THROUGH SERVICE ON A 1.17-ACRE TRACT OF LAND ZONED C-M COMMERCIAL LOCATED AT 1380 W. BELT LINE ROAD, RICHARDSON, TEXAS, AND BEING FURTHER DESCRIBED IN EXHIBIT “A”; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 15-25).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, to grant a change in zoning to grant a Special Permit for a restaurant with drive-through service on a 1.17-acre tract of land zoned C-M Commercial located at 1380 W. Belt Line Road, Richardson, Texas, and being more particularly described in Exhibit “A” attached hereto and made a part hereof for all purposes.

SECTION 2. That the Special Permit for a restaurant with drive-through service is hereby conditionally granted subject to the following special conditions:

1. Use and development of the property for a restaurant with drive-through service, as defined in the Comprehensive Zoning Ordinance, shall be in conformance with and limited to the area shown on the concept plan attached as Exhibit “B” (the “Concept Plan”), which is hereby approved.

2. The restaurant with drive-through service shall be constructed and maintained in substantial conformance with the Concept Plan and the building elevations attached as Exhibits “C-1” and “C-2”, which are hereby approved.
3. A masonry screening wall along the eastern property line shall not be required.
4. Within the front setback, in the area shown on the Concept Plan as “possible outdoor dining”, improvements shall be limited to a maximum 48-inch high tubular steel, aluminum, or wrought iron fencing and non-permanent furniture.

SECTION 3. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the

Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 14th day of December, 2015.

APPROVED:

MAYOR

APPROVED AS TO FORM:

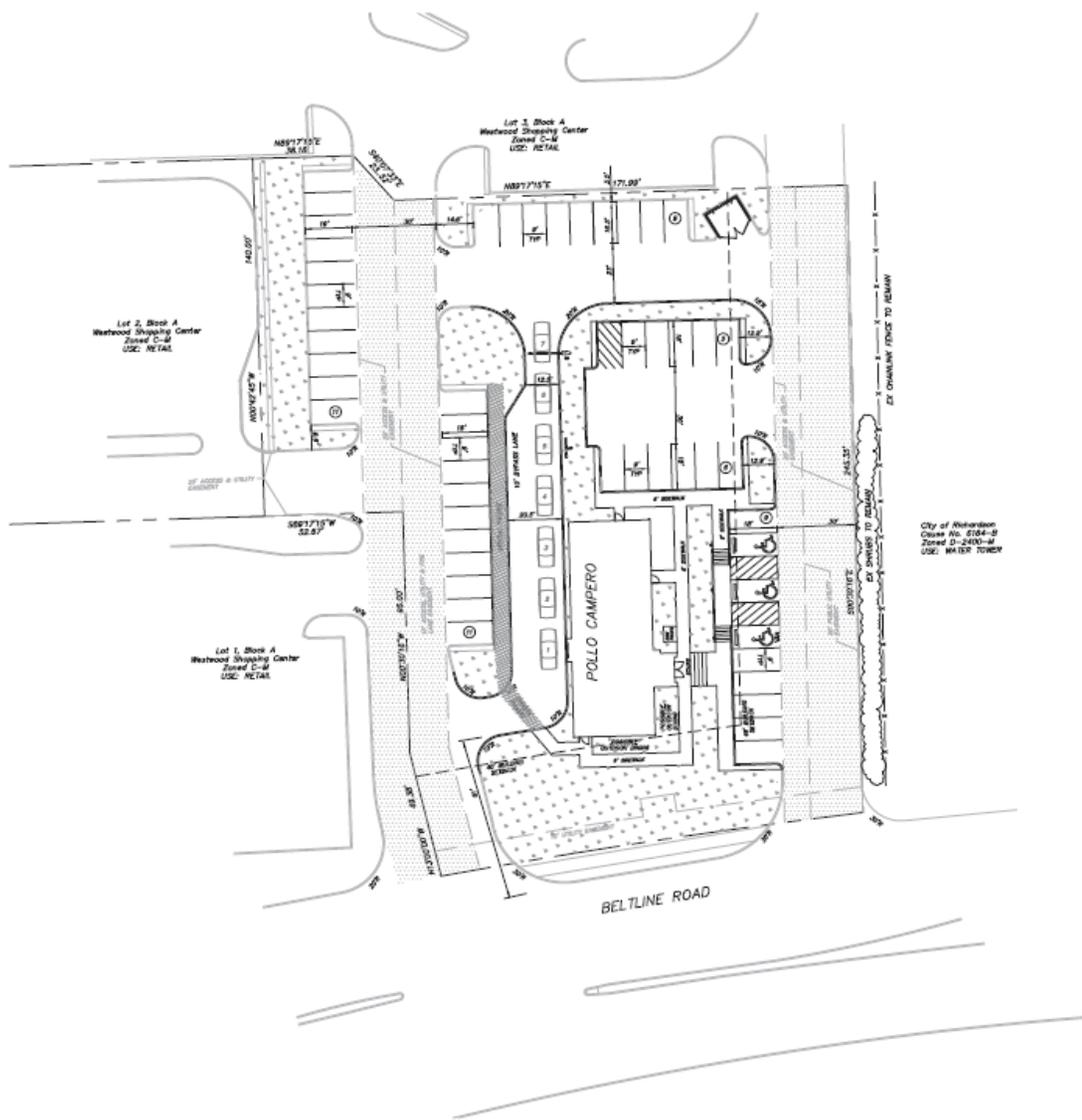
CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:11-23-15:TM 74417)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 15-25

BEING a 1.17-acre tract of land situated in the William W. Wallace Survey, Abstract No. 1601, Dallas County, Texas; said tract being Lot 4, Block A, of Westwood Shopping Center, an addition to the City of Richardson, Texas according to the plat recorded in Volume 97198, Page 00064 of the Map Records of Dallas County, Texas.



City of Richardson
 Cover No. 2104-B
 Zoned D-2400-M
 USE: WATER TOWER



SITE DATA

PHYSICAL ADDRESS	1303 W BELTLINE ROAD
CURRENT ZONING	COMMERCIAL (C-4)
PROPOSED ZONING	SPECIAL APPOINT FOR DRIVE-THRU RESTAURANT
BUILDING FOOTPRINT	APPROX. 500 SQ FT; 500 SQ FT DRIVE THRU
BUILDING FLOOR AREA	2,750 SF
LOT AREA	25,800.7 SQ. FT. 1.583 ACRES
FLOOR AREA RATIO REQUIRED	0.81 MAXIMUM
FLOOR AREA RATIO PROVIDED	0.081
BUILDING HEIGHT	1 STORY; 32 FEET 6 INCHES
PARKING SPACES REQUIRED	1 SPACE / 100 SF GFA
PARKING PROVIDED	28 SPACES
PARKING FINISHED	28 SPACES
LANDSCAPING REQUIRED	2.0% 3,150 SF
LANDSCAPING FINISHED	2.0% 3,150 SF

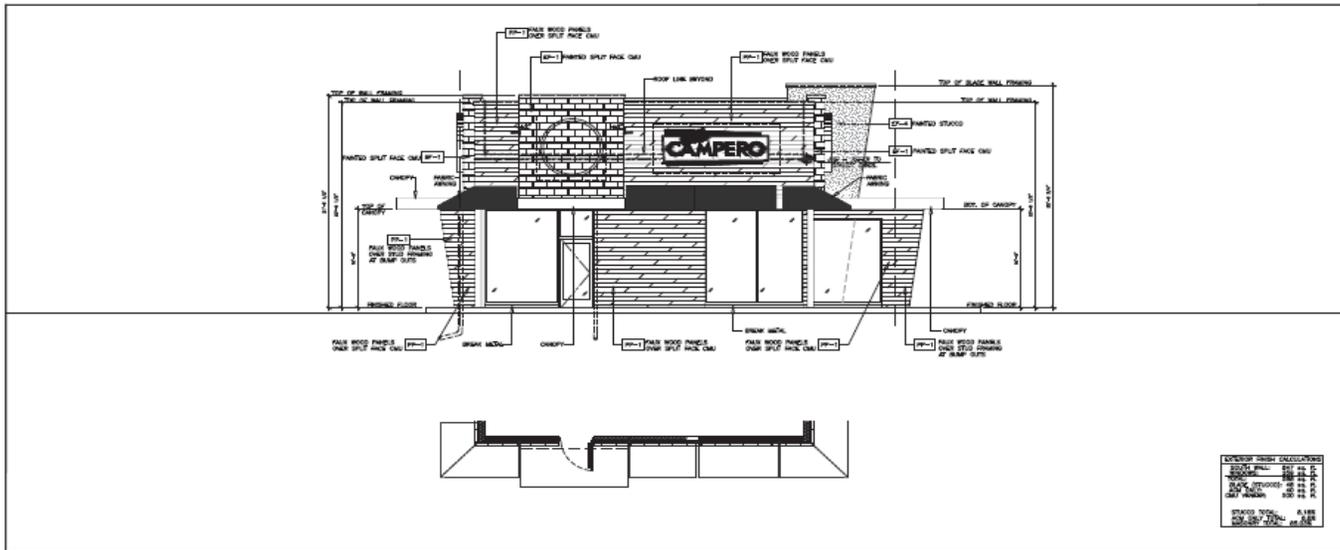
- LEGEND & NOTATIONS**
- PROPOSED ON-SITE LANDSCAPE AREA
 - CLEARANCE BAR
 - TRUCK ENCLOSURE
 - MENU BOARD
 - EXISTING FIRE LANE

APPLICANT: POLLO CAMPERO OF TEXAS, LLC
 8402 BR. PINEWAY, THE BIRDS
 DALLAS, TEXAS 75247
 PHONE: (972) 775-2880
 FAX: (972) 775-2881
 CONTACT: JAMIE BATES

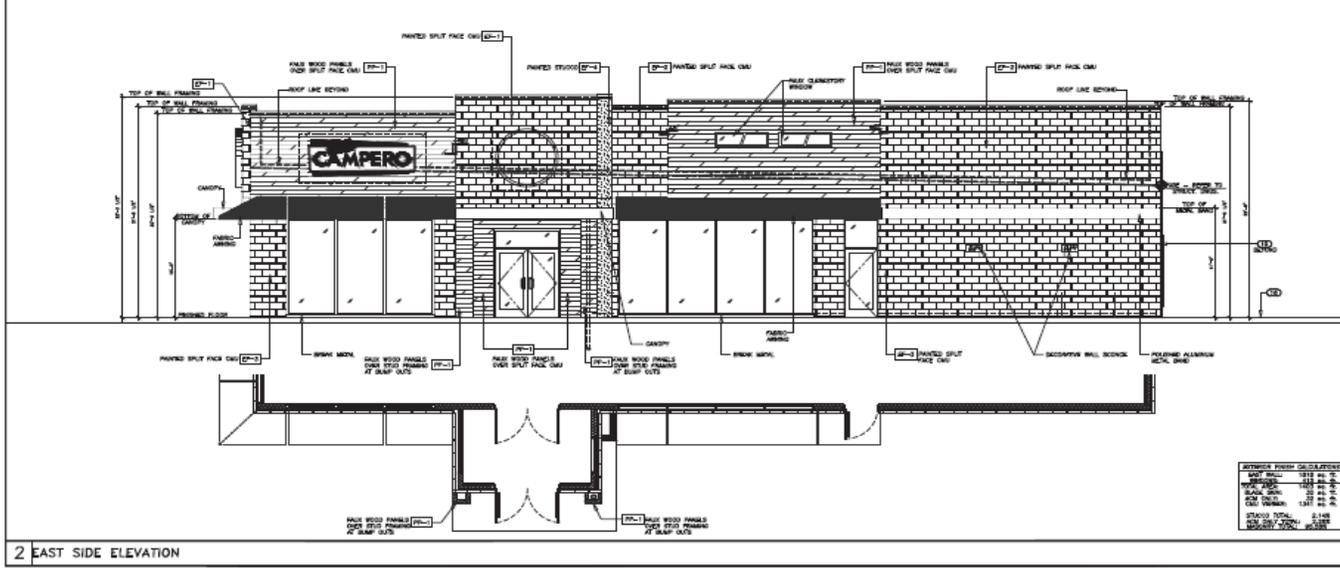
ENGINEER: KCM CONSULTING ENGINEERS, INC.
 2800 W. GUYTON AVE. SUITE 110
 SOUTHPLAINS, TEXAS 75087
 PHONE: (972) 252-8810
 FAX: (972) 252-8810
 CONTACT: ANDY C. SHANKS, P.E.
 DPT# - 7-2002

CASE # ZF15-25
 ZONING EXHIBIT
 FOR
 POLLO CAMPERO
 LOCATED AT
 LOT 4, BLOCK A
 OF THE
 WESTWOOD SHOPPING CENTER
 IN THE
 CITY OF RICHARDSON
 DALLAS COUNTY, TEXAS
 BEING A
 1.16 ACRE LOT
 SUBMITTED 09/8/2015

Exhibit B - Part of Ordinance



1 SOUTH ELEVATION



2 EAST SIDE ELEVATION

GENERAL NOTES

- GENERAL CONTRACTOR TO VERIFY ALL MEASUREMENTS INCLUDING HEIGHTS AND FINISH ELEVATIONS FOR ALL MATERIALS AND FINISHES.
- VERIFY CONDITIONS TO SURETY BEFORE ANY WORK BEGINS FOR PERMITS FROM THE APPLICABLE AGENCIES.

SIGNAGE NOTES

- RENDERING SHOWN FOR GENERAL LOCATION ONLY. REFER TO APPROVED SIGN SHOWN BY OWNER'S SIGNAGE MANUAL.
- CONTRACTOR SHALL PROVIDE NECESSARY POWER AND CONNECTION TO SIGN. COORDINATE WITH SIGN CONTRACTOR.
- SECURITY PERMIT REQUIRED FOR ALL SIGNAGE.

AWNING NOTES

- AWNING SHOWN FOR GENERAL LOCATION ONLY. REFER TO APPROVED SHOP DRAWINGS BY AWNING MANUFACTURER.
- SECURITY PERMIT REQUIRED FOR ALL AWNINGS & CANOPIES.

PERMISSION AND EXISTING CONDITIONS

WINDOW TYPES

NOTE TO SPEC ALL FOR DIMENSIONS AND SHOWN ONLY DOUBLE/WHOLE UNLESS NOTED

AREA	MANUFACTURER	COLOR
SP-1 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	UNPAINTED CONCRETE
SP-2 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	EGGY BROWN
SP-3 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	BROWN
SP-4 PAINTED STUCCO	SEE ON APPROVED SCHEDULE	LIGHT GREY
SP-5 METAL CORNER	GENERAL BUILDING PRODUCTS	PINKISH ALUMINUM
SP-6 METAL CORNER	GENERAL BUILDING PRODUCTS	GREY TO MATCH SPLIT FACE CMU
SP-7 PAINTED 4TH PANEL	TERRAZO	TEAL WITH BROWN GRANITE

EXTERIOR FINISH SCHEDULE

AREA	MANUFACTURER	COLOR
SP-1 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	UNPAINTED CONCRETE
SP-2 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	EGGY BROWN
SP-3 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	BROWN
SP-4 PAINTED STUCCO	SEE ON APPROVED SCHEDULE	LIGHT GREY
SP-5 METAL CORNER	GENERAL BUILDING PRODUCTS	PINKISH ALUMINUM
SP-6 METAL CORNER	GENERAL BUILDING PRODUCTS	GREY TO MATCH SPLIT FACE CMU
SP-7 PAINTED 4TH PANEL	TERRAZO	TEAL WITH BROWN GRANITE

EXTERIOR FINISH SCHEDULE

AREA	MANUFACTURER	COLOR
SP-1 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	UNPAINTED CONCRETE
SP-2 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	EGGY BROWN
SP-3 PAINTED SPLIT FACE CMU	SEE ON APPROVED SCHEDULE	BROWN
SP-4 PAINTED STUCCO	SEE ON APPROVED SCHEDULE	LIGHT GREY
SP-5 METAL CORNER	GENERAL BUILDING PRODUCTS	PINKISH ALUMINUM
SP-6 METAL CORNER	GENERAL BUILDING PRODUCTS	GREY TO MATCH SPLIT FACE CMU
SP-7 PAINTED 4TH PANEL	TERRAZO	TEAL WITH BROWN GRANITE

NOTE: SIGNAGE FOR ILLUSTRATIVE PURPOSES ONLY. SUBJECT TO BLOG INSPECTION APPROVAL.

COIT & BELTLINE RICHARDSON, TX

1000 W. BELTLINE RICHARDSON, TX

SCALE: 1/8" = 1'-0"

PROJECT NO: 2700

DATE: 11/15/24

EXTERIOR ELEVATIONS

2F 15-2-4

A2.1

Exhibit C-1 - Part of Ordinance



MEMO

Date: December 10, 2015
To: Dan Johnson, City Manager
From: Don Magner, First Assistant City Manager 
Subject: Resolution 15-41: NCTCOG Regional Solid Waste Program Implementation Project

Background:

Every two years the North Central Texas Council of Governments (NCTCOG) receives funds (generated from landfill tipping fees) from the Texas Commission on Environmental Quality (TCEQ). These funds are made available to local governments advancing the NCTCOG's Regional Solid Waste Management Plan. This plan addresses "emerging waste streams and evolving goals, while continuing to promote the reduction of waste and illegal dumping, the recycling and reuse of materials whenever possible, and the handling of waste safely at permitted facilities." The NCTCOG will award \$1.3 million through a competitive Call for Projects, which opened October 26, 2015 with a submission due date of January 15, 2016.

City staff attended the NCTCOG's briefing session on November 4th at their offices in Arlington. The summary below provides highlights from the briefing session.

- Applicants must first secure the requested amount of funds through their local government's City Council and/or Commissioners Court. *The governing body must approve a resolution authorizing the project's submittal as well as receipt of funding if the project is approved.* A notarized copy of this resolution must be submitted with the application.
- Successful applicants will be required to enter into an Interlocal Agreement (ILA) with NCTCOG, to ensure the approved work program of the project is followed. The ILA will include the following:
 - Project funding will be provided on a reimbursement basis only, and all requests for reimbursement must be handled through NCTCOG.
 - Project funds recipients must agree to provide data related to the results of the project to NCTCOG and/or TCEQ. The recipient will also be asked to commit to monitoring the results of the project beyond the project funding term, and periodically provide the NCTCOG and/or TCEQ with additional reports on the status of the project.
 - Recipients must agree to allow staff of NCTCOG and/or TCEQ to perform on-site visits to monitor the progress of projects.

Reimbursement of Expenses, Reporting Requirements, and Schedule:

- Reimbursement of Expenses: Project funding is provided on a reimbursement basis only. Project fund recipients must agree to provide data related to the results of the project to NCTCOG and/or TCEQ. All project activities and expenditures must be completed by June 30, 2017. A final report, final reimbursement request, and release of all claims are due to NCTCOG by July 31, 2017.

- Reporting Requirements: All recipients must submit quarterly reports detailing progress toward the project's completion. Recipients will submit cumulative results from the start of the project to August 31, 2017 – reporting form will be provided. Recipients will be required to submit a “year later report” documenting the results one year after the project completion date.
- Schedule
 - Call for Projects – October 26, 2015
 - Briefing Sessions – November 4, 2015 to December 9, 2015
 - Application Deadline – January 15, 2016
 - Evaluation and Selection Meetings – January 26 and 27, 2016
 - Awarded Projects Announced – February 4, 2016
 - NCTCOG Board Approves Projects – February 25, 2016
 - Awardees Receive and Execute Agreements – March 2016
 - Project Implementation – April 2016 to June 30, 2017
 - All expenditures and all project activities complete – June 30, 2017

Public Services Grant Requests/Projects: Recycling Education Vehicle (REV) & Development of a New Recycling Mascot:

In May of 2013, the Richardson City Council adopted a Solid Waste Master Plan that researched and evaluated the city's processes for handling trash and recycling material. Part of the study outlined improvements that could be made to diversion rates through the use of enhancing marketing outreach to promote recycling. In 2014, the City Council began to increase funding towards these efforts through the addition of staff and direction to improve public outreach. This grant application is designed to build upon the city's current education and outreach efforts.

The City's grant “project” will include a customized wrapped van designed to promote Richardson's blue bag recycling program. The van will include a TV, iPads, and internet connectivity (mobile hot-spot). Promotional recycling videos will play on the TV while attendees play interactive recycling related games on the connected iPads. Additionally the van will carry a supply of blue bags which will be for sale or give-a-way (whichever is applicable). This will allow for the mobile sale/give-a-way of blue recycling bags concurrent with the promotion of the City's blue bag recycling program. We envision these promotional educational/blue bag events being very popular at Wildflower!, Cottonwood & Huffhines Art Festivals, Trash Bash, and several other City events. The REV can be used to promote the recycling program at HOA events at any location in the City. Additionally the City's grant “project” will include the development of a new recycling mascot. The City will seek assistance in developing the new mascot from a professional marketing firm specializing in environmental promotions. We anticipate the new mascot resonating, connecting with the Richardson community and assisting in promoting the City's recycling program.

Next Steps – Resolution 15-41:

Council approval will authorize the City Manager to accept the requested grant awards if approved by the NCTCOG.

RESOLUTION NO. 15-41

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, AUTHORIZING THE FILING OF A PROJECT APPLICATION IN THE AMOUNT OF \$75,000 WITH THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) FOR A REGIONAL SOLID WASTE PROGRAM LOCAL IMPLEMENTATION PROJECT; AUTHORIZING THE CITY MANAGER TO ACT ON BEHALF OF THE CITY OF RICHARDSON IN ALL MATTERS RELATED TO THE APPLICATION; AND PLEDGING THAT IF FUNDING FOR THIS PROJECT IS RECEIVED, THE CITY OF RICHARDSON, TEXAS WILL COMPLY WITH ALL PROJECT REQUIREMENTS OF THE NCTCOG, THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND THE STATE OF TEXAS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the North Central Texas Council of Governments (NCTCOG) is directed by the Texas Commission on Environmental Quality (TCEQ) to administer solid waste project funds for the implementation of the NCTCOG's adopted Regional Solid Waste Management Plan; and

WHEREAS, the City of Richardson in the State of Texas is qualified to apply for project funds under the Request for Project Applications.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the City Manager is authorized to request project funding in the amount of \$75,000 under the North Central Texas Council of Government's Request for Project Applications of the Regional Solid Waste Local Project Funding Program and to act on behalf of the City of Richardson (City) in all matters related to the project applications and any subsequent project contract that may result.

SECTION 2. That if funded, the City of Richardson will comply with the project requirements of the NCTCOG, the Texas Commission on Environmental Quality (TCEQ) and the State of Texas.

SECTION 3. That the City of Richardson will allocate and expend the necessary monies to support this grant project and then seek reimbursement from NCTCOG on a timely basis.

SECTION 4. That the grant project funds and any project-funded equipment or facilities will be used only for the purposes for which they are intended under the project.

SECTION 5. That grant activities will comply with and support the adopted regional and local solid waste management plans adopted for the geographical area in which the activities are performed.

SECTION 6. That this Resolution shall become effective immediately from and after its passage.

DULY RESOLVED AND ADOPTED by the City Council of the City of Richardson, Texas, on this the 14th day of December, 2015.

CITY OF RICHARDSON, TEXAS

MAYOR

ATTEST:

CITY SECRETARY

APPROVED AS TO FORM:

CITY ATTORNEY
(PGS:12-3-15:TM 74520)

Richardson City Council 2016 Meeting Dates

All City Council Meetings are subject to revision by City Council within the scope of the City Charter and the Texas Open Meetings Act.

Date	Type of Meeting	Comment	Date	Type of Meeting	Comment
January 4, 2016	WS & Regular		July 11, 2016	Summer Break	No Meeting/Summer Break
January 11, 2016	Worksession		July 18, 2016	Worksession	
January 18, 2016	City Holiday	No Meeting/Holiday	July 19-20, 2016	Budget Retreat	Budget Retreat
January 25, 2016	WS & Regular		July 25, 2016	WS & Regular	
February 1, 2016	Reception/Presentation	Community Revitalization Awards	August 1, 2016	WS & Regular	
February 8, 2016	WS & Regular		August 8, 2016	Worksession	City Manager Budget Presentation
February 15, 2016	Worksession		August 15, 2016	Regular - 6pm Start	Tax Rate Public Hearing
February 22, 2016	WS & Regular		August 22, 2016	WS & Regular	2nd Tax Rate Public Hearing
February 29, 2016	5th Monday	No Meeting/5th Monday	August 29, 2016	5th Monday	No Meeting/5th Monday
March 7, 2016	No Meeting	No Meeting/Spring Break	September 5, 2016	City Holiday	No Meeting/Holiday
March 14, 2016	WS & Regular		September 12, 2016	WS & Regular	Budget Adoption
March 21, 2016	Worksession		September 19, 2016	Worksession	
March 28, 2016	WS & Regular		September 26, 2016	WS & Regular	
April 4, 2016	Worksession		October 3, 2016	Worksession	
April 11, 2016	WS & Regular		October 10, 2016	WS & Regular	
April 18, 2016	Worksession		October 17, 2016	Worksession	
April 25, 2016	WS & Regular		October 24, 2016	WS & Regular	
May 2, 2016	Worksession		October 31, 2016	5th Monday	No Meeting/5th Monday
May 9, 2016	WS & Regular		November 7, 2016	Worksession	
May 16, 2016	Worksession		November 14, 2016	WS & Regular	
May 23, 2016	WS & Regular		November 21, 2016	No Meeting	No Meeting/Holiday
May 30, 2016	City Holiday	No Meeting/Holiday	November 28, 2016	No Meeting	No Meeting/Holiday
June 6, 2016	Worksession		December 5, 2016	Worksession	
June 13, 2016	WS & Regular		December 12, 2016	WS & Regular	
June 20, 2016	Worksession		December 19, 2016	No Meeting	No Meeting/Holiday
June 27, 2016	WS & Regular		December 26, 2016	City Holiday	No Meeting/Holiday
July 4, 2016	City Holiday	No Meeting/Holiday			



MEMO

DATE: December 7, 2015

TO: Keith Dagen – Director of Finance

FROM: Pam Kirkland – Purchasing Manager 

SUBJECT: Award of Bid #05-16 for the 2010 Alley Rehabilitation Phase IX (Arapaho/Marilu/Lorrie/Hanbee) to SAZ Infrastructure in the amount of \$471,997.50

Proposed Date of Award: December 14, 2015

I concur with the recommendation of Steve Spanos – Director of Engineering, and request permission to award a contract to SAZ Infrastructure for the above referenced construction in the amount of \$471,997.50.

Funding is provided from 2010 G.O. Bonds and General Special Projects.

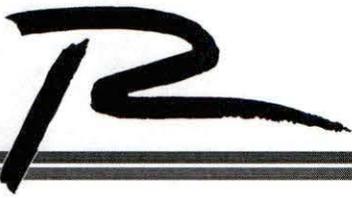
The bid was advertised in *The Dallas Morning News* on October 14 & 21, 2015 and posted on Bidsync. A total of 1,036 electronic solicitations were sent; 20 vendors viewed the bid; and 3 bids were received. A prebid conference was held on October 21, 2015.

Concur:


Keith Dagen

Attachments

Xc: Dan Johnson
Don Magner
Cliff Miller
Shanna Sims-Bradish
Kent Pfeil



MEMO

TO: Dan Johnson, City Manager
THROUGH: Cliff Miller, Assistant City Manager *agm*
FROM: Steve Spanos, P.E., Director of Engineering *SS*
SUBJECT: Award of Bid No. 05-16 to SAZ Infrastructure, for the 2010 Alley Rehabilitation Phase IX (Arapaho/Marilu/Lorrie/Hanbee)
DATE: December 4, 2015

ACTION REQUESTED:

Council to consider award of Bid No. 05-16 to SAZ Infrastructure, for 2010 Alley Rehabilitation Phase IX (Arapaho Rd/Marilu St/Lorrie Dr/Hanbee St) in the amount of \$471,997.50.

BACKGROUND INFORMATION:

On October 29, 2015, the Capital Projects Department opened bids for the subject project. The attached bid tabulation certifies the lowest base bid was submitted by SAZ Infrastructure in the amount of \$471,997.50. City staff has reviewed the references and financial information submitted by the company and recommends awarding the project base bid to SAZ Infrastructure.

The project base bid consists of reconstruction of the following alleys:

- North of Hanbee Street between Custer Road and Lorrie Drive
- North of Marilu Street between Custer Road and Lorrie Drive

The alternate bid is not being recommended for award at this time.

FUNDING:

Funding is provided from 2010 G.O. Bonds and General Special Projects.

SCHEDULE:

The Capital Projects Department plans for this project to begin construction January 2016 and be completed by March 2016.

Cc: Brad Bernhard, P.E., Project Engineer *bb*

2010 ALLEY REHABILITATION PHASE IX

BID # 05-16

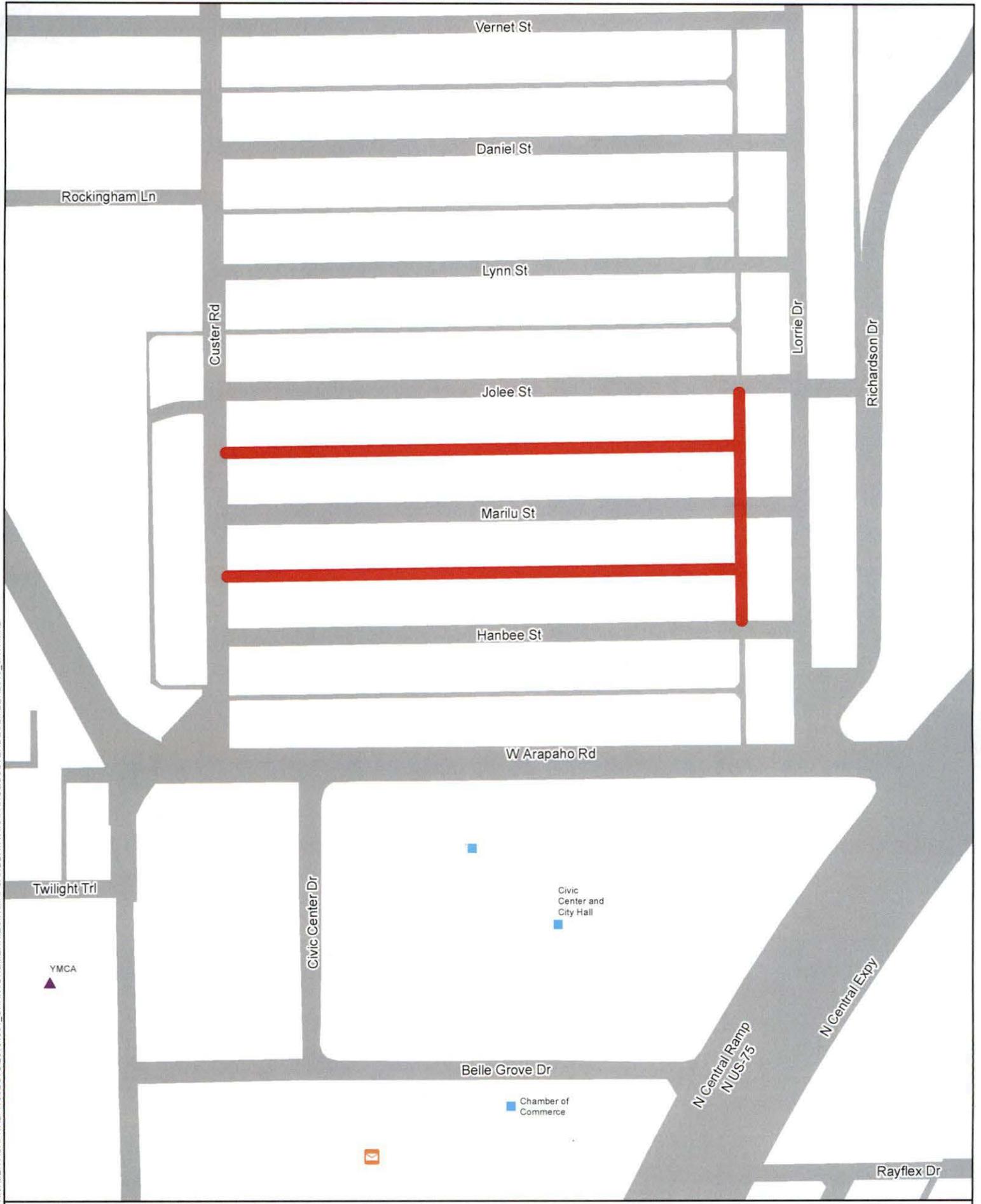
ITEM NO.	DESCRIPTION	EST QTY	UNIT	SAZ INFRASTRUCTURE		ESTRADA CONCRETE		AXIS CONTRACTING		AVERAGES	
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
BASE BID											
1	Mobilization	1	LS	\$11,000.00	\$11,000.00	\$7,500.00	\$7,500.00	\$90,000.00	\$90,000.00	\$36,166.67	\$36,166.67
2	Removal and disposal of Existing Concrete Pavement	3202	SY	\$12.00	\$38,424.00	\$15.00	\$48,030.00	\$20.00	\$64,040.00	\$15.67	\$50,164.67
3	Furnish and Install 6" Alley Concrete	3960	SY	\$62.50	\$247,500.00	\$71.00	\$281,160.00	\$60.00	\$237,600.00	\$64.50	\$255,420.00
4	Sawcut Alley-Street Intersection	241	LF	\$1.25	\$301.25	\$5.00	\$1,205.00	\$12.00	\$2,892.00	\$6.08	\$1,466.08
5	Furnish & Install Asphalt Street Replacement	34	SY	\$13.50	\$459.00	\$100.00	\$3,400.00	\$110.00	\$3,740.00	\$74.50	\$2,533.00
6	Sawcut at Driveway	253	LF	\$1.25	\$316.25	\$5.00	\$1,265.00	\$10.00	\$2,530.00	\$5.42	\$1,370.42
7	Furnish & Install 6" Driveway Concrete	94	SY	\$62.50	\$5,875.00	\$71.00	\$6,674.00	\$60.00	\$5,640.00	\$64.50	\$6,063.00
8	Erosion Control and SWPPP	1	LS	\$7,500.00	\$7,500.00	\$5,000.00	\$5,000.00	\$5,500.00	\$5,500.00	\$6,000.00	\$6,000.00
9	Furnish & Install Mountable Monolithic Curb Type 1	2746	LF	\$8.50	\$23,341.00	\$6.00	\$16,476.00	\$14.00	\$38,444.00	\$9.50	\$26,087.00
10	Furnish & Install Barrier Free Ramp	14	EA	\$1,400.00	\$19,600.00	\$1,200.00	\$16,800.00	\$1,500.00	\$21,000.00	\$1,366.67	\$19,133.33
11	Furnish & Install 6" Compacted Subase	4881	SY	\$6.00	\$29,286.00	\$3.00	\$14,643.00	\$8.00	\$39,048.00	\$5.67	\$27,659.00
12	Restore Landscaping	1	LS	\$5,000.00	\$5,000.00	\$18,000.00	\$18,000.00	\$4,500.00	\$4,500.00	\$9,166.67	\$9,166.67
13	Traffic Control	1	LS	\$3,500.00	\$3,500.00	\$5,000.00	\$5,000.00	\$15,000.00	\$15,000.00	\$7,833.33	\$7,833.33
14	Adjust Existing Wastewater Manhole	8	EA	\$1,000.00	\$8,000.00	\$450.00	\$3,600.00	\$400.00	\$3,200.00	\$616.67	\$4,933.33
15	Adjust Existing Cleanout	2	EA	\$500.00	\$1,000.00	\$350.00	\$700.00	\$250.00	\$500.00	\$366.67	\$733.33
16	Relocate Existing Sign	1	EA	\$250.00	\$250.00	\$500.00	\$500.00	\$500.00	\$500.00	\$416.67	\$416.67
17	Remove & Replace 6' Chain Link Fence	15	LF	\$40.00	\$600.00	\$75.00	\$1,125.00	\$50.00	\$750.00	\$55.00	\$825.00
18	Remove & Replace 8' Wood Fence	50	LF	\$40.00	\$2,000.00	\$80.00	\$4,000.00	\$60.00	\$3,000.00	\$60.00	\$3,000.00
19	Remove & Replace 4' Chain Link Fence	10	LF	\$30.00	\$300.00	\$75.00	\$750.00	\$50.00	\$500.00	\$51.67	\$516.67
20	Furnish & Install 21" Reinforced Concrete Pipe	31	LF	\$65.00	\$2,015.00	\$125.00	\$3,875.00	\$285.00	\$8,835.00	\$158.33	\$4,908.33
21	Furnish & Install 24" Reinforced Concrete Pipe	142	LF	\$75.00	\$10,650.00	\$135.00	\$19,170.00	\$285.00	\$40,470.00	\$165.00	\$23,430.00
22	Furnish & Install 4 Section Gate Inlet	2	EA	\$800.00	\$1,600.00	\$5,000.00	\$10,000.00	\$8,500.00	\$17,000.00	\$4,766.67	\$9,533.33
23	Furnish & Install 8" Street Concrete	80	SY	\$70.00	\$5,600.00	\$76.50	\$6,120.00	\$115.00	\$9,200.00	\$87.17	\$6,973.33
24	Furnish Trench Safety Plan	1	LS	\$2,500.00	\$2,500.00	\$4,500.00	\$4,500.00	\$2,500.00	\$2,500.00	\$3,166.67	\$3,166.67
25	Implement Trench Safety Plan	173	LF	\$60.00	\$10,380.00	\$10.00	\$1,730.00	\$10.00	\$1,730.00	\$26.67	\$4,613.33
26	Construction Contingency	1	LS	\$35,000.00	\$35,000.00	\$35,000.00	\$35,000.00	\$35,000.00	\$35,000.00	\$35,000.00	\$35,000.00
TOTAL BASE BID					\$471,997.50		\$516,223.00		\$653,119.00		\$547,113.17
CONTRACTOR'S BID					SAME		SAME		SAME		
ALTERNATE BID											
1A	Removal and disposal of Existing Concrete	1,470	SY	\$12.00	\$17,640.00	\$15.00	\$22,050.00	\$20.00	\$29,400.00	\$15.67	\$23,030.00
2A	Furnish and Install 6" Alley Concrete	1,850	SY	\$62.50	\$115,625.00	\$71.00	\$131,350.00	\$60.00	\$111,000.00	\$64.50	\$119,325.00
3A	Sawcut Alley-Street Intersection	130	LF	\$1.25	\$162.50	\$5.00	\$650.00	\$12.00	\$1,560.00	\$6.08	\$790.83
4A	Furnish & Install Asphalt Street Replacement	18	SY	\$13.50	\$243.00	\$100.00	\$1,800.00	\$110.00	\$1,980.00	\$74.50	\$1,341.00
5A	Sawcut at Driveway	1	LF	\$1.25	\$1.25	\$150.00	\$150.00	\$10.00	\$10.00	\$53.75	\$53.75
6A	Furnish & Install Barrier Free Ramp	4	EA	\$1,400.00	\$5,600.00	\$1,200.00	\$4,800.00	\$1,500.00	\$6,000.00	\$1,366.67	\$5,466.67
7A	Restore Landscaping	1	LS	\$3,000.00	\$3,000.00	\$11,000.00	\$11,000.00	\$2,500.00	\$2,500.00	\$5,500.00	\$5,500.00
8A	Furnish & Install 6" Compacted Subase	2,204	SY	\$6.00	\$13,224.00	\$3.00	\$6,612.00	\$8.00	\$17,632.00	\$5.67	\$12,489.33
9A	Adjust Existing Wastewater Manhole	4	EA	\$1,000.00	\$4,000.00	\$450.00	\$1,800.00	\$400.00	\$1,600.00	\$616.67	\$2,466.67
10A	Adjust Existing Cleanout	1	EA	\$500.00	\$500.00	\$350.00	\$350.00	\$250.00	\$250.00	\$366.67	\$366.67
11A	Remove & Replace Existing RR tie retaining wall	1	LS	\$4,500.00	\$4,500.00	\$3,500.00	\$3,500.00	\$6,500.00	\$6,500.00	\$4,833.33	\$4,833.33
12A	Furnish & Install 15" Reinforced Concrete Pipe	19	LF	\$55.00	\$1,045.00	\$95.00	\$1,805.00	\$225.00	\$4,275.00	\$125.00	\$2,375.00
13A	Furnish & Install 18" Reinforced Concrete Pipe	178	LF	\$60.00	\$10,680.00	\$115.00	\$20,470.00	\$285.00	\$50,730.00	\$153.33	\$27,293.33
14A	Furnish & Install 21" Reinforced Concrete Pipe	30	LF	\$65.00	\$1,950.00	\$125.00	\$3,750.00	\$285.00	\$8,550.00	\$158.33	\$4,750.00
15A	Furnish & Install 3'X6' Drop Inlet	1	EA	\$1,500.00	\$1,500.00	\$4,500.00	\$4,500.00	\$6,500.00	\$6,500.00	\$4,166.67	\$4,166.67
16A	Furnish & Install 2 Section Gate Inlet	1	EA	\$500.00	\$500.00	\$4,500.00	\$4,500.00	\$7,500.00	\$7,500.00	\$4,166.67	\$4,166.67
17A	Furnish & Install 8" Street Concrete	666	SY	\$70.00	\$46,620.00	\$76.50	\$50,949.00	\$80.00	\$53,280.00	\$75.50	\$50,283.00
18A	Furnish Trench Safety Plan	1	LS	\$2,500.00	\$2,500.00	\$3,500.00	\$3,500.00	\$1,500.00	\$1,500.00	\$2,500.00	\$2,500.00
19A	Implement Trench Safety Plan	227	LF	\$60.00	\$13,620.00	\$10.00	\$2,270.00	\$10.00	\$2,270.00	\$26.67	\$6,053.33
20A	Construction Contingency	1	LS	\$25,000.00	\$25,000.00	\$25,000.00	\$25,000.00	\$25,000.00	\$25,000.00	\$25,000.00	\$25,000.00
TOTAL ALTERNATE BID					\$267,910.75		\$300,806.00		\$338,037.00		\$302,251.25
CONTRACTOR'S BID					SAME		SAME		SAME		
TOTAL BASE BID + ALTERNATE BID					\$739,908.25		\$817,029.00		\$991,156.00		\$849,364.42

**ENGINEERS ESTIMATE:
\$415,000**

CERTIFIED BY:

Steve Spanos
Steve Spanos, P.E., Director of Engineering

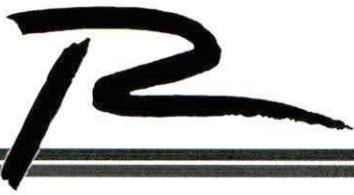
V:\GIS_SHARE\DEPARTMENT\CAPITAL PROJECTS\2015\1001_GRANT DR & MERRIE CIR\MAPS\AND DATA\ARAPAHO & CUSTER\DECEMBER 2015_BX11.MXD



W Arapaho Rd, Hanbee St, Marilu St, Lorrie St - Phase IX
December 2015



CITY OF
 RICHARDSON
 TEXAS



MEMO

DATE: December 2, 2015
TO: Keith Dagen – Director of Finance
FROM: Pam Kirkland – Purchasing Manager *Pam*
SUBJECT: Award of Bid #22-16 for the co-op purchase of traffic signal preemption equipment for the Traffic Operations Department to Consolidated Traffic Controls, Inc. in the amount of \$175,641.17 through the Houston-Galveston Area Council of Governments Contract #PE-05-15

Proposed Date of Award: December 14, 2015

I concur with the recommendation of Robert Saylor, P.E. – Traffic Engineering and Operations Manager, and request permission to issue a purchase order for traffic signal preemption equipment, as per the attached quotation, to Consolidated Traffic Controls, Inc. in the amount of \$175,641.17.

The above referenced equipment has been bid through the Houston-Galveston Area Council of Governments (HGAC) Contract #PE-05-15. The City of Richardson participates in the HGAC program through our existing interlocal agreement for cooperative purchasing pursuant to Texas Government Code, Chapter 791.025 and Texas Local Government Code, Subchapter F, Section 271.102. This agreement automatically renews annually unless either party gives prior notice of termination.

Funding is available in the following accounts:

378-8702-585-7524, Project #SD1030	\$170,544.57
313-9738-583-7554, Project #313198	<u>5,096.60</u>
	\$175,641.17

Concur:

Keith Dagen

Keith Dagen

ATTACHMENTS

Xc: Dan Johnson
Don Magner
Cliff Miller
Shanna Sims-Bradish
Kent Pfeil



MEMO

TO: Pam Kirkland
Purchasing Manager

FROM: Robert Saylor, P.E., PTOE 
Traffic Engineering and Operations Manager

DATE: November 24, 2015

RE: Recommendation to Purchase Traffic Signal Preemption Equipment

We are recommending the purchase of the Traffic Signal Preemption Equipment from Consolidated Traffic Controls, Inc. for the amount of \$175,641. Funding is available from the following accounts:

313-9738-583-7554, Project 313198 - \$5,096.60

378-8702-585-7524, Project #SD1030 - \$170,544.57

to upgrade the City's Traffic Signal Emergency Preemption System. This equipment is available through the Buyboard Contract #PE-05-15.

This is an expansion of our Emergency Vehicle Preemption program at Traffic Signals to better serve our first responders and improve Fire and Ambulance response times and safety. We are taking advantage of a manufacturer upgrade program to replace old equipment which is no longer supported by the manufacturer with new equipment at a heavily discounted price.



CONTRACT PRICING WORKSHEET
For Catalog & Price Sheet Type Purchases

Contract No.: PE-05-15

Date Prepared: 11/9/2015

*This Worksheet is prepared by Contractor and given to End User. If a PO is issued, both documents **MUST** be faxed to H-GAC @ 713-993-4548. Therefore please type or print legibly.*

Buying Agency:	City of Richardson	Contractor:	Consolidated Traffic Controls, Inc.
Contact Person:	Larry McInis	Prepared By:	David Ayers
Phone:	0	Phone:	800-448-8841
Fax:		Fax:	800-448-8850
Email:	larry.mcinis@cor.gov	Email:	President@CTC-Traffic.com

Catalog / Price Sheet Name:	Traffic Control, Enforcement & Signal Preemption Equipment
General Description of Product:	Traffic Control Equipment

A. Catalog / Price Sheet Items being purchased - Itemize Below - Attach Additional Sheet If Necessary

Quan	Description	Unit Pr	Total
23	Model 764 Multimode Phase Selector	\$ 2,751.00	\$ 63,273.00
113	Model 721 Detector	\$ 483.90	\$ 54,680.70
19	Model 764 Multimode Phase Selector	\$ 2,751.00	\$ 52,269.00
19	Trade in Trade Up Discount 20.6248%	\$ (567.37)	\$ (10,780.03)
30000	Model 138 Cable 2,500 Ft Roll (Per Ft.)	\$ 0.41	\$ 12,300.00
113	Pelco AB-0163-84-PNC	\$ 34.50	\$ 3,898.50
Total From Other Sheets, If Any:			
Subtotal A:			\$ 175,641.17

B. Unpublished Options, Accessory or Service items - Itemize Below - Attach Additional Sheet If Necessary

(Note: Unpublished Items are any which were not submitted and priced in contractor's bid.)

Quan	Description	Unit Pr	Total
			\$ -
			\$ -
			\$ -
			\$ -
Total From Other Sheets, If Any:			
Subtotal B:			\$ -

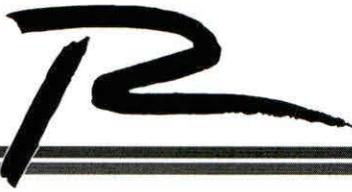
Check: The total cost of Unpublished Options (Subtotal B) cannot exceed 25% of: For this transaction the percentage is: 0%

C. Other Allowances, Discounts, Trade-Ins, Freight, Make Ready or Miscellaneous Charges

	\$ -	
	\$ -	
	\$ -	
Subtotal C:		\$ -

Delivery Date: 30 to 45 Days ARO

D. Total Purchase Price (A+B+C): \$ 175,641.17



MEMO

DATE: December 2, 2015

TO: Keith Dagen – Director of Finance

FROM: Pam Kirkland – Purchasing Manager *Pam*

SUBJECT: Award of Bid #23-16 for the cooperative purchase of refuse containers to Wastequip, LLC in an amount not to exceed \$304,720.20 through the Texas Local Government Statewide Purchasing Cooperative Buyboard Contract #425-13

Proposed Date of Award: December 14, 2015

I concur with the recommendation of Ryan Delzell – Superintendent of Solid Waste, to purchase 4-yard and 8-yard frontload refuse containers and 35 cubic yard compactors, as outlined below, in an amount not to exceed \$304,720.20.

Primarily, in the past, we have been able to take delivery of all refuse containers budgeted within a fiscal year. However, due to the construction of the Fire Training Center/EOC Complex, the space allotted for storage of refuse containers was decreased considerably. We, therefore, cannot purchase and store all of the containers at one time.

Attached are quotes from Wastequip, Inc. with unit prices for each type of containers and compactors we intend to purchase this year and the estimated freight charges, per load, per container type.

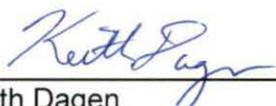
It is our recommendation to purchase the containers, as needed and as storage space becomes available, for the following containers, keeping expenditures within the FY15-16 budgeted amounts.

Qty/Type Refuse Container	Account	Budget
128 – 8 cy frontload “slant” containers	590-2050-581-7482, CS1604	\$ 120,320.00
24 – 8 cy frontload “flat” containers	590-2050-581-7482, CS1605	23,040.00
19 – 4 cy frontload “slant” containers	598-2050-581-7483, CS1505	588.23
	590-2050-581-7483, CS1606	10,907.77
9 – 35 cubic yard compactors	598-2050-581-7484, CS1506	7,784.00
	590-2050-581-7484, CS1607	<u>142,080.20</u>
Total		\$304,720.20

Page 2

The above referenced refuse containers have been bid through the Texas Local Government Statewide Purchasing Cooperative (Buyboard) Contract #425-13. The City of Richardson is a member of the Texas Local Government Statewide Purchasing Cooperative through our existing interlocal agreement for cooperative purchasing pursuant to Texas Government Code, Chapter 791.025 and Texas Local Government Code, Subchapter F, Section 271.102. This agreement automatically renews annually unless either party gives prior notice of termination.

Concur:



Keith Dagen

ATTACHMENTS

Xc: Dan Johnson
Don Magner
Cliff Miller
Shanna Sims-Bradish
Kent Pfeil



MEMO

To: Pam Kirkland-Purchasing Manager
From: Ryan Delzell-Solid Waste Operations Superintendent

RD

Date: November 13, 2015
Re: Solid Waste Container Purchases

Solid Waste recommends purchasing all solid waste containers listed below from Wastequip utilizing the Buyboard Cooperative Purchasing agreement with the City of Richardson. Purchases will be made throughout the fiscal year due to a shortage of storage space. Please see the budgeted amount for each type of unit below:

8 cubic yard frontloads

590-2050-581-7482

(128) 8yd Slants @ \$890 + (16) loads @ \$400 = \$120,320

(24) 8yd Flats @ \$910 + (3) loads @ \$400 = \$23,040

Total 8 yds = \$143,360

4 cubic yard frontloads

598-2050-581-7483 \$588.23

590-2050-581-7483 \$10,907.77

(19) 4yd Slants @ \$584 + (1) load @ \$400 = \$11,496

Total 4 yds = \$11,496

35 cubic yard compactors

598-2050-581-7484 \$7,784

590-2050-581-7484 \$142,080.20

(9) 35 yd Comp @ \$16,103.80 + (5) loads @ \$986 = \$149,864.20

Total compactors = \$149,864.20

XC: Darryl E. Fourte-Director of Public Services
Travis Switzer-Assistant Director of Public Services, Environmental Operations
Todd Gastorf-Purchasing Supervisor



WQ-10004112

Sell To:

Contact Name Ryan Delzell
 Bill To Name City of Richardson
 Bill To Po Box 830309
 Richardson, TX 75083-0309
 USA
 Email ryan.delzell@cor.gov
 Phone 972-744-4404

Ship To Name City of Richardson
 Ship To 1260 Columbia Dr
 Richardson, TX 75081
 USA
 Customer Job Reference BuyBoard #425-13

Quote Information

Salesperson David Minton
 Salesperson Email dminton@wastequip.com
 Salesperson Phone (800) 242-0122

Created Date 11/4/2015
 Expiration Date 11/24/2015
 Quote Number WQ-10004112
 Please Reference Quote Number on all Purchase Orders

Model	Product Description	Description	Quantity	Sales Price	Total Price
125535	8 Cubic Yard Standard Duty Slant Front Load Container - Floor: 10 gauge, Walls: 12 gauge, Pockets: Heavy Duty with Three Way Fork Entry Guide, Interlocking Top Channels with formed 10 gauge Bottom Runners, Primed and Painted Any Standard Color	Unit prices do not include freight. Max 8 per load Freight listed below is Full Truckload rate. If less than full truckloads are ordered additional freight charges may apply.	1.00	\$890.00	\$890.00

Payment Terms Net 30 Days
 Shipping Terms FOB Origin

Subtotal \$890.00
 Shipping and Handling \$400.00
 Tax \$0.00
 Grand Total \$1,290.00

Additional Information

Additional Terms Our quote is a good faith estimate, based on our understanding of your needs. Subject to our acceptance, your Order is an offer to purchase our Products and services in accordance with the Wastequip Terms and Conditions, including our limited warranties, the terms of which are incorporated herein by reference, which constitutes the entire agreement between the parties. The Wastequip Terms and Conditions are available on our website at: <http://www.wastequip.com/terms-conditions.cfm>

Pricing is based on your anticipated Order, including product specifications, quantities and timing - any differences to your order may result in different pricing. Due to volatility in petrochemical, steel and related product material markets, actual prices, as well as freight, are subject to change and will be confirmed prior to acceptance of an Order. Unless otherwise stated, materials and container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes and representations - actual volume, Products and materials are subject to manufacturing and commercial variations and Wastequip's practices, and may vary from nominal sizes and materials. All prices are in US dollars; this quotation may not include all applicable taxes, brokerage fees or duties.

Wastequip, Toter, Galbreath, Cusco, Accurate, Mountain Tarp, Pioneer, and Parts Place are registered trademarks, trade names and subsidiaries of Wastequip, LLC.



WQ-10004112

Additional Information

Due to extremely volatile petrochemical and steel markets, actual prices and freight are subject to change and must be confirmed before acceptance of an order. Above pricing is based on orders placed in the quantities stated above. Orders placed for other than these quantities may be subject to additional freight and cost. Unless otherwise stated, container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes. Actual volume may vary from nominal sizes. This proposal is subject to Wastequip/Toter standard terms and conditions. Quotation does not include any applicable taxes other than those specifically listed on this document.

Signatures

Accepted By: _____

Company Name: _____

Date: _____

Purchase Order: _____

Please Reference Quote Number on all Purchase Orders



WQ-10004113

Sell To:

Contact Name Ryan Delzell
 Bill To Name City of Richardson
 Bill To Po Box 830309
 Richardson, TX 75083-0309
 USA
 Email ryan.delzell@cor.gov
 Phone 972-744-4404

Ship To Name City of Richardson
 Ship To 1260 Columbia Dr
 Richardson, TX 75081
 USA
 Customer Job Reference **BuyBoard #425-13**

Quote Information

Salesperson David Minton
 Salesperson Email dminton@wastequip.com
 Salesperson Phone (800) 242-0122

Created Date 11/4/2015
 Expiration Date 11/24/2015
 Quote Number WQ-10004113
 Please Reference Quote Number on all Purchase Orders

Model	Product Description	Description	Quantity	Sales Price	Total Price
		Unit prices do not include freight.			
125537	8 Cubic Yard Standard Duty Flat Front Load Container - Floor: 10 gauge, Walls: 12 gauge with Horizontal V-Crimps for Added Strength, Doors: (2) 30"x 30" Sliding, Pockets: Heavy Duty with Three Way Fork Entry Guide, Top Channels: Interlocking, Bottom Runners: 2 1/2" Tall Formed, Primed and Painted Any Standard Color	Max 8 per load Freight listed below is Full Truckload rate. If less than full truckloads are ordered additional freight charges may apply.	1.00	\$910.00	\$910.00

Payment Terms Net 30 Days
 Shipping Terms FOB Origin

Subtotal \$910.00
 Shipping and Handling \$400.00
 Tax \$0.00
 Grand Total \$1,310.00

Additional Information

Additional Terms Our quote is a good faith estimate, based on our understanding of your needs. Subject to our acceptance, your Order is an offer to purchase our Products and services in accordance with the Wastequip Terms and Conditions, including our limited warranties, the terms of which are incorporated herein by reference, which constitutes the entire agreement between the parties. The Wastequip Terms and Conditions are available on our website at: <http://www.wastequip.com/terms-conditions.cfm>

Pricing is based on your anticipated Order, including product specifications, quantities and timing - any differences to your order may result in different pricing. Due to volatility in petrochemical, steel and related product material markets, actual prices, as well as freight, are subject to change and will be confirmed prior to acceptance of an Order. Unless otherwise stated, materials and container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes and representations - actual volume, Products and materials are subject to manufacturing and commercial variations and Wastequip's practices, and may vary from nominal sizes and materials. All prices are in US dollars; this quotation may not include all applicable taxes, brokerage fees or duties.

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WQ-10004113

Additional Information

Due to extremely volatile petrochemical and steel markets, actual prices and freight are subject to change and must be confirmed before acceptance of an order. Above pricing is based on orders placed in the quantities stated above. Orders placed for other than these quantities may be subject to additional freight and cost. Unless otherwise stated, container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes. Actual volume may vary from nominal sizes. This proposal is subject to Wastequip/Toter standard terms and conditions. Quotation does not include any applicable taxes other than those specifically listed on this document.

Signatures

Accepted By: _____

Company Name: _____

Date: _____

Purchase Order: _____

Please Reference Quote Number on all Purchase Orders



WQ-10004111

Sell To:

Contact Name Ryan Delzell
 Bill To Name City of Richardson
 Bill To Po Box 830309
 Richardson, TX 75083-0309
 USA
 Email ryan.delzell@cor.gov
 Phone 972-744-4404

Ship To Name City of Richardson
 Ship To 1260 Columbia Dr
 Richardson, TX 75081
 USA
 Customer Job Reference BuyBoard #425-13

Quote Information

Salesperson David Minton
 Salesperson Email dminton@wastequip.com
 Salesperson Phone (800) 242-0122

Created Date 11/5/2015
 Expiration Date 11/26/2015
 Quote Number WQ-10004111
 Please Reference Quote Number on all Purchase Orders

Model	Product Description	Description	Quantity	Sales Price	Total Price
125544	4 Cubic Yard Standard Duty Slant Front Load Container - Floor: 10 gauge, Walls: 12 gauge, Pockets: Heavy Duty with Three Way Fork Entry Guide, Top Channels: Interlocking, Bottom Runners: 2 1/2" Tall Formed, Primed and Painted Any Standard Color	Unit prices do not include freight. Max 20 per load Freight listed below is Full Truckload rate. If less than full truckloads are ordered additional freight charges may apply.	1.00	\$584.00	\$584.00

Payment Terms Net 30 Days
 Shipping Terms FOB Origin

Subtotal \$584.00
 Shipping and Handling \$400.00
 Tax \$0.00
 Grand Total \$984.00

Additional Information

Additional Terms Our quote is a good faith estimate, based on our understanding of your needs. Subject to our acceptance, your Order is an offer to purchase our Products and services in accordance with the Wastequip Terms and Conditions, including our limited warranties, the terms of which are incorporated herein by reference, which constitutes the entire agreement between the parties. The Wastequip Terms and Conditions are available on our website at: <http://www.wastequip.com/terms-conditions.cfm>

Pricing is based on your anticipated Order, including product specifications, quantities and timing - any differences to your order may result in different pricing. Due to volatility in petrochemical, steel and related product material markets, actual prices, as well as freight, are subject to change and will be confirmed prior to acceptance of an Order. Unless otherwise stated, materials and container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes and representations - actual volume, Products and materials are subject to manufacturing and commercial variations and Wastequip's practices, and may vary from nominal sizes and materials. All prices are in US dollars; this quotation may not include all applicable taxes, brokerage fees or duties.

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WQ-10004111

Additional Information

Due to extremely volatile petrochemical and steel markets, actual prices and freight are subject to change and must be confirmed before acceptance of an order. Above pricing is based on orders placed in the quantities stated above. Orders placed for other than these quantities may be subject to additional freight and cost. Unless otherwise stated, container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes. Actual volume may vary from nominal sizes. This proposal is subject to Wastequip/Toter standard terms and conditions. Quotation does not include any applicable taxes other than those specifically listed on this document.

Signatures

Accepted By: _____

Company Name: _____

Date: _____

Purchase Order: _____

Please Reference Quote Number on all Purchase Orders



5712 Lower 3rd Street, Alexandria, LA, 71302

PHONE: 800-245-1147 FAX: 318-473-1893

WQ-10004822

Sell To:

Contact Name Ryan Delzell
 Bill To Name City of Richardson
 Bill To Po Box 830309
 Richardson, TX 75083-0309
 USA
 Email ryan.delzell@cor.gov
 Phone 972-744-4404

Ship To Name City of Richardson
 Ship To 1260 Columbia Dr
 Richardson, TX 75081
 USA
 Customer Job BuyBoard #425-13
 Reference

Quote Information

Salesperson Heath Cowgill
 Salesperson Email hcowgill@wastequip.com
 Salesperson Phone 469-207-0797

Created Date 11/13/2015
 Expiration Date 12/4/2015
 Quote Number WQ-10004822
 Please Reference Quote Number on all
 Purchase Orders

Model	Product Description	Selected Option	Description	Quantity	Sales Price	Total Price
265XP-35-F	Self-Contained Precision Series 265XP Model includes a 10HP Tri-volt T.E.F.C. motor, UL/CUL Listed, 6' remote power unit with weather cover, NEMA 4 Rated Control Panel, Controls in Panel Face, Precision guided ram, Full Gasketed Door, A.N.S.I Z.245.2 Compliant, WASTEC rated and 5 year structural warranty.	Color: TBD-Standard Color Voltage: TBD-3PH Feed Side: TBD Quick Disconnect: TBD	Pricing does not included offloading, installation or training. No additional equipment (i.e. remote power units, pressure gauges, guide rails, hoppers, etc.) are included in unit pricing. Max (2) units per truckload. Freight charged listed below is a full truckload rate. Should less than truckload orders be placed freight charges may change.	1.00	\$18,730.00	\$18,730.00
CO190	Deduct for no power unit on 255/265X - Net Price			1.00	(\$2,743.00)	(\$2,743.00)
CO112	Hold To Run Button			1.00	\$116.80	\$116.80
VAF-SC-1	Guardian Control System			1.00	\$0.00	\$0.00
VAF-SC-2	(AMS) Automatic Maintenance Scheduler			1.00	\$0.00	\$0.00
VAF-SC-3	100% Full Light			1.00	\$0.00	\$0.00
VAF-SC-4	Multicycle Timer			1.00	\$0.00	\$0.00
VAF-SC-5	Low Temperature Oil			1.00	\$0.00	\$0.00
VAF-SC-6	Warranty: 5 Years Structural, 2 Years Parts and 1 Year Labor			1.00	\$0.00	\$0.00

Payment Terms Net 30 Days
 Shipping Terms FOB Origin

Subtotal \$16,103.80
 Shipping and Handling \$986.00



5712 Lower 3rd Street, Alexandria, LA, 71302

PHONE: 800-245-1147 FAX: 318-473-1893

WQ-10004822

Tax \$0.00

Grand Total \$17,089.80

Additional Information

- Additional Terms** Our quote is a good faith estimate, based on our understanding of your needs. Subject to our acceptance, your Order is an offer to purchase our Products and services in accordance with the Wastequip Terms and Conditions, including our limited warranties, the terms of which are incorporated herein by reference, which constitutes the entire agreement between the parties. The Wastequip Terms and Conditions are available on our website at: <http://www.wastequip.com/terms-conditions.cfm>

Pricing is based on your anticipated Order, including product specifications, quantities and timing - any differences to your order may result in different pricing. Due to volatility in petrochemical, steel and related product material markets, actual prices, as well as freight, are subject to change and will be confirmed prior to acceptance of an Order. Unless otherwise stated, materials and container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes and representations - actual volume, Products and materials are subject to manufacturing and commercial variations and Wastequip's practices, and may vary from nominal sizes and materials. All prices are in US dollars; this quotation may not include all applicable taxes, brokerage fees or duties.

Wastequip, Toter, Galbreath, Cusco, Accurate, Mountain Tarp, Pioneer, and Parts Place are registered trademarks, trade names and subsidiaries of Wastequip, LLC.
- Additional Information** Due to extremely volatile petrochemical and steel markets, actual prices and freight are subject to change and must be confirmed before acceptance of an order. Above pricing is based on orders placed in the quantities stated above. Orders placed for other than these quantities may be subject to additional freight and cost. Unless otherwise stated, container sizes indicated on sales literature, invoices, price lists, quotations and delivery tickets are nominal sizes. Actual volume may vary from nominal sizes. This proposal is subject to Wastequip/Toter standard terms and conditions. Quotation does not include any applicable taxes other than those specifically listed on this document.
- Special Contract Information** Pricing is based on Wastequip's Buy Board Contract No.425-13 as awarded on May 23, 2013. Per the terms of the contract, pricing may be amended at any time with proper documentation, and subject to Buy Board approval. Pricing may change without written prior notice.

Signatures

Accepted By: _____

Company Name: _____

Date: _____

Purchase Order: _____

Please Reference Quote Number on all Purchase Orders



MEMO

DATE: December 7, 2015
TO: Keith Dagen – Director of Finance
FROM: Pam Kirkland – Purchasing Manager 
SUBJECT: Award of Request for Proposal #702-15 for the annual requirements contract for Traffic Data Collection Units to Control Technologies, Inc. pursuant to the unit price of \$4,890

Proposed Date of Award: December 14, 2015

I concur with the recommendations of Robert Saylor, P.E., PTOE – Traffic Engineering & Operations Manager, and request permission to issue an annual requirements contract for the above referenced traffic data collection units pursuant to the unit price of \$4,890.

Three proposals were received from Consolidated Traffic Controls, Inc., Control Technologies and Digiwest. The proposals were evaluated by Robert Saylor and Patrick Ryan from the Traffic Operations Department, Brian Davis of Information Technology and Todd Gastorf of Purchasing on criteria related to the 1) offeror qualifications; 2) data control unit conformance to specifications; 3) software conformance to specifications; 4) value added items offered; and 5) price as outlined in Local Government Code 252.042. Control Technologies, Inc. was the highest ranked offeror and is being recommended as the awarded vendor for this contract.

The term of the contract is for one (1) year with options for four (4) additional one (1) year renewal periods, if agreeable to both parties. As outlined in Mr. Saylor's attached memo, it is our intention to purchase a minimum of \$40,000 of units annually; however, the award of this contract allows for purchase of the traffic data collection units as the requirements and needs of the city arise, on an annual basis, and during any subsequent renewal period(s). Payment will be rendered for actual units purchased pursuant to the unit prices bid.

A prebid conference was held on July 14, 2015 and two bidders and three staff members were in attendance. A total of 1,290 proposal notices were solicited; 30 offerors viewed the proposal, and three responses were received. The bid was advertised in *The Dallas Morning News* on July 3 & 10, 2015 and was posted on Bidsync.com.

Concur:


Keith Dagen

Attachments

XC: Dan Johnson
Don Magner
Cliff Miller
Shanna Sims-Bradish
Kent Pfeil



MEMO

TO: Pam Kirkland, Purchasing Manager
FROM: Robert Saylor, P.E., PTOE – Traffic Engineering and Operations Manager
DATE: December 4, 2015

SUBJECT: Bid# 702-15 Annual Contract for Traffic Data Collection Units

I recommend that the City award the contract for Traffic Data Collection Units Bid# 702-15 to Control Technologies, Inc. I recommend that this be awarded as an annual contract with options to renew for four (4) additional years.

Expenditures will be \$40,000 annually and will come from account 011-20-71-531-43-31.

These units will allow the City to take real-time, and maintain historical, measures of travel time, delay, and speed on the roadways where we deploy them. The system will also allow for measuring the origin and destination of trips made through our City. The system, by design, maintains complete anonymity for any vehicles used for data collection.

The proposed annual expense of \$40,000 will allow purchase and deployment of up to 8 units per year. Each additional unit will expand the City's knowledge and capabilities; however minimal full coverage will be achieved with the 50th unit deployed. Complete coverage would be achieved with 90 units. Should additional funding become available to expand the system rapidly, it is possible that more than \$40,000 could be spent in a single year.

The selection committee believes this award choice represents the best value to the City.

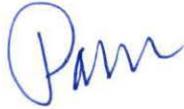
Thanks,
Robert Saylor, P.E., PTOE
Traffic Engineering and Operations Manager
City of Richardson
(972) 744-4324



MEMO

DATE: December 8, 2015

TO: Keith Dagen – Finance Director

FROM: Pam Kirkland – Purchasing Manager 

SUBJECT: Change Order to increase purchase order 151436 to 3D Paving and Contracting, LLC for the 2010 Bond Program Alley Reconstruction Phase VI in the amount of \$90,000

Proposed Date of Award: December 14, 2015

I concur with the recommendation of Steve Spanos – Director of Engineering, and request permission to increase the above referenced purchase order in the amount of \$90,000, as outlined in Mr. Spanos attached memo.

Texas Local Government Code Chapter 252.048 allows for change orders to contracts if plans or specifications are necessary after or during the performance of the contract to decrease or increase the quantity of work to be performed or of materials, equipment or supplies to be furnished. The contract may not be increased by more than 25% of the original contract amount or decreased more than 25% without the consent of the contractor and any change order over \$50,000 must be approved by the governing body of the municipality.

This change order is within the 25% maximum change order limit but requires approval by the governing body because it is over \$50,000.

Concur:



Keith Dagen

Approved:

Dan Johnson

ATTACHMENTS

Xc: Dan Johnson
Don Magner
Cliff Miller
Shanna Sims-Bradish
Kent Pfeil



MEMO

TO: Pam Kirkland, Purchasing Manager
FROM: Steve Spanos, P.E., Director of Engineering *SS cm*
SUBJECT: Change Order #1 to INCREASE Purchase Order #151436
3D Paving and Contracting, LLC - 2010 Bond Program Alley Reconstruction Phase VI
DATE: 12/04/2015

ACTION REQUESTED

Process change order #1 to INCREASE Purchase Order #151436

ACCOUNT SUMMARY

Original Purchase Order	\$539,010.50
Change Order #1	\$90,000.00
Total Authorized Contract Amount	\$629,010.50

BACKGROUND INFORMATION

This Change Order will allow additional repairs in the 20 foot wide concrete alley located behind the 400 block of Tiffany Trail. The repairs include approximately 2000 SY of 6" thick concrete pavement and some curb and sod replacement.

FUNDING INFORMATION

Funding is provided from 2010 G.O. Bonds, project #SD1006.

Cc: Padma Patla, P.E., Project Engineer *PP*
Clark Davis, Construction Inspector
Jim Lockart, P.E., Assistant Director of Engineering
Kristen Billings, Contract Administrator
Carolyn Kaplan, Capital Projects Accountant