

**RICHARDSON CITY COUNCIL
MONDAY, AUGUST 3, 2015
WORK SESSION AT 6:00 PM; COUNCIL MEETING AT 7:00 PM
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX**

The Richardson City Council will conduct a Work Session at 6:00 p.m. on Monday, August 3, 2015 in the Richardson Room of the Civic Center, 411 W. Arapaho Road, Richardson, Texas. The Work Session will be followed by a Council Meeting at 7:00 p.m. in the Council Chambers. Council will reconvene the Work Session following the Council Meeting if necessary.

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

WORK SESSION – 6:00 PM, RICHARDSON ROOM

• **CALL TO ORDER**

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

The City Council will have an opportunity to preview items listed on the Council Meeting agenda for action and discuss with City Staff.

B. PROVIDE UPDATE ON PROPOSED CITY CHARTER PROPOSITIONS

C. REVIEW AND DISCUSS THE STORMWATER MANAGEMENT PROGRAM

D. REPORT ON ITEMS OF COMMUNITY INTEREST

The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.

COUNCIL MEETING – 7:00 PM, COUNCIL CHAMBERS

1. INVOCATION – STEVE MITCHELL

2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – STEVE MITCHELL

3. MINUTES OF THE JULY 27, 2015 MEETING

4. VISITORS

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a “City Council Appearance Card” and present it to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns will be addressed by City Staff, may be placed on a future agenda, or by some other course of response.

PUBLIC HEARING ITEMS:

5. PUBLIC HEARING, ZONING FILE 15-16, A REQUEST BY KALER NGUYEN, REPRESENTING ABC BEAUTY ACADEMY, FOR APPROVAL OF A SPECIAL PERMIT FOR A BEAUTY TRAINING ACADEMY TO BE LOCATED AT 2109 E. BUCKINGHAM ROAD (NORTH SIDE OF BUCKINGHAM ROAD, WEST OF JUPITER ROAD). THE PROPERTY IS CURRENTLY ZONED LR-M(2) LOCAL RETAIL.
6. PUBLIC HEARING, ZONING FILE 15-19, A REQUEST BY KIRK M. HERMANSEN, REPRESENTING RICHARDSON RP PROPERTY LLC, FOR AN AMENDMENT TO EXHIBIT C – SIGN STANDARDS OF ORDINANCE NUMBER 4054, A MAJOR MODIFICATION TO THE WEST SPRING VALLEY CORRIDOR PD ADOPTED IN JUNE 2014, LOCATED ON THE WEST SIDE OF CENTRAL EXPRESSWAY, SOUTH OF JAMES DRIVE. THE PROPERTY IS CURRENTLY ZONED PD PLANNED DEVELOPMENT (WEST SPRING VALLEY CORRIDOR PD).

ACTION ITEMS:

7. CONSIDER SETTING PUBLIC HEARINGS ON AUGUST 17 AND AUGUST 24, 2015 ON THE PROPOSED TAX RATE OF \$0.63516 PER \$100 VALUATION FOR FISCAL YEAR 2015-2016.
8. CONSIDER SETTING PUBLIC HEARING ON AUGUST 24, 2015 FOR THE PROPOSED FISCAL YEAR 2015-2016 RICHARDSON MUNICIPAL BUDGET.

9. CONSENT AGENDA:

All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.

- A. CONSIDER ADOPTION OF ORDINANCE NO. 4126, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING FROM LR-M(2) LOCAL RETAIL WITH SPECIAL CONDITIONS TO LR-M(2) LOCAL RETAIL AND TO GRANT A SPECIAL PERMIT FOR A MOTOR VEHICLE SERVICE STATION ON A 0.7-ACRE TRACT OF LAND LOCATED AT THE SOUTHEAST CORNER OF RENNER ROAD AND CUSTER PARKWAY, RICHARDSON, TEXAS.
- B. CONSIDER AWARD OF BID #63-15 – WE RECOMMEND THE AWARD TO GHB EQUIPMENT CO., LLC, FOR THE RESERVATION HOA BRIDGE ENHANCEMENTS: MELROSE DRIVE AT WEST FORK OF COTTONWOOD CREEK, AND MIMOSA DRIVE AT MIMOSA PARK AND GREENWOOD HILLS HOA SCREENING WALL EXTENSIONS AND BRIDGE ENHANCEMENTS: CAMPBELL ROAD FROM WATERVIEW DRIVE TO N. FLOYD ROAD IN THE AMOUNT OF \$1,380,807.00.

EXECUTIVE SESSION

In compliance with Section 551.072 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Deliberation Regarding Real Property
 - Property Considerations in the N. Glenville Dr./Columbia Dr. Area

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

- **ADJOURN**

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE CIVIC CENTER/CITY HALL ON FRIDAY, JULY 31, 2015, BY 5:00 P.M.

AIMEE NEMER, CITY SECRETARY

ACCOMMODATION REQUESTS FOR PERSONS WITH DISABILITIES SHOULD BE MADE AT LEAST 48 HOURS PRIOR TO THE MEETING BY CONTACTING SUSAN MATTISON, ADA COORDINATOR, VIA PHONE AT 972 744-0809, VIA EMAIL AT ADACoordinator@cor.gov, OR BY APPOINTMENT AT 1621 E. LOOKOUT DRIVE, RICHARDSON, TX 75082.



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, August 3, 2015

Agenda Item: Provide Update on Proposed City Charter Propositions

Staff Resource: Aimee Nemer, City Secretary
Shanna Sims-Bradish, Assistant City Manager
Pete Smith, City Attorney

Summary: City staff will provide an update to the City Council on finalizing City Charter propositions for voter consideration on the November 2015 ballot.

Board/Commission Action: N/A

Action Proposed: N/A



City of Richardson
City Council Worksession
Agenda Item Summary



City Council Meeting Date: Monday, August 3, 2015

Agenda Item: Stormwater Management Program

Staff Resource: Bill Alsup, Director of Health

Summary: Review and Discuss City's Storm Water Management Program. Discussion will include: the Municipal Separate Storm Sewer System permit held by the City, reporting requirements to the Texas Commission on Environmental Quality, and details on the City's role and responsibilities in improving surface water quality.

Board/Commission Action: N/A

Action Proposed: N/A

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION AND COUNCIL MEETING
JULY 27, 2015

WORK SESSION – 6:00 P.M.:

- **Call to Order**

Mayor Voelker called the meeting to order at 6:00 p.m. with the following Council members present:

| | |
|------------------|---------------|
| Paul Voelker | Mayor |
| Mark Solomon | Mayor Pro Tem |
| Bob Townsend | Councilmember |
| Scott Dunn | Councilmember |
| Mabel Simpson | Councilmember |
| Marta Gomez Frey | Councilmember |
| Steve Mitchell | Councilmember |

The following staff members were also present:

| | |
|---------------------|---|
| Dan Johnson | City Manager |
| Don Magnier | First Assistant City Manager |
| Kent Pfeil | Chief Financial Officer |
| Cliff Miller | Assistant City Manager Development Services |
| Shanna Sims-Bradish | Assistant City Manager Admin/Leisure Services |
| Aimee Nemer | City Secretary |
| Taylor Paton | Management Analyst |
| Michael Spicer | Director of Development Services |
| Steve Spanos | Director of Engineering |
| Jim Dulac | Assistant City Engineer |
| Bill Alsup | Director of Health |
| Joe Gorfida | City Attorney |

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

Michael Spicer, Director of Development Services, reviewed Zoning File 15-09.

B. REVIEW AND DISCUSS PROPOSED CITY CHARTER PROPOSITIONS

Shanna Sims-Bradish, Assistant City Manager, reviewed this item for Council, giving an update on the ballot configuration and reviewing preliminary propositions placed in category order with expanded wording for certain propositions to increase clarification and enhance voter understanding.

C. REVIEW AND DISCUSS THE FUTURE BOND PROGRAM FINAL DEVELOPMENT

Don Magnier, First Assistant City Manager, reviewed the following information regarding the Bond Program.

PUBLIC BUILDINGS PROPOSITION

| Project Description | 2015 Estimate | Issuance Amount |
|--------------------------------------|----------------------|------------------------|
| Animal Shelter Kennel Suite Upgrades | \$375,000 | \$475,000 |
| Library Facility Enhancements | \$825,000 | \$1,045,000 |
| City Hall Improvements | \$1,400,000 | \$1,650,000 |
| Public Safety Phase I | \$6,800,000 | \$8,730,000 |
| Public Safety Phase II | \$35,700,000 | \$45,170,000 |
| Fire Station #3 | \$6,300,000 | \$7,970,000 |
| Fire Admin / Station #1 Remodel | \$1,000,000 | \$1,200,000 |
| Fire Training Center Parking Lot | \$600,000 | \$760,000 |
| Total | \$53,000,000 | \$67,000,000 |

STREET PROPOSITION SUMMARY

| | 2015 Estimate | Issuance Amount |
|-----------------------------|----------------------|------------------------|
| Collectors | \$13,065,000 | \$16,535,000 |
| Locals | \$4,150,000 | \$5,255,000 |
| Alleys | \$3,485,000 | \$4,410,000 |
| Traffic | \$5,480,000 | \$6,930,000 |
| Drainage | \$2,000,000 | \$2,530,000 |
| Special Project/Contingency | \$2,220,000 | \$2,910,000 |
| Total | \$30,400,000 | \$38,570,000 |

PARKS PROPOSITION

| Project Description | 2015 Estimate | Issuance Amount |
|---|----------------------|------------------------|
| Park Playgrounds: Breckinridge, Canyon Creek, Cottonwood, Crowley, Duck Creek | \$715,000 | \$965,000 |
| Park Trails: Breckinridge, Spring Creek Nature Area Trail | \$775,000 | \$1,050,000 |
| Senior Center | \$3,860,000 | \$4,895,000 |
| Pool Buildings: Canyon Creek | \$250,000 | \$320,000 |
| Total | \$5,600,000 | \$7,230,000 |

| SIDEWALK PROPOSITIONS | | |
|----------------------------------|----------------------|----------------------|
| Project Description | 2015 Estimate | Issued Amount |
| Sidewalks – All Unfunded Regions | \$2,000,000 | \$2,200,000 |
| Total | \$2,000,000 | \$2,200,000 |

| BOND PROGRAM SUMMARY | | |
|-----------------------------|----------------------|------------------------|
| Proposition | 2015 Estimate | Issuance Amount |
| Public Buildings | \$53,000,000 | \$67,000,000 |
| Streets | \$30,400,000 | \$38,570,000 |
| Parks | \$5,600,000 | \$7,230,000 |
| Sidewalks | \$2,000,000 | \$2,200,000 |
| Total | \$91,000,000 | \$115,000,000 |

- The proposed No Tax Increase bond program balances city-wide priorities with localized needs while being mindful of prior attention and efforts
- The proposed bond program includes projects that will benefit the entire community by enhancing:
 - Police and Fire Department facilities and operations
 - Infrastructure maintenance by augmenting annual strategies to improve streets, alleys and sidewalks
 - Traffic operations efficiency and equipment functionality
 - Senior citizen facilities and services
 - Customer service experiences at City Hall, the Animal Shelter and Library
 - Park trails, playground equipment and pool buildings
- There are a number of strategies being considered to address projects that did not make this program to keep progressing these important initiatives as well

D. REVIEW AND DISCUSS MOSQUITO CONTROL PROGRAM

Bill Alsup, Director of Health, reviewed this item for Council explaining the transmission cycle of the West Nile Virus; and integrated mosquito management to include:

- Public Education
- Source Reduction
- Surveillance
- Larviciding
- Adulticiding

Mr. Alsup also reviewed the 2015 statistics:

- 180 mosquito traps set
- Over 3,100 mosquitoes collected and tested
- Zero positive tests

E. REPORT ON ITEMS OF COMMUNITY INTEREST

There were no items of community interest reported.

COUNCIL MEETING – 7:00 PM, COUNCIL CHAMBERS

- 1. INVOCATION – MABEL SIMPSON**
- 2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – MABEL SIMPSON**
- 3. MINUTES OF THE JULY 13, 2015 MEETING, JULY 14-15 BUDGET RETREAT MEETINGS, AND JULY 20, 2015 MEETING**

Council Action

Councilmember Mitchell moved to approve the Minutes as presented. Councilmember Frey seconded the motion. A vote was taken and passed, 7-0.

4. VISITORS

Mr. Jerry Nichols addressed Council to announce the 7th Annual Senior Awareness Day on Friday, August 7, 2015, at the Richardson Civic Center from 9:00 a.m. – 12 p.m. sponsored by State Representative Angie Chen Button. *(Mr. Nichols comments were received following the Consent Agenda)*

PUBLIC HEARING ITEM:

- 5. PUBLIC HEARING, ZONING FILE 15-09, A REQUEST BY VICTOR CASTRO, REPRESENTING BTR DEVELOPERS, FOR A CHANGE IN ZONING FROM LR-M(2) LOCAL RETAIL WITH SPECIAL CONDITIONS TO LR-M(2) LOCAL RETAIL AND APPROVAL OF A SPECIAL PERMIT FOR A NEW MOTOR VEHICLE SERVICE STATION TO BE LOCATED AT 699 W. RENNER ROAD (SOUTHEAST CORNER OF RENNER ROAD AND CUSTER PARKWAY).**

Public Hearing

The applicant, Victor Castro and owner, Ray Khalil, addressed Council and answered questions regarding the location of ice machines, traffic circulation and signage, and the underground tanks. Mr. Castro stated that the ice machine would be located inside. He also explained that the traffic would not cause a traffic issue. Mr. Khalil explained that the underground tanks are 12-15 years old and are designed to last 30 years. With no public comments submitted, Mayor Pro Tem Solomon moved to close the Public Hearing. Councilmember Dunn seconded the motion. A vote was taken and passed, 7-0.

Council Action

Councilmember Dunn moved to approve the request as presented with the recommendations from the City Plan Commission and the additional requirement of working with city staff regarding adding a bicycle rack in the appropriate location.

6. CONSENT AGENDA:

- A. CONSIDER ADOPTION OF ORDINANCE NO. 4125, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A**

CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR AN AMUSEMENT ARCADE ON A 7.90-ACRE TRACT OF LAND ZONED LR-M(2) LOCAL RETAIL LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD, WEST OF YALE BOULEVARD, RICHARDSON, TEXAS.

B. CONSIDER AWARD OF THE FOLLOWING BIDS:

- 1. BID #78-15 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE ANNUAL REQUIREMENTS CONTRACT TO MEL’S ELECTRIC, L.P. FOR TRAFFIC SIGNAL INSTALLATION AND MODERNIZATION THROUGH THE CITY OF GARLAND BID #4488-14 PURSUANT TO UNIT PRICES.**
- 2. BID #79-15 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE ANNUAL REQUIREMENTS CONTRACT TO STAPLES ADVANTAGE FOR OFFICE SUPPLIES PURSUANT TO CONTRACT PRICES THROUGH THE NATIONAL JOINT POWERS ALLIANCE CONTRACT #010615-SCC IN AN ESTIMATED ANNUAL AMOUNT OF \$225,000.**
- 3. BID #80-15 – WE RECOMMEND THE AWARD TO COHERENT TECHNICAL SERVICES, INC. FOR THE SOLE SOURCE PROCUREMENT FOR THE REDESIGN & MAINTENANCE OF THE EISEMANN CENTER WEBSITE IN THE AMOUNT OF \$40,000.**

Council Action

Councilmember Townsend moved to approve the Consent Agenda as presented. Mayor Pro Tem Solomon seconded the motion. A vote was taken and passed, 7-0.

RECESS

Mayor Voelker called for a short recess at 8:45 and announced that Council would reconvene into Executive Session at 8:55 p.m.

EXECUTIVE SESSION

In compliance with Section 551.072 and Section 551.076 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Deliberation Regarding Real Property
 - Property Considerations in the U.S. 75/W. Arapaho Rd. Area
- Deliberation Regarding Security Devices or Security Audits
 - Briefing by Chief of Police Regarding Building Security and Protocol

Council Action

Council convened into Executive Session at 8:55 p.m.

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

Council Action

Council reconvened into Regular Session at 9:40 p.m. There was no action as a result of the Executive Session.

ADJOURNMENT

With no further business, the meeting was adjourned at 9:40 p.m.

MAYOR

ATTEST:

CITY SECRETARY



MEMO

DATE: July 30, 2015
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 15-16: Special Permit – ABC Beauty Academy

REQUEST

Kaler Nguyen of ABC Beauty Academy, is requesting approval of a special permit for a beauty training academy, 3,000-square feet in area, within an existing 6,200-square foot, single-story building located at 2109 Buckingham Road (north side of Buckingham Road, west of Jupiter Road). The subject property is zoned LR-M(2) Local Retail. The proposed use is not listed in the Comprehensive Zoning Ordinance; therefore, a Special Permit is required. ABC Beauty Academy is currently located 0.3 miles south of the proposed location in the City of Garland.

BACKGROUND

The academy's hours of operation would be 8 a.m. to 7 p.m., Monday through Saturday. Approximately thirty (30) students are accommodated in the training program, with about fifteen (15) in attendance per day, under the direction of three (3) instructors. In addition to the academy's primary function of providing training in the field of cosmetology (i.e., hair, nail and skin care), the academy provides services to the general public by students under the supervision of instructors as well as retail sales of beauty products. As proposed, 2,245 square feet of the lease space would be devoted to instructional space (i.e., classroom) and 755 square feet to non-instructional space, including office, restrooms, storage and a break room.

The subject property is separated from the adjacent Greenmeadow neighborhood to the west by a masonry screening wall six (6) feet in height. Primary access to the facility is on the building's east side, interior to adjoining Richwood Shopping Center. The building's west elevation is void of openings with the exception of code required exit doors. No exterior changes to the property are proposed.

There is no existing parking ration specified for the proposed use. Based on the operational aspects of the academy, a ratio of one (1) space per 100 square feet of instructional area and one (1) space per 250 square feet of non-instructional area should be adequate. At these ratios, a total of twenty-five (25) parking spaces would be required for the proposed use. Thirty-eight (38) parking spaces are provided on-site, which includes four (4) parking spaces for Papa John's (take-out restaurant), and five (5) for a vacant 1,680 square foot lease space, yielding a surplus of four (4) parking spaces for the property overall.

No correspondence has been received regarding the subject request.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by a vote of 7-0, recommends approval of the request as presented, subject to the attached special conditions.

ATTACHMENTS

Special Conditions
CC Public Hearing Notice
City Plan Commission Minutes 07-21-2015
Staff Report
Zoning Map
Aerial Map

Oblique Aerial Looking North
Richwood Shopping Center Site Plan
Zoning Exhibit (Exhibit "B")
Applicant's Statement
Notice of Public Hearing
Notification List

ZF 15-16 Special Conditions

1. A beauty training academy shall be allowed and limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof.
2. The parking ratios as shown on the attached concept plan, marked as Exhibit "B" shall apply to the beauty training academy.



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: July 16, 2015
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: July 17, 2015

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00 p.m. on Monday, August 3, 2015, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 15-16

A request by Kaler Nguyen, representing ABC Beauty Academy, for approval of a Special Permit for a beauty training academy to be located at 2109 E. Buckingham Road (north side of Buckingham Road, west of Jupiter Road). The property is currently zoned LR-M(2) Local Retail.

ZF 15-19

A request by Kirk M. Hermansen, representing Richardson RP Property LLC, for an amendment to Exhibit C – Sign Standards of Ordinance Number 4054, a major modification to the West Spring Valley Corridor PD adopted in June 2014, located on the west side of Central Expressway, south of James Drive. The property is currently zoned PD Planned Development (West Spring Valley Corridor PD).

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –July 21, 2015**

PUBLIC HEARING

Zoning File 15-16 – ABC Beauty Academy: Consider and take necessary action on a request for approval of a Special Permit for a beauty training academy to be located at 2109 E. Buckingham Road, north side of Buckingham Road, west of Jupiter Road.

Mr. Chavez advised the applicant was requesting a Special Permit for a 3,000 square foot beauty training academy to be located in an existing 6,200 square foot, single story building on the north side of Buckingham Road, west of Jupiter Road. He added that a beauty training academy was an unlisted use in the Comprehensive Zoning Ordinance (CZO), therefore, generating the need for a Special Permit.

Mr. Chavez concluded his presentation by stating the academy would operate from 8:00 a.m. to 7:00 p.m. Monday through Saturday; the property would be parked similar to a classroom at 1:100 for the instructional space and 1:200 for the non-instructional area; and the program would accommodate thirty (30) students with approximately fifteen (15) students in attendance per day.

Chairman Hand asked why other hair salons did not require a Special Permit.

Mr. Chavez replied that although the proposed use did offer hair styling products and services under supervised conditions, the main function of the business was a beauty academy which was not a listed use in the CZO.

Chairman Hand opened the public hearing.

With no questions or comments in favor or opposed, Chairman Hand closed the public hearing.

Motion: Vice Chair Bright made a motion to recommend approval as presented; second by Commissioner Maxwell. Motion approved 7-0.



Staff Report

TO: City Council

THROUGH: Michael Spicer, Director of Development Services *MS*

FROM: Sam Chavez, AICP, Assistant Director-Development Services *SC*

DATE: July 30, 2015

RE: **Zoning File 15-16:** Special Permit – ABC Beauty Academy

REQUEST:

Special Permit for a 3,000-square foot beauty training academy in an existing 6,203-square foot, single-story building located at 2109 Buckingham Road, on the north side of Buckingham Road, west of Jupiter Road. The use is an unlisted use in the Comprehensive Zoning Ordinance; therefore, a Special Permit is required.

APPLICANT / PROPERTY OWNER:

Kaler Nguyen - ABC Beauty Academy / Stephanie Rippe – Eqyinvest Owner I Ltd. L.L.P.

EXISTING DEVELOPMENT:

The site is developed with a 6,203-square foot, single-story building. With the exception of Papa John's, which occupies 1,320 square feet of the southern portion of the building, the balance of the building is unoccupied.

ADJACENT ROADWAYS:

Jupiter Road: Six-lane, divided arterial; 35,000 vehicles per day on all lanes, northbound and southbound, (November 2013).

Buckingham Road: Six-lane, divided arterial; 32,100 vehicles per day on all lanes, eastbound and westbound, (November 2013).

SURROUNDING LAND USE AND ZONING:

North: LR-M(2) Local Retail; Retail
South: City of Garland
East: LR-M(2) Local Retail; Retail
West: R-1100-M Residential; Residential

FUTURE LAND USE PLAN:

Neighborhood Services

The most prevalent land use classification in Richardson, and includes a variety of single-family housing types available for ownership, detached single-family homes and patio homes to duplexes and single-family attached homes (townhomes).

Future Land Uses of Surrounding Area:

North: Neighborhood Service
South: City of Garland
East: Neighborhood Service
West: Neighborhood Residential

EXISTING ZONING:

LR-M(2) Local Retail per Ordinance Number 731-A.

TRAFFIC/ INFRASTRUCTURE IMPACTS:

The request will not have any significant impacts on the surrounding roadway system or the existing utilities in the area.

APPLICANT'S STATEMENT

(Please refer to the complete Applicant's Statement.)

STAFF COMMENTS:

Background:

The subject property is located on the north side of Buckingham Road, approximately 600 feet west of Jupiter Road. The 6,203-square foot, free standing, single-story brick building was developed in 1988 and is partially occupied by Papa John's.

Request:

The applicant intends to occupy 3,000-square feet of the north end of the building to accommodate a beauty training academy. The proposed use is an unlisted use in the Comprehensive Zoning Ordinance; therefore, it can only be allowed through approval of a Special Permit. ABC Beauty Academy is currently located approximately 0.3 miles south from the proposed location in the City of Garland.

The academy's primary function is to provide training of individuals in the field of cosmetology, which includes hair, nail and skin care. In addition to its primary function, the academy provides services to the general public performed by students under the close supervision of instructors and ancillary retail sales of beauty products. As proposed, 2,245 square feet of the facility is devoted to instructional space (classroom) and 755 square feet is devoted to non-instructional space (office, restrooms, storage and break room).

The academy's hours of operation are from 8 a.m. to 7 p.m., Monday-Saturday. Approximately thirty (30) students can be accommodated in the program, with approximately fifteen (15) students in attendance per day. Students are under the direction of three (3) instructors, who also supervise students while performing services for the general public. On average, four (4) customers are provided services on a daily basis.

There is no specific parking ratio for the proposed use since it is not a listed use in the Comprehensive Zoning Ordinance; however, based on the operational area aspects of the academy, a parking ratio of one (1) space per 100 square feet of instructional area (classroom) and one (1) space per 250 square feet of non-instructional space appears to be appropriate. Based on the proposed ratios, a total of twenty-five (25) parking spaces will be required for the proposed use (22 spaces for the instructional area and 3 spaces for the balance of the subject lease space). The subject site (Lot 4) provides a total of thirty-eight (38) parking spaces, which includes four (4) parking spaces for Papa John's (take-out restaurant only), and five (5) parking spaces for a vacant 1,680 square foot lease space (both parked as retail: 1/333 square feet), thus leaving a surplus of four (4) parking spaces for the site.

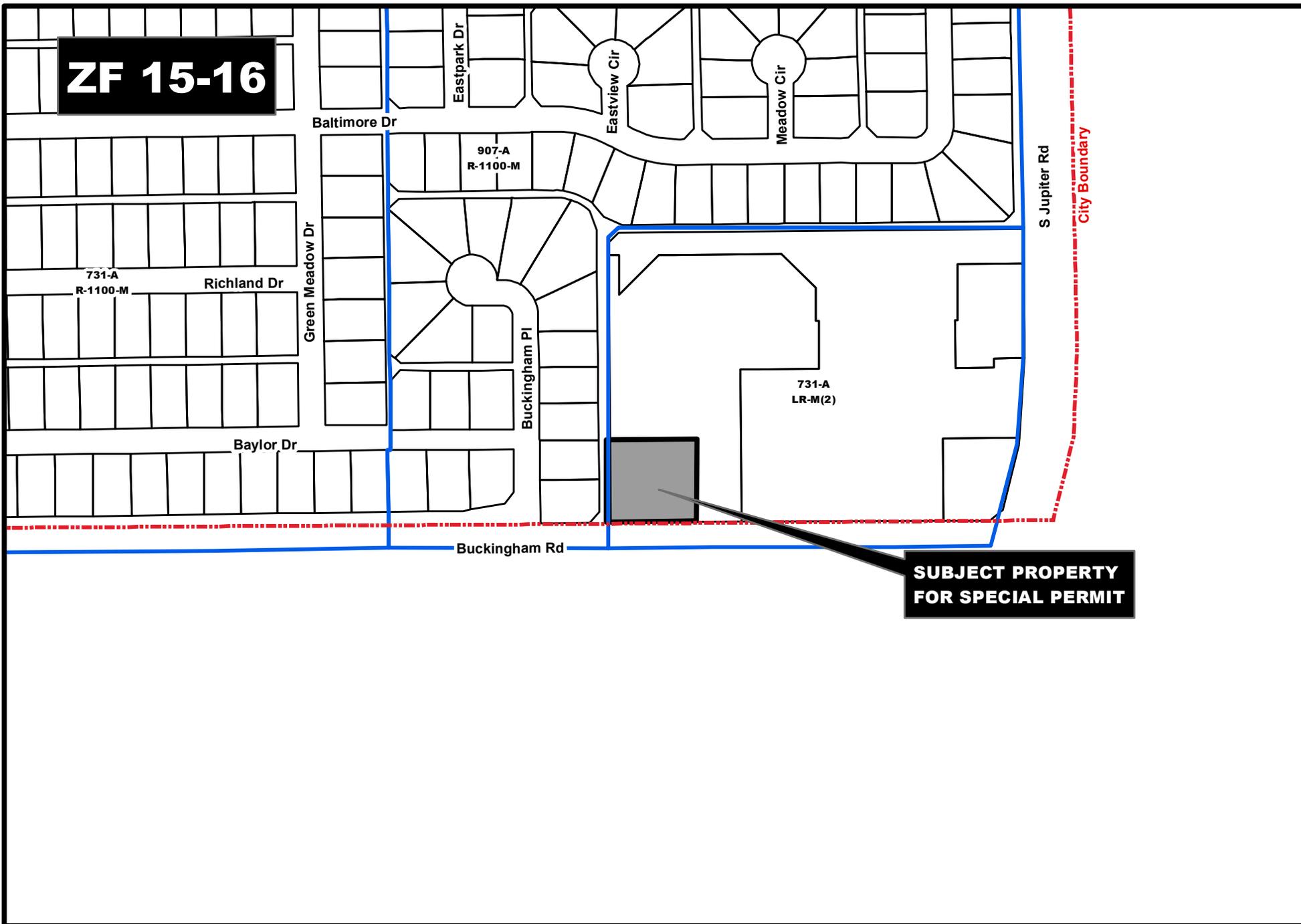
Although the Greenmeadow residential subdivision abuts the subject site to the west, the residential subdivision is buffered from the subject site by an existing six (6) foot high screening wall along the west property line. In addition, with the exception of code required exit doors, the subject building's west elevation is void of any openings and the structure is located a minimum of sixty-five (65) feet from the residential subdivision.

Coupled with the existing site elements described above, the academy's entrance is located on the east side of the building, interior to the adjoining shopping center (Richwood Shopping Center); therefore, the residential subdivision should not be further impacted by the academy.

Correspondence: As of this date, no correspondence has been received.

Motion: On July 21, 2015, the City Plan Commission recommended approval of the applicant's request as presented, subject to the following conditions:

1. A beauty training academy shall be allowed and limited to the area shown on the attached concept plan, marked as Exhibit "B" and made a part thereof.
2. The parking ratios as shown on the attached concept plan, marked as Exhibit "B" shall apply to the beauty training academy.



ZF 15-16

**SUBJECT PROPERTY
FOR SPECIAL PERMIT**

ZF 15-16 Zoning Map

Updated By: shacklett, Update Date: July 7, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1516\ZF1516 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 15-16 Aerial Map

Updated By: shacklett, Update Date: July 7, 2015
File: DSI\Mapping\Cases\Z\2015\ZF1516\ZF1516 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



Jupiter Road

Albertsons

Subject
Property

Buckingham Road

CITY OF GARLAND

Oblique Aerial
Looking North





UNAPPROVED - MEASUREMENTS OBTAINED FROM AERIAL PHOTOGRAPHS AND FIELD SURVEYS. INCLUDE PROPERTY, UTILITY

PROCESSED BY
STEPHANIE RIPPE

DRAWN: CCEC
DATE: 03/26/2012
CCEC # 12-102

REVISION



Vicinity Map 1"=1000'

EXISTING PARKING DATA:

| | | |
|--|-------------------------------|-------------------|
| LOT 1 | PROVIDED PARKING: | 282 SPACES |
| | PROVIDED HANDICAPPED PARKING: | 7 SPACES |
| LOT 2 | PROVIDED PARKING: | 33 SPACES |
| | PROVIDED HANDICAPPED PARKING: | 2 SPACES |
| LOT 3 | PROVIDED PARKING: | 215 SPACES |
| | PROVIDED HANDICAPPED PARKING: | 5 SPACES |
| LOT 4 | PROVIDED PARKING: | 37 SPACES |
| | PROVIDED HANDICAPPED PARKING: | 1 SPACE |
| LOT 4 Tenant Parking Requirements: | | |
| PAPA JOHN'S | 1,320 SF | 1:333 = 4 SPACES |
| VACANCY | 1,680 SF | 1:333 = 5 SPACES |
| ABC BEAUTY | | |
| ACADEMY (office) | 755 SF | 1:250 = 3 SPACES |
| (classroom) | 2,245 SF | 1:100 = 22 SPACES |
| Total Parking Required | | 34 SPACES |
| TOTAL PROVIDED PARKING: | | 568 SPACES |
| TOTAL PROVIDED HANDICAPPED PARKING: | | 15 SPACES |

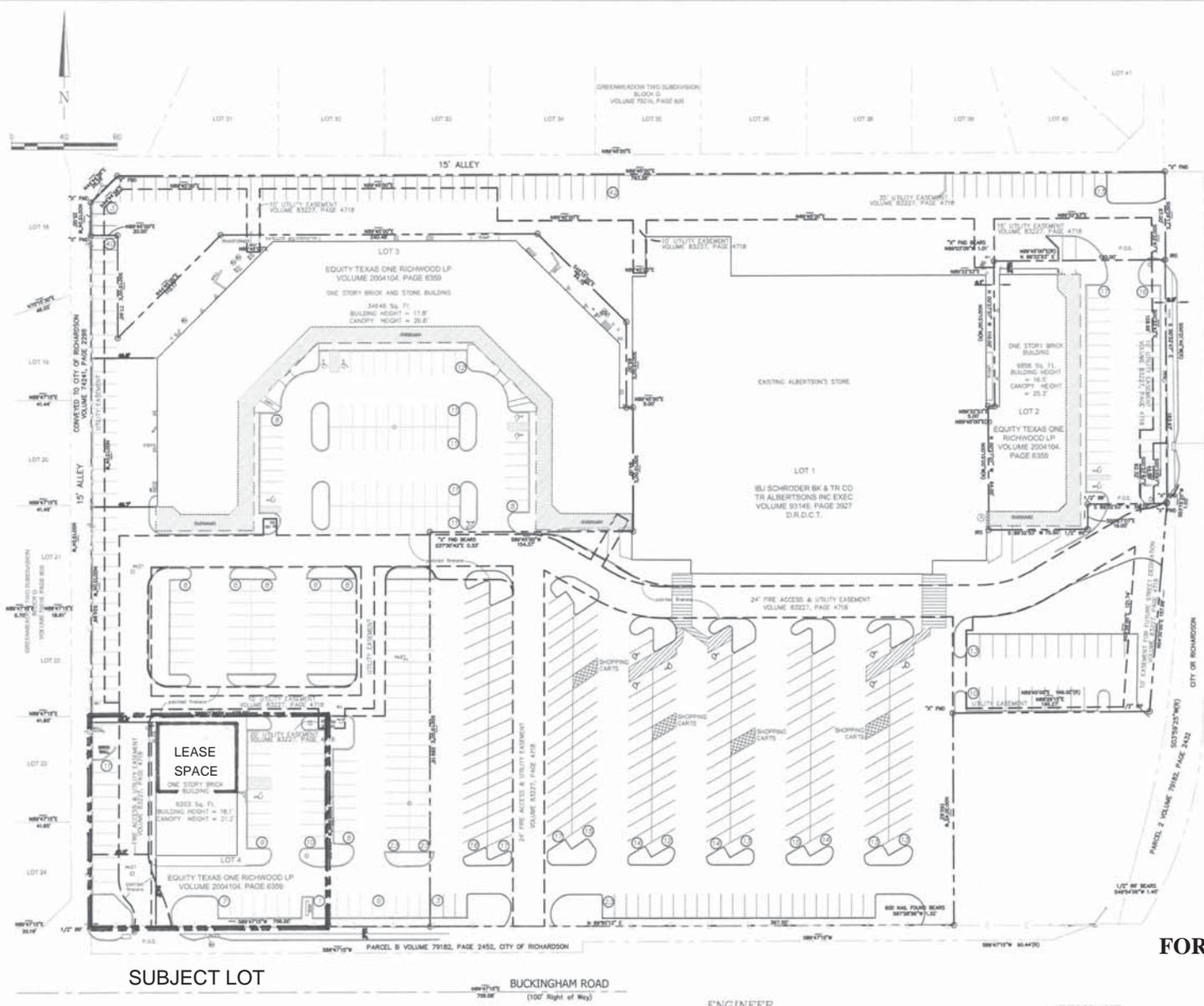
NOTES:

THE EXISTING IMPROVEMENTS AND PARKING LAYOUT DATA FOR LOTS 2-4, AS WELL AS THE BUILDING LOCATION ON LOT 1, HAS BEEN PROVIDED BY THE OWNER IN THE FORM OF AN ALTA/TITLE SURVEY PERFORMED BY STEPHAN A. HUDSON, R.P.L.S., DATED FEBRUARY 22, 2006.

THE APPROXIMATE EXISTING PARKING LOCATIONS AND DIMENSIONS FOR LOT 1 HAVE BEEN OBTAINED FROM A NCTCOG AERIAL MAP AND VISUALLY VERIFIED.

FOR LOCALATIONAL PURPOSES ONLY

PRELIMINARY PLANS
THIS DOCUMENT FOR INTERIM REVIEW ONLY AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
CLINT D. LANNEN, PE # 107845
DATE: 05/14/2012



SUBJECT LOT

ENGINEER
COMPASS CIVIL ENGINEERING
& CONSULTING, LP
4114 C.R. 177
ANNA, TEXAS 75409
CONTACT: CLINT D. LANNEN, P.E.
PHONE: 214-534-5803

APPLICANT
GLOBAL REALTY & MANAGEMENT TX, INC.
900 N. POLK STREET
DESO TO, TEXAS 75115
CONTACT: STEPHANIE RIPPE
PHONE: 817-478-9400



LOT 18
LOT 19
LOT 20
LOT 21
LOT 22
LOT 23
LOT 24

BUCKINGHAM ROAD
(100' Right of Way)

JUPITER ROAD
(100' Right of Way)

(Overlaps with Right of Way)

Explanation and Description of Request

This request is for a special use permit for a tenant finish-out of ABC Beauty Academy. The finish-out is 3,000 square feet at the old Blockbuster Video, which includes approximately 755 square feet office/other space and 2,245 square feet of classroom space. The Blockbuster has been vacant for approximately 7-8 years. There will be no exterior changes to the building. We are currently located at 1841 N. Jupiter Road, Garland, TX 75042, which is about 5 minutes/.3 miles away and we want to relocate the business to Richardson. The business will be for retail sales/personal use to the general public and training of cosmetology.

Total students in program: 30

Number of students per day: 15

Number of instructors per day: 3

Approximate number of clients per day: 4

Hours of operation is Monday-Saturday 8am-7pm, closed on Sunday and holidays.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

SPECIAL PERMIT

File No./Name: ZF 15-16 / ABC Beauty Academy
Property Owner: Stephanie Rippe, representing Eqyinvest Owner I Ltd., L.L.P.
Applicant: Kaler Nguyen / ABC Beauty Academy
Location: 2109 E. Buckingham Road (See map on reverse side)
Current Zoning: LR-M(2) Local Retail
Request: A request for approval of a Special Permit for a beauty training academy.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, JULY 21, 2015
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

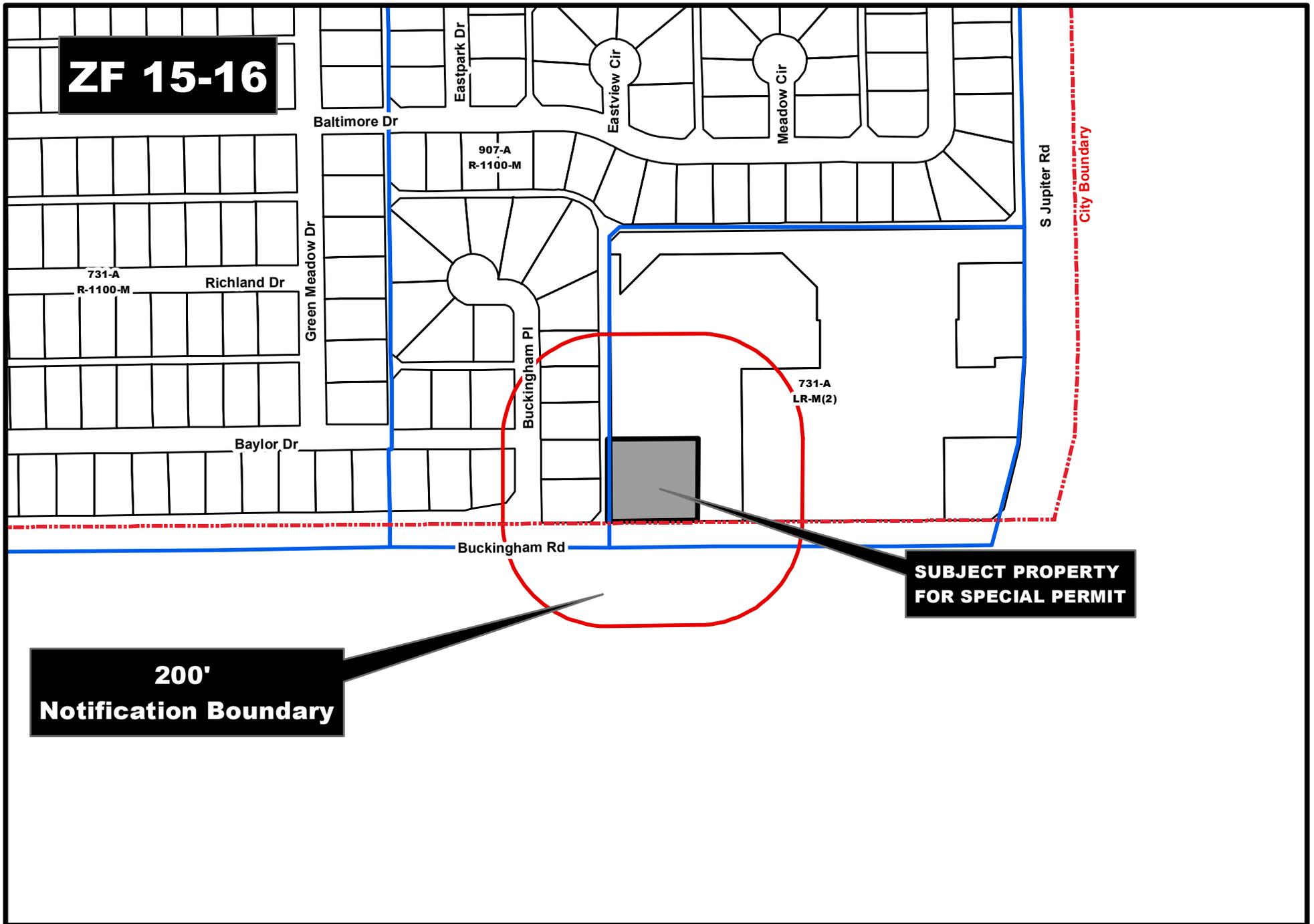
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 15-16.

Date Posted and Mailed: 07/10/2015



ZF 15-16 Notification Map

Updated By: shacklett, Update Date: July 7, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1516\ZF1516 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



BEGLEY MAUREEN
1309 BUCKINGHAM PL
RICHARDSON, TX 75081-5421

NEW GUY M
1311 BUCKINGHAM PL
RICHARDSON, TX 75081-5421

TOOLEY JANE J
1313 BUCKINGHAM PL
RICHARDSON, TX 75081-5421

PEARSON JOHN M
1923 BAYLOR DR
RICHARDSON, TX 75081-5475

BECERRA MARIA
1315 BUCKINGHAM PL
RICHARDSON, TX 75081-5421

TRAN PHUNG KIM
1317 BUCKINGHAM PL
RICHARDSON, TX 75081-5421

HALVERSON MICHAEL A
1922 BAYLOR DR
RICHARDSON, TX 75081-5412

ALBERTSONS INC
C/O SUPERVALU-PROPERTY TAX
PO BOX 990
MINNEAPOLIS, MN 55440-0990

EQYINVEST ONWER I LTD LLP
% GLOBAL REALTY & MGMT LTD
4125 NW 88TH AVE
SUNRISE, FL 33351-6005

**KALER NGUYEN
ABC BEAUTY ACADEMY
1917 RICE DRIVE
GARLAND, TEXAS 75042**

**STEPHANIE RIPPE
EQYINVEST OWNER I, LTD. LLP.
900 N POLK, STE 164
DESOTO, TEXAS 75115**

**ZF 15-16
Notification List**



MEMO

DATE: July 30, 2015
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 15-19: Restaurant Park, Exhibit “C” Sign Standards

REQUEST

Kirk Hermansen, Richardson RP Property, LLC, requests approval of an amendment to Exhibit “C,” the Sign Standards, of Ordinance No. 4054, which approved a Major Modification to the West Spring Valley Corridor PD Planned Development in 2014. The request is to amend the sign graphics illustrated in Exhibits C.1 and C.2 *exclusively*. These exhibits represent the three (3) free-standing signs that comprise the development’s primary identification. The 5.1 acre subject property is located on the west side of Central Expressway south of James Drive.

BACKGROUND

Exhibit “C”, the Sign Standards, includes regulatory text and sign graphics identified as Exhibit C.1 through Exhibit C.3. **No changes are proposed to the regulatory text or to Exhibit C.3 (Screen Panel)**

Exhibit C-1 Revised, labeled as “Entry Sign,” (also referenced as A/B) includes two signs to be located along Central Expressway at the north and south ends of the property. Exhibit C-2 Revised, labeled as “Minor Tenant Directional Sign,” (also referenced as C) will be located at the site entrance on James Drive. As proposed, the two Entry Signs and the Minor Tenant Directional Sign include garapa wood material (see attached Garapa Deck Specifications) on aluminum frames in place of concrete pylons as originally approved under Ordinance No. 4054, and the upper components of the Entry Signs now comprise four (4), internally illuminated aluminum sign “blocks” instead of a single monolithic columnar structure.

The request represents the applicant’s desire to create a unique, identifiable restaurant development through the use of re-designed signage. The proposed signs would be compatible with the restaurant buildings as they make use of the same cladding materials (see Attachments 3a-3d – Building Elevations) and conform to the regulatory text in Exhibit C, the Sign Standards.

No written correspondence has been received regarding this request. Two persons spoke in favor of the request at the July 21, 2015 City Plan Commission public hearing.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by unanimous vote, recommends approval of the request as presented.

ATTACHMENTS

| | |
|---|--|
| Special Conditions | Revised Sign Graphics (Exhibits C-1 and C-2) |
| CC Public Hearing Notice | Attachment 4, Sign Graphic Composite (C.1 and C-1) |
| City Plan Commission Minutes 07-21-2015 | Attachment 5, Sign Graphic Composite (C.2 and C-2) |
| Staff Report | Garapa Deck Specifications |
| Zoning Map | Applicant’s Statement |
| Aerial Map | Notice of Public Hearing |
| Oblique Aerial Looking North | Notification List |
| Attachments 1-Approved Site Plan, 2-Landscape Plan, and 3a-3d- Bldg Elevations | Ordinance Number 4054 |
| Current Sign Graphics (Exhibits C.1 and C.2) | |

ZF 15-19 Special Conditions

- 1.** The Sign Standards attached hereto as Exhibit “C” of Ordinance Number 4054 shall be amended by replacing Exhibits C.1 and C.2, with Exhibits C-1 Revised and C-2 Revised.



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: July 16, 2015
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: July 17, 2015

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:00 p.m. on Monday, August 3, 2015, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 15-16

A request by Kaler Nguyen, representing ABC Beauty Academy, for approval of a Special Permit for a beauty training academy to be located at 2109 E. Buckingham Road (north side of Buckingham Road, west of Jupiter Road). The property is currently zoned LR-M(2) Local Retail.

ZF 15-19

A request by Kirk M. Hermansen, representing Richardson RP Property LLC, for an amendment to Exhibit C – Sign Standards of Ordinance Number 4054, a major modification to the West Spring Valley Corridor PD adopted in June 2014, located on the west side of Central Expressway, south of James Drive. The property is currently zoned PD Planned Development (West Spring Valley Corridor PD).

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES – July 21, 2015**

PUBLIC HEARING

Zoning File 15-19 – West Spring Valley Corridor PD: Consider and take necessary action on a request for an amendment to Exhibit C, Sign Standards, of Ordinance 4054, a major modification of the West Spring Valley Corridor PD. The property is located on the west side of Central Expressway south of James Drive and zoned PD Planned Development.

Mr. Chavez stated the City Council had asked the applicant to come up with unique signs for the site and in doing so the applicant came back with a design that had a change in the materials and staff felt it would be prudent to bring the request back before the Commission and City Council.

Mr. Chavez stated the only change being proposed was to amend Exhibits C.1 and C.2, sign graphics, of Exhibit “C” for the West Spring Valley Corridor PD and replace those with Exhibits C-1 and C-2; the regulatory language would remain the same. He explained the proposed sign would still be a monolithic structure, but the material used to wrap the bottom would be Garapa wood, and the top portion would consist of a series of cubes rotated fifteen degrees (15°) off their axis.

Commissioner DePuy asked to confirm how the sign and the base would be lit.

Mr. Chavez replied the cubes would have acrylic sign panels that would be internally lit. He added that he was not sure if the base would be lit and the applicant could probably answer that question.

No other questions were asked of staff and Chairman Hand opened the public hearing.

Mr. Kirk Hermansen, 5944 Luther Lane, Suite 725, Dallas, Texas, stated his intention when proposing the two monolithic signs with multiple panels was to reduce the sign clutter prevalent along Central Expressway by having the tenant names in just two places. He emphasized there would be no changes to the regulatory section of the ordinance and the only changes being proposed to the original design were the type of materials on both 40-foot entrance signs and the 10-foot directional sign at James Drive.

Commissioner Frederick asked if the name of the restaurants would be listed on all four sides of the entrance signs.

Mr. Hermansen replied the panels with the graphics and the tenant’s names would only be on three sides of the entrance signs leaving the fourth sides facing the residential area blank to prevent any bleed over from the illumination.

Commissioner Springs asked if the applicant had considered any other materials besides the Garapa wood that is harvested from the rain forest in the Amazon.

Mr. Hermansen said they considered both brick and concrete, but they came back to the current materials because it would highlight and compliment the designs of the buildings.

Mr. David Knepper, 101 Shadywood Lane, Richardson, Texas, asked if the Garapa wood would fade over time.

Mr. Hermansen replied the Garapa wood had been used in some of their other projects and would be treated with a marine grade sealant every three to five years.

Mr. Richard Dotson, 733 Nottingham, Richardson, Texas, thanked the staff for bringing the proposed changes before the Commission and for the blank sign panels facing the adjacent residential area.

No other comments or questions were received in favor or opposed and Chairman Hand closed the public hearing.

Motion: Commissioner Roland made a motion to recommend approval as presented; second by Commissioner DePuy. Motion approved 7-0.



Staff Report

TO: City Council
THROUGH: Michael Spicer, Director of Development Services *MS*
FROM: Sam Chavez, Assistant Director of Development Services *SC*
DATE: July 30, 2015
RE: **Zoning File 15-19:** Restaurant Park, Exhibit “C” Sign Standards

REQUEST:

Amend Exhibit “C” (Sign Standards) of Ordinance Number 4054, a major modification of the West Spring Valley Corridor PD Planned Development (WSVC-PD) for the development of multiple restaurant pad sites, with regard to the proposed sign graphics (C.1 and C.2) only. The 5.1 acre tract of land is located at the northwest intersection of Floyd Road and Central Expressway.

APPLICANT / PROPERTY OWNERS:

Kirk Hermansen, Richardson RP Property, LLC

EXISTING DEVELOPMENT:

The majority of the property is the location of the demolished Continental Inn Hotel. The remainder of the 5.1 acres is developed with small retail/office/automotive related buildings, with the exception of the former Taco Republic which has been demolished.

ADJACENT ROADWAYS:

US-75: Freeway/Turnpike; 269,000 vehicles per day on all lanes, northbound and southbound, south of Campbell Road (2014).

Floyd Road: Four-lane, undivided minor collector; 2,600 vehicles per day on all lanes, northbound and southbound, between James Drive and the US-75 frontage road (April 2014).

James Drive: Two-lane, local street; no traffic counts available.

SURROUNDING LAND USE AND ZONING:

North: Retail/Commercial; PD Planned Development
South: Retail/Commercial; PD Planned Development
East: Retail/Commercial; C-M Commercial
West: Public/Institutional/School & Single Family; R-1100-M Residential

FUTURE LAND USE PLAN:

The site is located in the West Spring Valley Corridor PD, which was approved in June 2011. The District was adopted as part of the West Spring Valley Corridor Reinvestment Strategy and established a pedestrian-oriented district with an infrastructure of streets and buildings that are flexible in terms of use to attract ongoing reinvestment.

Future Land Uses of Surrounding Area:

North: Enhancement/Redevelopment

South: Enhancement/Redevelopment

East: Enhancement/Redevelopment

West: Neighborhood Residential

EXISTING ZONING:

PD Planned Development per the West Spring Valley Corridor PD, with a major modification per Ordinance Number 4054.

TRAFFIC / INFRASTRUCTURE IMPACTS:

The request will not have any significant impacts on the surrounding roadway system or the existing utilities in the area.

STAFF COMMENTS:

Background:

- November of 2010, City Council approves the West Spring Valley Corridor Reinvestment Strategy.
- May of 2011, City Council adopts Ordinance Number 3818, the West Spring Valley Corridor Planned Development District (WSVC-PD) rezoning approximately 197 acres of land generally located between Coit Road and US-75, on the north side of W. Spring Valley Road. The WSVC-PD created a form based code that allowed for dense, mixed-use, pedestrian-oriented development.
- June of 2014, City Council adopts Ordinance Number 4054, a major modification of the WSVC-PD standards for the subject site as provided for in the WSVC-PD for development plans that do not conform with the adopted development standards for the specific area (see attached Exhibit "B" of Ordinance Number 4054).
- September of 2014, Site plan, landscape plan and building elevations for two (2) of the four (4) structures approved by staff (See Attachments 1, 2 and 3a-3d). Plat pending review and approval by the Commission, tentatively scheduled for August 18, 2015.
- May of 2015, demolition permits issued for the existing buildings along Floyd Road. Demolition is currently underway.

Applicant's Request

The applicant's request is to *only amend* Exhibits C.1 and C.2 (the sign graphics) attached to Exhibit "C" (Sign Standards) of Ordinance Number 4054. Exhibit "C", the Sign Standards is comprised of the following:

- *Regulatory language* which in summary addresses prohibited sign types, multiple-use monument sign types allowed, attached sign types allowed and screening wall direction sign types and their standards (setbacks, maximum heights, sign area and locations). **No changes are proposed to the regulatory language with the applicant's request.**
- *Sign graphics* (Exhibits C.1 thru C.3). **No change is proposed to Exhibit C.3 (Screen Panel) with the applicant's request.**

Sign A/B (Exhibit C-1 Revised) will be located along Central Expressway at the north and south ends of the property and Sign C (Exhibit C-2 Revised) will be located along James Drive. All locations conform to those depicted on the approved Zoning Concept Plan (Exhibit "B" of Ordinance Number 4054) and the approved Site Plan (Attachment 1) and Landscape Plan (Attachment 2a).

As proposed, Signs A/B (Exhibit C-1 Revised) and Sign C (Exhibit C-2 Revised) reflect:

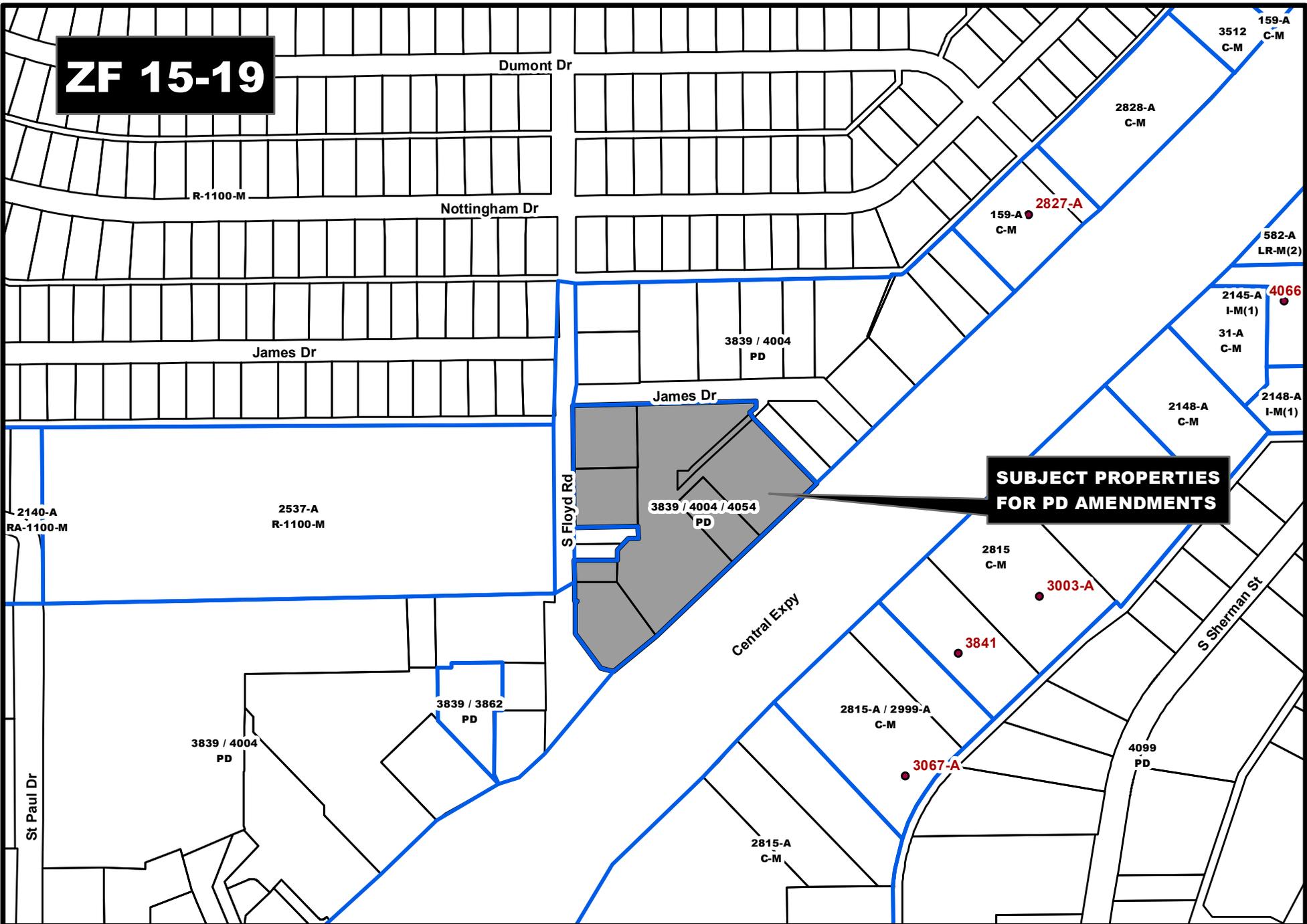
- Garapa wood material (see Garapa Deck Specs.) on aluminum frames as opposed to concrete pylons as previously indicated on Exhibits C.1 and C.2 of Ordinance Number 4054, and
- The upper portions of Signs A/B (Exhibit C-1 Revised) reflect four (4), internally lit, 15° turned stacked metallic silver fabricated sign blocks as opposed to one (1) monolithic columnar structure.
- As depicted, the proposed signs conform with the regulatory language of Exhibit C, the Sign Standards

The subject request represents the applicant's desire to create a unique and identifiable restaurant development through the use of re-designed signage. As proposed, the redesigned sign structures are compatible with the proposed accent building materials (see Attachments 3a-3d – Building Elevations).

Correspondence: As of this date, no written correspondence has been received.

Motion: On July 21, 2015, the City Plan Commission recommended approval of the applicant's request as presented, subject to the following condition:

1. The Sign Standards attached hereto as Exhibit "C" of Ordinance Number 4054 shall be amended by replacing Exhibits C.1 and C.2, with Exhibits C-1 and C-2.



ZF 15-19

SUBJECT PROPERTIES FOR PD AMENDMENTS

ZF 15-19 Zoning Map

Updated By: shacklett, Update Date: July 7, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1519\ZF1519 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



ZF 15-19

Dumont Dr

Nottingham Dr

James Dr

James Dr

S Floyd Rd

Central Expy

S Sherman St

**SUBJECT PROPERTIES
FOR PD AMENDMENTS**

St. Paul Dr

ZF 15-19 Aerial Map

Updated By: shacklett, Update Date: July 7, 2015
File: DS\Mapping\Cases\Z\2015\ZF1519\ZF1519 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



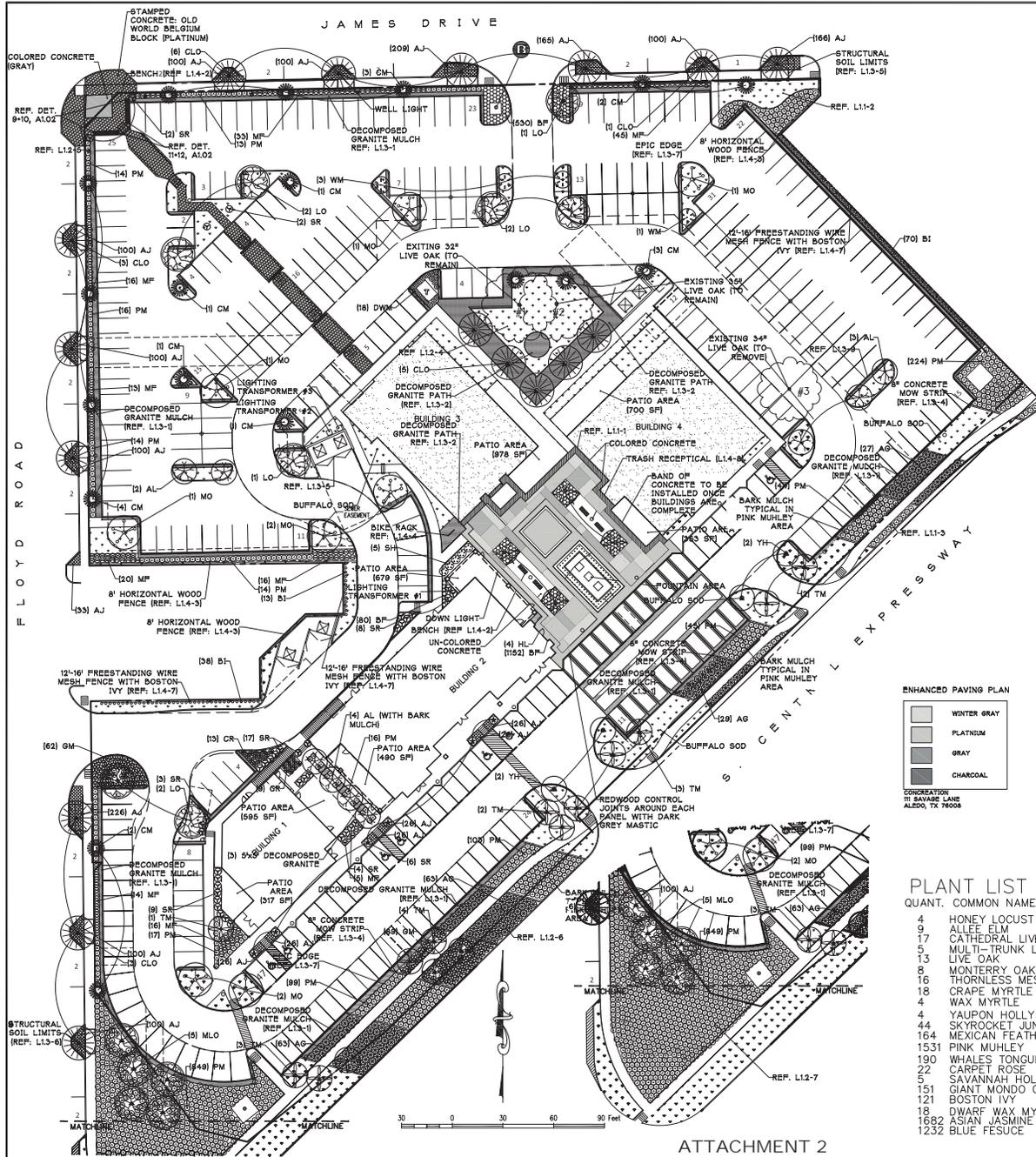
James Drive

Floyd Road

Subject
Property

Central Expressway

Oblique Aerial
Looking North



LANDSCAPE COMPLIANCE CHART
CITY OF RICHARDSON

Minimum landscape area shall be 10% of gross land area. Of the required minimum landscape area, 20% shall be provided internal to parking areas (landscape islands, etc.). Minimum landscape calculations shall include decorative hardscape areas. Provide area calculation and percentage in Table. REQUIRED: 10% of 221,192 = 22,120 sf

PROVIDED: 46,450 sf = 21%

Interior landscape area required: 9,290 sf (20% of landscape area provided)
Interior landscape area provided: 30,283 SQ FT 65%

Minimum 18" wide strip (paved or decomposed granite) adjacent to the parking stall.
REQUIRED: 18" strip along parking stalls

PROVIDED: 18" decomposed granite strip on all parking stalls

TREE CHART

- #1 - 32" LIVE OAK TO REMAIN
- #2 - 35" LIVE OAK TO REMAIN
- #3 - 34" LIVE OAK TO REMOVE

LIGHT SCHEDULE

| | DE LED Down Light | KG LED Well Light |
|---------------------------------|-------------------|-------------------|
| Number of LEDs | 9 | 9 |
| Holagen Lumen Output Equivalent | 50 Watt | 50 Watt |
| Useful LED Life | 50,000 hrs avg | 50,000 hrs avg |
| Input Voltage | 10 to 15V | 10 to 15V |
| Va total | 13.5 | 13.5 |
| Watts Used | 12.2 | 12 |
| Lumens per Watt | 31.2 | 22.9 |
| Max Lumens | 328 | 264 |
| CRI | 79.4 | 66.2 |

FX Luminaire
John George
972-533-5242
john.george@hunterindustrial.com

TRANSFORMER
PX-300 WITH PC,
STAINLESS STEEL

ENHANCED PAVING PLAN

- WINTER GRAY
- PLATINUM
- GRAY
- CHARCOAL

CONCRETE TO BE INSTALLED ONCE BUILDINGS ARE COMPLETE

PLANT LEGEND

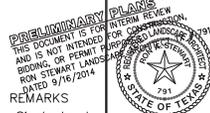
- (LO) CATHEDRAL LIVE OAK
Quercus virginiana
- (AL) ALLEE ELM
- (MLO) MULTI-TRUNK LIVE OAK
(LO) LIVE OAK
Quercus virginiana
- (MO) MONTERREY OAK
Quercus polymorpha
- (TM) MAVERICK THORNLESS MESQUITE
Prosopis glandulosa 'Maverick' R
- (YH) YAUPON HOLLY
Ilex vomitoria
- (HL) HONEY LOCUST SUNBURST
Gleditsia triacanthos var. inermis 'Sunco'
- (CJ) SKYROCKET JUNIPER
Cupressus sempervirens 'Monash'
- (CM) CRAPEMYRTLE
Myrica cerifera
- (WM) WAX MYRTLE
Myrica cerifera
- (DWM) DWARF WAX MYRTLE
- (LBG) LITTLE BUNNY GRASS
- (CR) CRAPET ROSE
Rosa x 'Noore'
- (B) BOSTON IVY
Parthenocissus tricuspidata
- (MF) MEXICAN FEATHER GRASS
Stipa tenuissima
- (PM) PINK MULEY
Muhlenbergia capillaris 'Regal Mist' ®
- (GM) GIANT MONDO GRASS
Liriope japonica
- (AG) WAHLES TONGUE AGAVE
Agave ovatifolia
- (SH) SAVANNAH HOLLY
Ilex x attenuata 'Savannah'

- DECOMPOSED GRANITE
- (A) ASIAN JASMINE
Trachelospermum asiaticum
- BUFFALO SOD
- BLUE FESCUE
- ENHANCED PAVING
- TEMPORARY GRASS RESTORATION WITH IRRIGATION

City of Richardson
Development Plan Approved subject to Building Code and other City Regulations.
Approved by: Samuel D. Chavez
City Manager or Designee
Date: September 24, 2014

PLANT LIST

| QUANT. | COMMON NAME | BOTANICAL NAME | SIZE | MIN. HT. | SPACE | REMARKS |
|--------|-----------------------|---|----------|----------|------------|--------------|
| 4 | HONEY LOCUST | <i>Gleditsia triacanthos var. inermis 'Sunco'</i> | 10" cal. | 30'-35' | per plan | Single trunk |
| 9 | ALLEE ELM | <i>Ulmus parvifolia</i> | 3" cal. | 10'-12' | per plan | Single trunk |
| 17 | CATHEDRAL LIVE OAK | <i>Quercus virginiana 'CATHEDRAL'</i> | 3" cal. | 10'-12' | per plan | Single trunk |
| 5 | MULTI-TRUNK LIVE OAK | <i>Quercus virginiana</i> | 3" cal. | 10'-12' | per plan | Multi trunk |
| 13 | LIVE OAK | <i>Quercus virginiana</i> | 3" cal. | 10'-12' | per plan | Single trunk |
| 8 | MONTERREY OAK | <i>Quercus polymorpha</i> | 3" cal. | 10'-12' | per plan | Single trunk |
| 16 | THORNLESS MESQUITE | <i>Prosopis glandulosa 'Maverick' ®</i> | 30 gal. | 7'-8' | per plan | Multi trunk |
| 18 | CRAPE MYRTLE | <i>Lagerstroemia indica</i> | 30 gal. | 7'-8' | per plan | Multi trunk |
| 4 | WAX MYRTLE | <i>Myrica cerifera</i> | 30 gal. | 7'-8' | per plan | Multi trunk |
| 44 | SKYROCKET JUNIPER | <i>Juniperus scopulorum 'Skyrocket'</i> | 30 gal. | 7'-8' | per plan | Multi trunk |
| 164 | MEXICAN FEATHER GRASS | <i>Stipa tenuissima</i> | 30 gal. | 7'-8' | per plan | Multi trunk |
| 1531 | PINK MULEY | <i>Muhlenbergia capillaris 'Regal Mist' ®</i> | 3 gal. | 18" | 2'-6" o.c. | Full |
| 190 | WAHLES TONGUE AGAVE | <i>Agave ovatifolia</i> | 3 gal. | 18" | 2'-6" o.c. | Full |
| 22 | CRAPET ROSE | <i>Rosa x 'Noore'</i> | 3 gal. | 18" | 2'-6" o.c. | Full |
| 5 | SAVANNAH HOLLY | <i>Ilex x attenuata 'Savannah'</i> | 3 gal. | 18" | 2'-6" o.c. | Full |
| 151 | GIANT MONDO GRASS | <i>Liriope japonica</i> | 3 gal. | 18" | 2'-6" o.c. | Full |
| 121 | BOSTON IVY | <i>Parthenocissus tricuspidata</i> | 1 gal. | 18" | 2'-6" o.c. | Full |
| 18 | DWARF WAX MYRTLE | <i>Myrica cerifera car. pumila</i> | 3 gal. | 18" | 24" o.c. | Full |
| 1682 | ASIAN JASMINE | <i>Trachelospermum asiaticum</i> | 4" pot | 6" | 6" o.c. | Full |
| 1232 | BLUE FESCUE | <i>Festuca glauca</i> | 4" pot | 9" | 9" o.c. | Full |



ENVIRONS GROUP
LANDSCAPE ARCHITECTURE
a division of G.A. & Associates, L.L.C.
1111 Hibernia Drive • Lubbock, TX 79409 • P: 806.466.0719

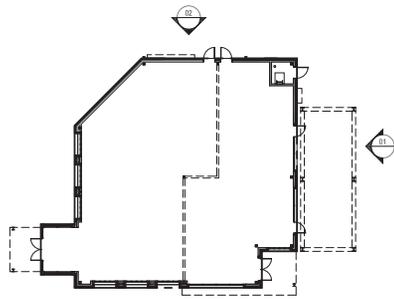
RICHARDSON RESTAURANT PARK
5022 Acres
in the
LAVINA MCCOMMAS SURVEY, ABSTRACT NO. 927
CITY OF RICHARDSON
DALLAS COUNTY, TEXAS

LANDSCAPE PLAN

Drawn By: RLS
Date: 7/12/14
Scale: 1" = 30'
Revisions:

12016

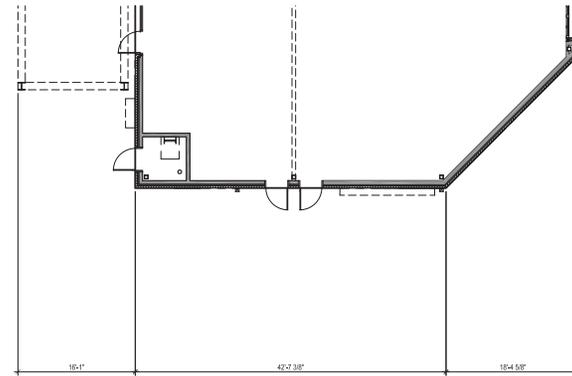
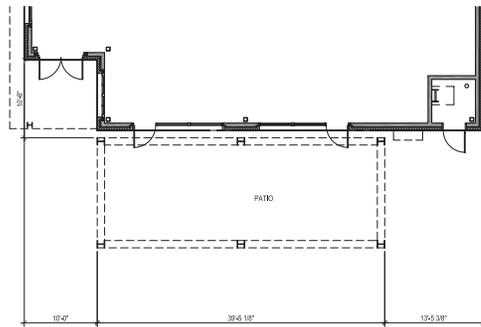
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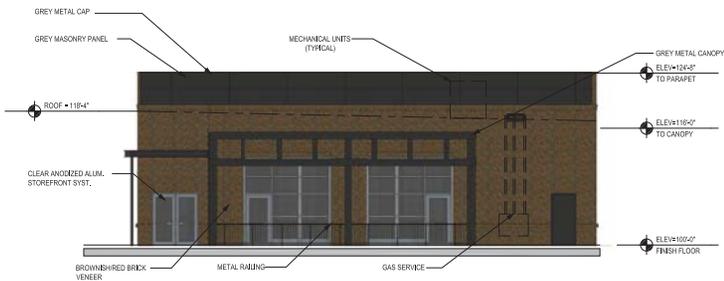
➔ **BUILDING FOOTPRINT**
1/16" = 1'-0"

| BUILDING 1 | | |
|--|-------------------------|--------------------------|
| | North | West |
| Total Facade S.F. | 1,551 S.F. | 1,648 S.F. |
| Doors & Windows S.F. | 366 S.F. | 216 S.F. |
| Facade S.F. (exclusive of doors/windows) | 1,185 S.F. | 1,432 S.F. |
| Masonry totals (Min 75%) | 1,185 S.F. (77%) | 1,432 S.F. (100%) |
| Brick s.f. (as applicable) | 914 S.F. (77%) | 1,392 S.F. (97%) |
| EPS s.f. (as applicable) | — | 40 S.F. (3%) |
| Other Material Totals (Max 25%) | 271 S.F. (23%) | — |
| Masonry Panel System | 271 S.F. (23%) | — |

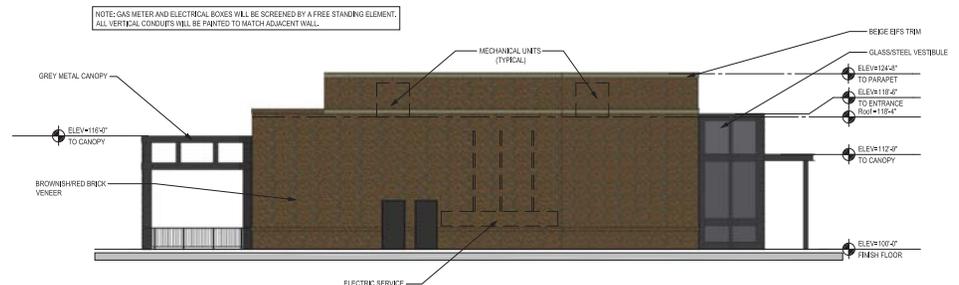
NOTE:
THE BUILDING FACADE CALCULATIONS INCLUDE EVERYTHING SHOWN ON SAID RENDERED ELEVATIONS BELOW.



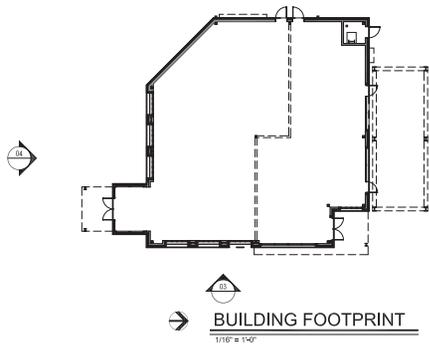
City of Richardson
Development Plan Approved subject to Building Code and other City Regulations.
Approved By: Samuel D. Chavez
City Manager or Designee
Date: October 1, 2014



01 NORTH ELEVATION
1/8" = 1'-0"

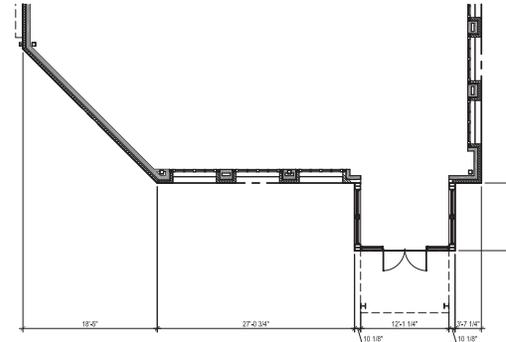
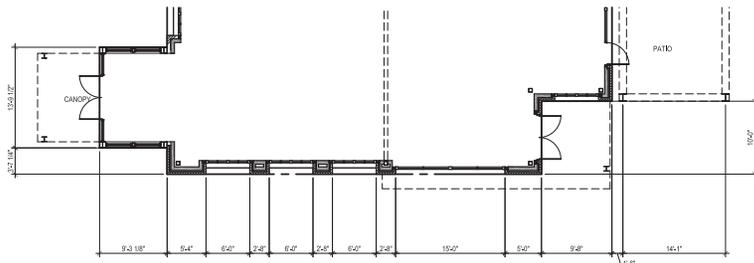


02 WEST ELEVATION
1/8" = 1'-0"



| BUILDING 1 | | |
|--|--------------------------|-------------------------|
| | South | East |
| Total Facade S.F. | 1,551 S.F. | 1,648 S.F. |
| Doors & Windows S.F. | 429 S.F. | 577 S.F. |
| Facade S.F. (exclusive of doors/windows) | 1,122 S.F. | 1,071 S.F. |
| Masonry totals (Min 75%) | 1,122 S.F. (100%) | 1,071 S.F. (92%) |
| Brick s.f. (as applicable) | 1,079 S.F. (96%) | 945 S.F. (88%) |
| EIFS s.f. (as applicable) | 43 S.F. (4%) | 42 S.F. (4%) |
| Other Material totals (Max 25%) | | 84 S.F. (8%) |
| Masonry Panel system | — | 84 S.F. (8%) |

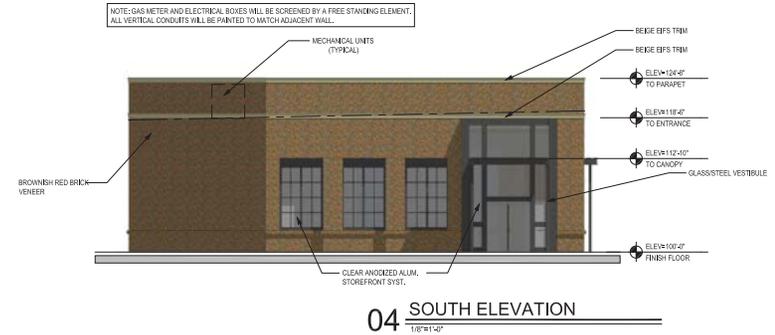
NOTE:
THE BUILDING FACADE CALCULATIONS INCLUDE EVERYTHING SHOWN ON SAID RENDERED ELEVATIONS BELOW.



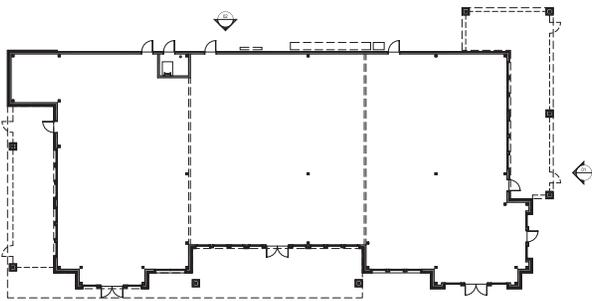
City of Richardson
Development Plan Approved subject to Building Code and other City Regulations.
Approved By: Samuel D. Chavez
City Manager or Designee
Date: October 1, 2014



03 EAST ELEVATION
1/8\"/>



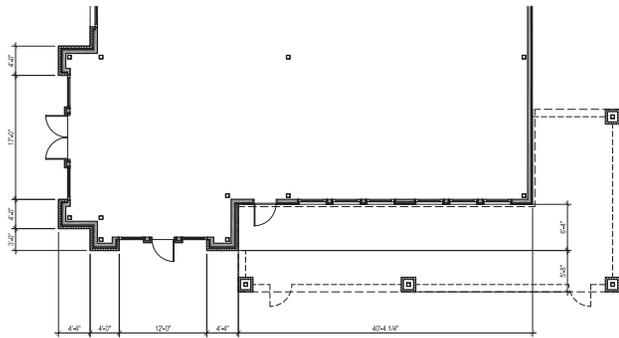
04 SOUTH ELEVATION
1/8\"/>



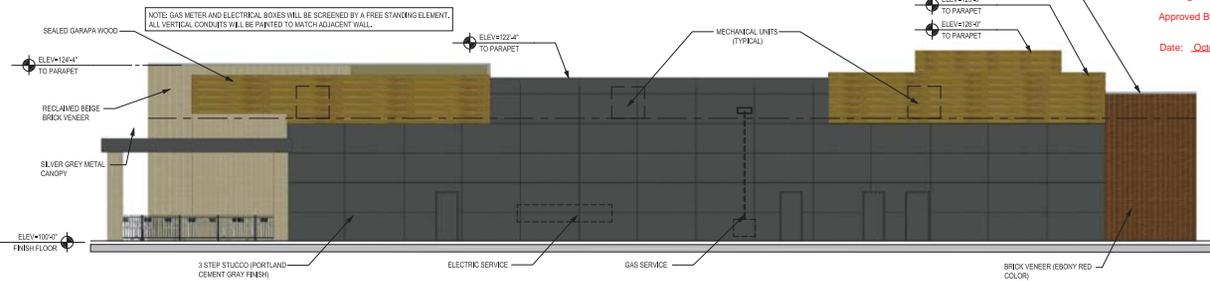
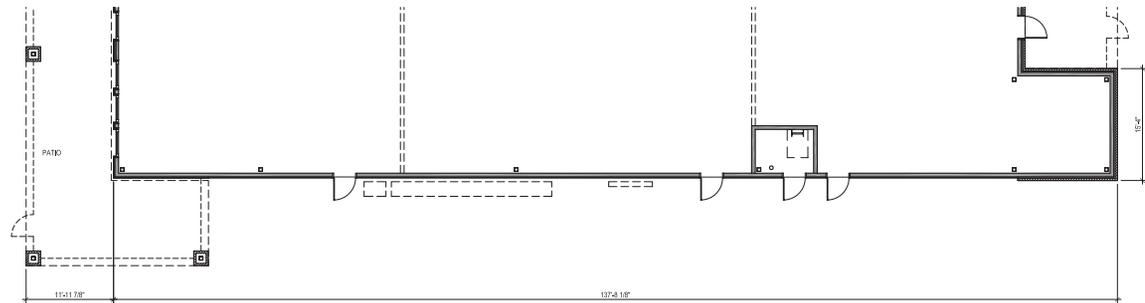
BUILDING FOOTPRINT
1/16" = 1'-0"

| BUILDING 2 | | |
|--|-------------------------|-----------------------|
| | West | North |
| Total Facade S.F. | 3,291 S.F. | 1,655 S.F. |
| Doors & Windows S.F. | 146 S.F. | 636 S.F. |
| Facade S.F. (exclusive of doors/windows) | 3,145 S.F. | 1,019 S.F. |
| Masonry totals (Min 75%) | 2,614 S.F. (83%) | 790 S.F. (78%) |
| Brick s.f. (as applicable) | 622 S.F. (20%) | 790 S.F. (78%) |
| Stucco | 1992 S.F. (63%) | |
| Other Material Totals (Max 25%) | 531 S.F. (17%) | 417 S.F. (42%) |
| Sealed Garapa Wood s.f. | 531 S.F. (17%) | 229 S.F. (22%) |

NOTE:
THE BUILDING FACADE CALCULATIONS INCLUDE EVERYTHING SHOWN ON SAID RENDERED ELEVATIONS BELOW.

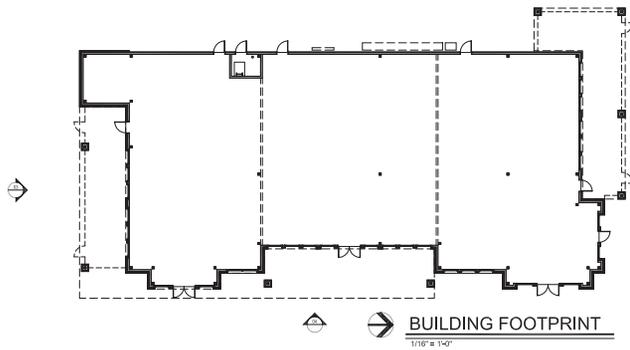


01 NORTH ELEVATION
1/8" = 1'-0"



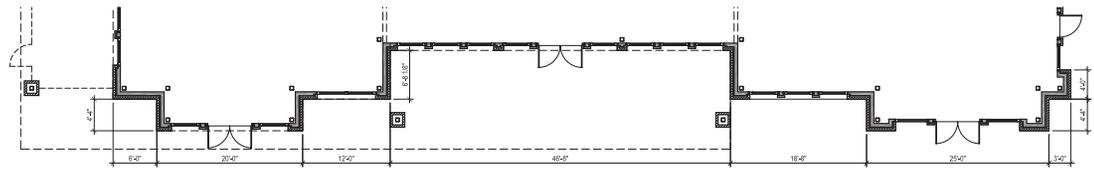
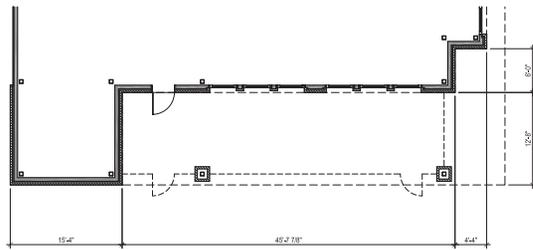
02 WEST ELEVATION
1/8" = 1'-0"

City of Richardson
Development Plan Approved subject to Building Code and other City Regulations.
Approved By: Samuel D. Chavez
City Manager or Designee
Date: October 1, 2014



| BUILDING 2 | | |
|--|----------------|------------------|
| | South | East |
| Total Facade S.F. | 1,598 S.F. | 3,405 S.F. |
| Doors & Windows S.F. | 464 S.F. | 1,181 S.F. |
| Facade S.F. (exclusive of doors/windows) | 1,134 S.F. | 2,019 S.F. |
| Masonry totals (Min 75%) | 901 S.F. (80%) | 1,816 S.F. (80%) |
| Brick s.f. (as applicable) | 901 S.F. (80%) | 1,816 S.F. (80%) |
| Other Material totals (Max 25%) | 233 S.F. (20%) | 403 S.F. (20%) |
| Sealed Garapa wood s.f. | 233 S.F. (20%) | 403 S.F. (20%) |

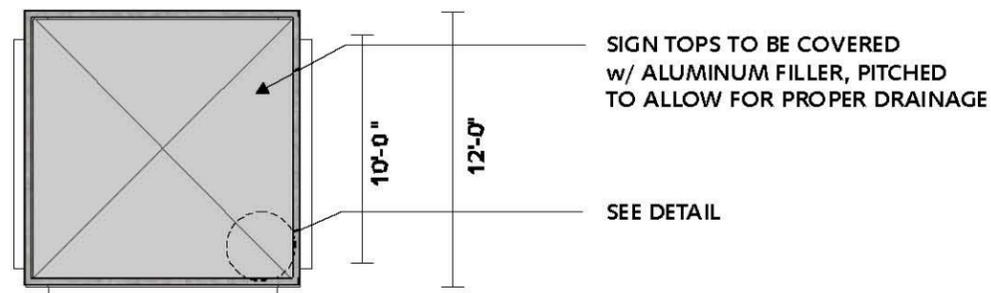
NOTE:
THE BUILDING FACADE CALCULATIONS INCLUDE EVERYTHING SHOWN ON SAID RENDERED ELEVATIONS BELOW.



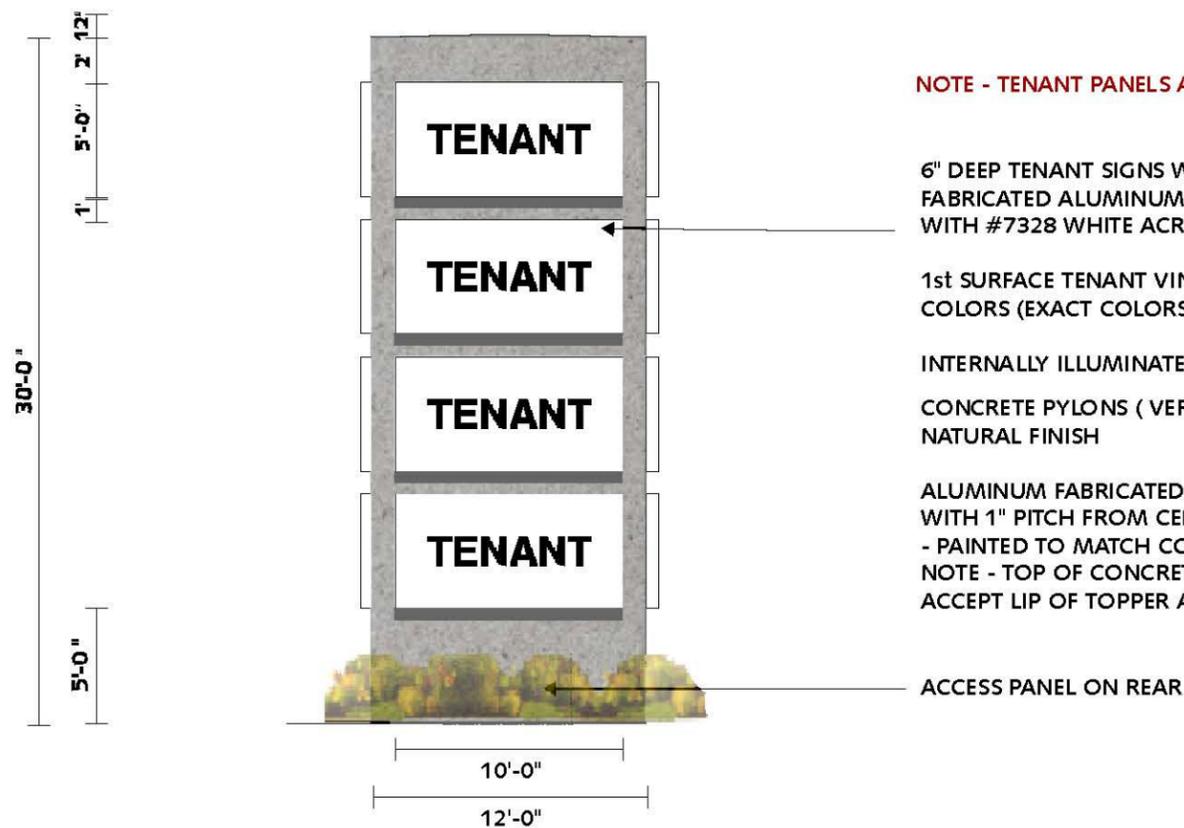
City of Richardson
Development Plan Approved subject to Building Code and other City Regulations.
Approved By: Samuel D. Chavez
City Manager or Designee
Date: October 1, 2014



SECONDARY PROJECT IDENTIFICATION SIGN



PLAN VIEW



NOTE - TENANT PANELS ALLOWED ON THREE SIDES ONLY

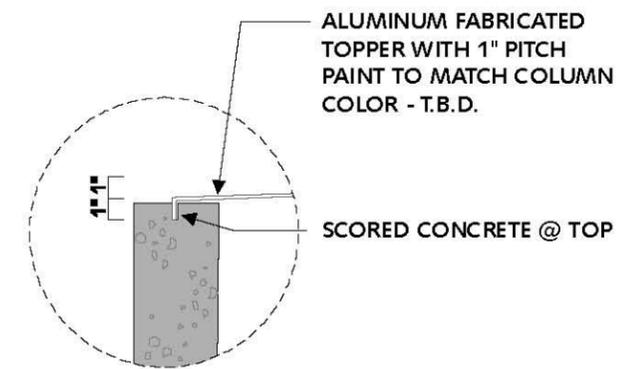
6" DEEP TENANT SIGNS WRAPPING BASE & ALL 4 SIDES FABRICATED ALUMINUM PAN BACKGROUND WITH #7328 WHITE ACRYLIC FACES & RETURNS

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S
CONCRETE PYLONS (VERIFY EXACT COLOR) WITH NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER WITH 1" PITCH FROM CENTER - PAINTED TO MATCH COLUMN COLOR T.B.D. NOTE - TOP OF CONCRETE TO BE SCORED TO ACCEPT LIP OF TOPPER AND SEALED

ACCESS PANEL ON REAR



DETAIL

A SECONDARY PROJECT PYLON Scale = 1/8" = 1'-0"
(1) REQUIRED - MANUFACTURE & INSTALL

| | |
|--------------|---|
| Design # | 11-1939r11 |
| Sheet | 5 of 7 |
| Client | RICHARDSON RESTAURANT PARK |
| Address | Hwy. 75 @ JAMES/FLOYD RICHARDSON, TEXAS |
| Account Rep. | MSW / MAW |
| Designer | RMS |
| Date | 10-26-11 |

| Approval / Date | |
|-----------------|--|
| Client | |
| Sales | |
| Estimating | |
| Art | |
| Engineering | |
| Landlord | |

| Revision / Date | |
|---|--|
| r1-MAB/11-17-11: Full re-do per architect specs | |
| r2-SDM/11-22-11 | |
| r3-MAB/12-13-11: Open mesh | |
| r4-RMS 12-18-13: add designs | |
| R5 RFF 01.07.14 update site plan | |
| R6 WAS NOT LISTED | |
| R7 PC 03FEB2014 REV. A,B,C,D, & E, DELETE "D" | |
| R8 PC 04FEB2014 REV. B | |
| R9 RFF 03.13.14 update | |
| R10-BR/3-18-14: Update art. | |
| r11-RMS 4-11-14 - notes / 3 side mon | |

Chandler Signs
www.chandler-signs.com

- 3201 Manor Way Dallas, TX 75235
214-902-2000 Fax 214-902-2044
- 12106 Valliant Drive San Antonio, TX 78216
210-349-3804 Fax 210-349-8724
- 1335 Park Center Drive, Unit C Vista, CA 92081
760-967-7003 Fax 760-967-7033
- 400 Banner Trail Florissant, CO 80816
719-687-2507 Fax 719-687-2506
- 325 West Main Street, Suite 102 Louisville, KY 40202
502-582-3557 Fax 502-583-2646

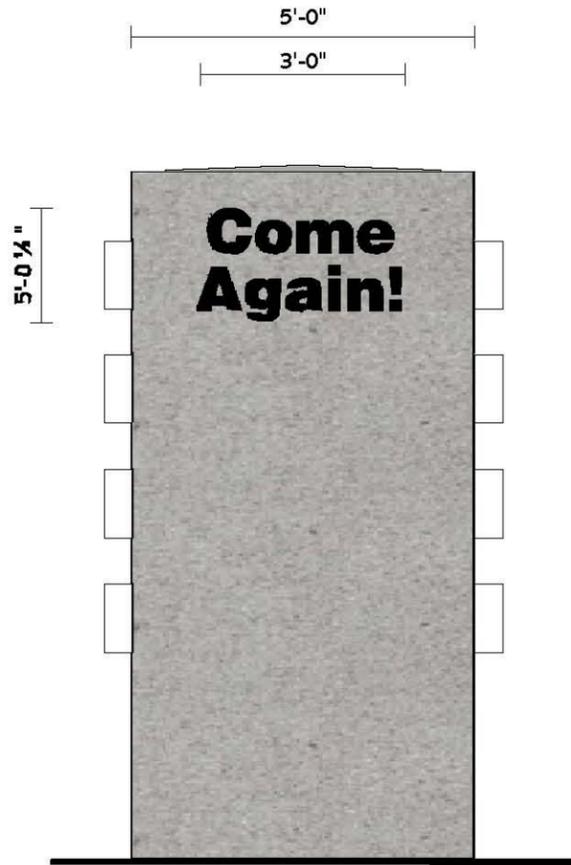
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FINAL ELECTRICAL CONNECTION BY CUSTOMER

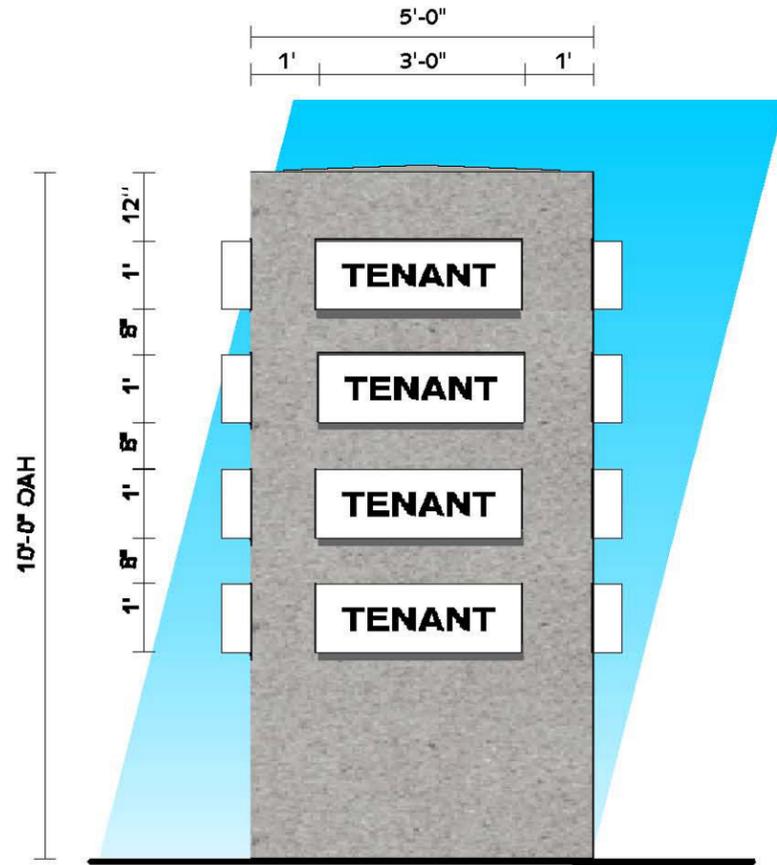
UL

SIGN(S) TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN(S). SIGN WILL BEAR UL LABEL(S).

MINOR TENANT DIRECTIONAL SIGN



BACK



THREE SIDES

CONCRETE PYLONS (VERIFY EXACT COLOR)
WITH NATURAL FINISH

5" DEEP TENANT SIGNS WRAPPING BASE & ALL 4 SIDES
FABRICATED ALUMINUM PAN BACKGROUND
WITH #7328 WHITE ACRYLIC FACES & RETURNS

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED
COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S

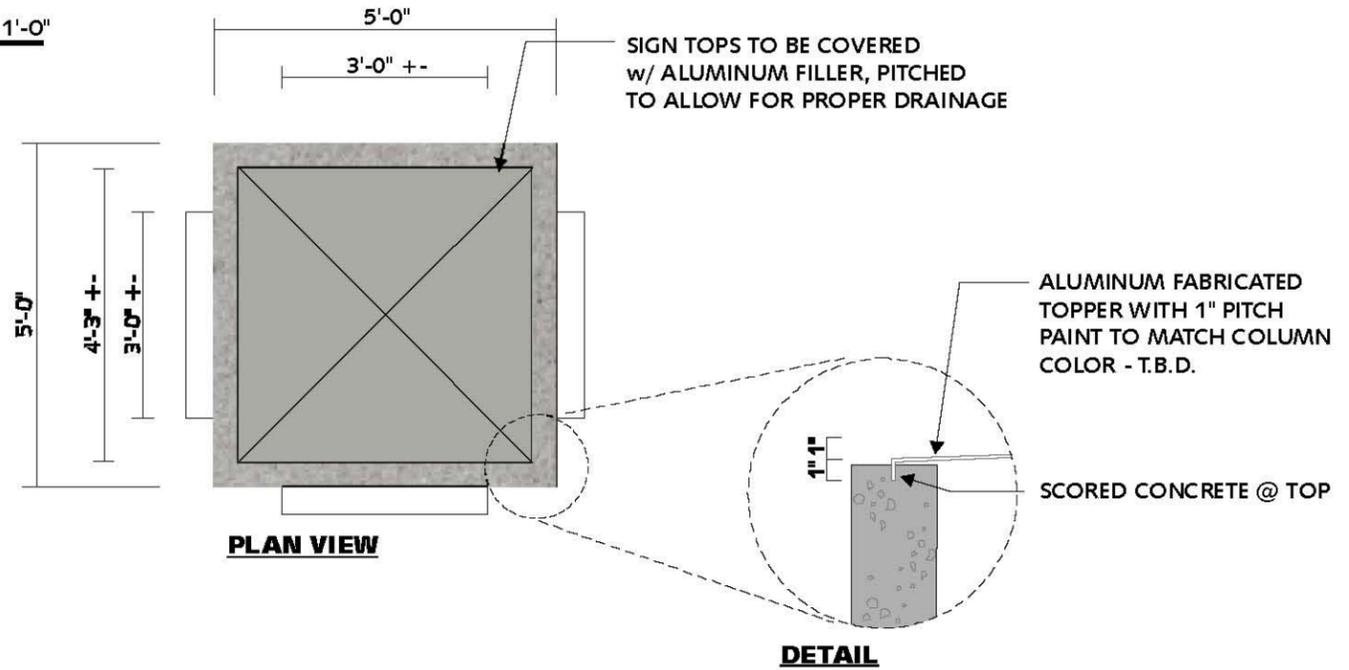
CONCRETE PYLONS (VERIFY EXACT COLOR) WITH
NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER
WITH 1" PITCH FROM CENTER
- PAINTED TO MATCH COLUMN COLOR T.B.D.
NOTE - TOP OF CONCRETE TO BE SCORED TO
ACCEPT LIP OF TOPPER AND SEALED

REAR TO HAVE 1/4" ALUM. FLAT CUT OUT
COPY READING "COMING SOON!"
PAINTED BLACK AND PIN MOUNTED 2" OFF BASE

NOTE - TENANT PANELS ALLOWED ON THREE SIDES ONLY

B MINOR TENANT PYLON SCALE: 3/8" = 1'-0"
(1) REQUIRED - MANUFACTURE & INSTALL



PLAN VIEW

DETAIL

| | |
|---|--|
| Design # | |
| 11-1939r11 | |
| Sheet 6 of 7 | |
| Client | |
| RICHARDSON RESTAURANT PARK | |
| Address | |
| Hwy. 75 @ JAMES/FLOYD | |
| RICHARDSON, TEXAS | |
| Account Rep. | |
| MSW / MAW | |
| Designer | |
| RMS | |
| Date | |
| 10-26-11 | |
| Approval / Date | |
| Client | |
| Sales | |
| Estimating | |
| Art | |
| Engineering | |
| Landlord | |
| Revision / Date | |
| r1-MAB/11-17-11: Full re-do per architect specs | |
| r2-SDM/11-22-11 | |
| r3-MAB/12-13-11: Open mesh | |
| r4 RMS 12-18-13: add designs | |
| R5 RFF 01.07.14 update site plan | |
| R6 WAS NOT LISTED | |
| R7 PC 03FEB2014 REV. A,B,C,D, & E, DELETE "D" | |
| R8 PC 04FEB2014 REV. B | |
| R9 RFF 03.13.14 update | |
| R10-BR/3-18-14: Update art. | |
| r11 RMS 4-11-14 - notes / 3 side mon | |

Chandler Signs
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3201 Manor Way Dallas, TX 75235
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12106 Valliant Drive
San Antonio, TX 78216
210-349-3804 Fax 210-349-8724

1335 Park Center Drive, Unit C
Vista, CA 92081
760-967-7003 Fax 760-967-7033

400 Banner Trail
Florissant, CO 80816
719-687-2507 Fax 719-687-2506

325 West Main Street, Suite 102
Louisville, KY 40202
502-582-3557 Fax 502-583-2646

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FINAL ELECTRICAL CONNECTION BY CUSTOMER

UL

SIGNS TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN(S). SIGN WILL BEAR UL LABEL(S).



MONUMENT SIGN - ISOMETRIC VIEWS

NOT TO SCALE

Design #
0362873Ar23

Sheet 5 **of** 10

Client
RICHARDSON RESTAURANT PARK

Address
Hwy. 75 @ JAMES/FLOYD
RICHARDSON, TEXAS

Account Rep. MSW / MAW

Designer RMS

Date 10-26-11

Approval / Date

| | |
|-------------|--|
| Client | |
| Sales | |
| Estimating | |
| Art | |
| Engineering | |
| Landlord | |

Revision / Date

r20 SDM 2/16/15 add opts to A&B
 r21-MAB/5-11-15: Options, wood
 R22-BR/6-16-15: Add site plan.
 r23 RG/ 6/16/15: logo/panels/site p.



3201 Manor Way Dallas, TX 75235
214-902-2000 Fax 214-902-2044

12106 Valliant Drive
San Antonio, TX 78216
210-349-3804 Fax 210-349-8724

1335 Park Center Drive, Unit C
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FINAL ELECTRICAL CONNECTION BY CUSTOMER

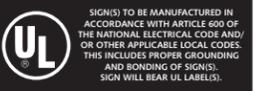
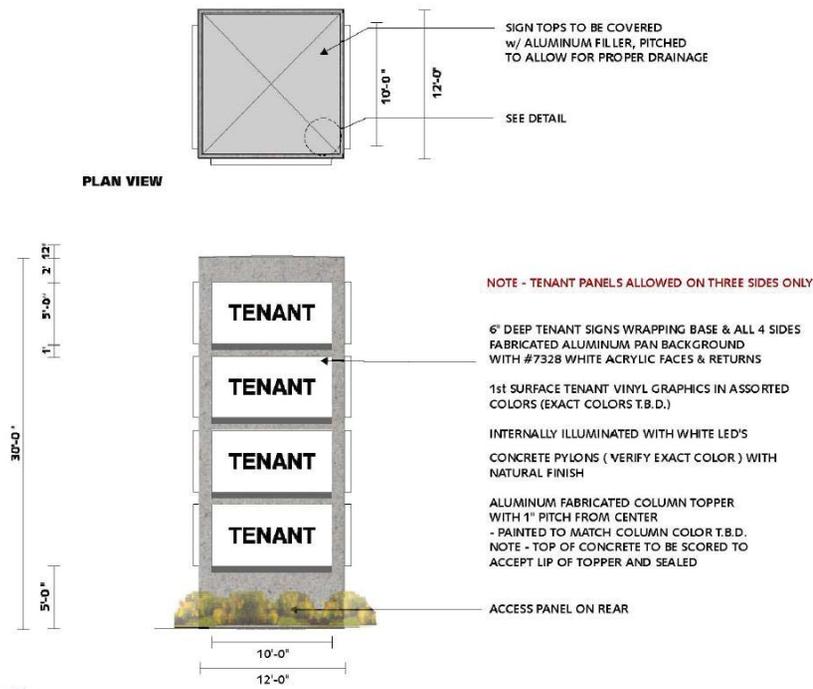
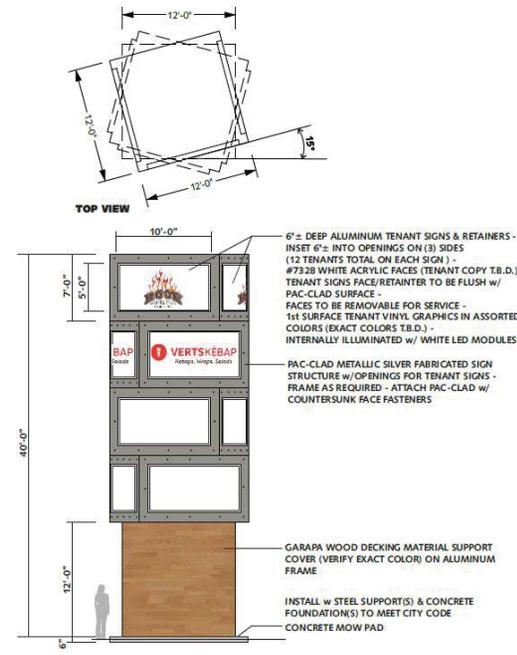


EXHIBIT C.1 (Ord. No. 4054)

EXHIBIT C-1 REVISED



A **SECONDARY PROJECT PYLON** Scale = 1/8" = 1'-0"
 (1) REQUIRED - MANUFACTURE & INSTALL



A B **5/F MONUMENT SIGN** SCALE: 1/8" = 1'-0"
 (2) REQUIRED - MANUFACTURE & INSTALL

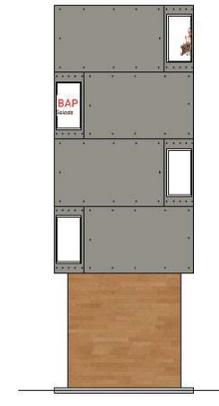
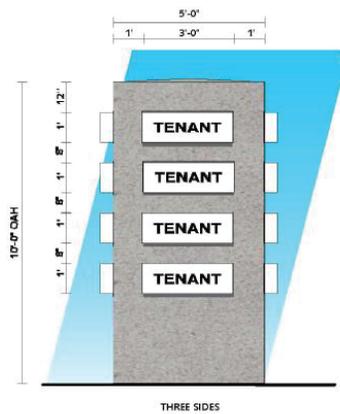


EXHIBIT C.2 (Ord. No. 4054)



CONCRETE PYLONS (VERIFY EXACT COLOR) WITH NATURAL FINISH

5" DEEP TENANT SIGNS WRAPPING BASE & ALL 4 SIDES FABRICATED ALUMINUM PAN BACKGROUND WITH #7328 WHITE ACRYLIC FACES & RETURNS

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S

CONCRETE PYLONS (VERIFY EXACT COLOR) WITH NATURAL FINISH

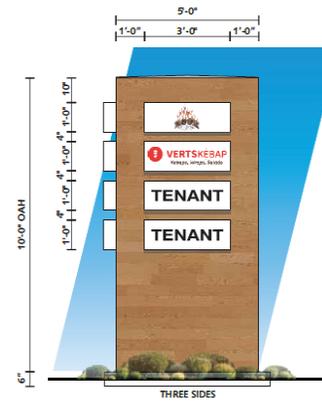
ALUMINUM FABRICATED COLUMN TOPPER WITH 1" PITCH FROM CENTER
- PAINTED TO MATCH COLUMN COLOR T.B.D.
NOTE - TOP OF CONCRETE TO BE SCORED TO ACCEPT LIP OF TOPPER AND SEALED

REAR TO HAVE 1/4" ALUM. FLAT CUT OUT COPY READING "COMING SOON!"
PAINTED BLACK AND PIN MOUNTED 2" OFF BASE

NOTE - TENANT PANELS ALLOWED ON THREE SIDES ONLY

B MINOR TENANT PYLON SCALE: 3/8" = 1'-0"
(1) REQUIRED - MANUFACTURE & INSTALL

EXHIBIT C-2 REVISED



GARAPA WOOD CABINET EXTERIOR (VERIFY EXACT COLOR) w/ AN ALUMINUM FRAME

5" DEEP TENANT SIGNS ON 3 SIDES FABRICATED ALUMINUM PAN BACKGROUND w/ #7328 WHITE ACRYLIC FACES -

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED COLORS (EXACT COLORS T.B.D.)

NOTE: TENANT PANELS ALLOWED ON THREE SIDES ONLY

INTERNALLY ILLUMINATED w/ WHITE LED'S

ALUMINUM FABRICATED COLUMN TOPPER w/ 1" PITCH FROM CENTER - PAINTED TO MATCH MATTHEWS BRUSHED ALUMINUM

REAR TO HAVE 1/4" ALUM. FLAT CUT-OUT COPY READING "Come Again!" - PAINTED BLACK & STUD-MOUNTED 2" OFF BASE

CONCRETE MOW PAD

LANDSCAPING BY OTHERS

C 3/4 MINOR TENANT MONUMENT - OPT.2 SCALE: 3/8" = 1'-0"
(1) REQUIRED - MANUFACTURE & INSTALL

Garapa Deck Specifications:

Garapa, also known as Brazilian oak, features a yellow-colored hardwood with a fine grain. Because of the nature of the wood, some boards have appealing streaks of brown in them. After exposing the boards to the sun, the yellow color becomes a beautiful russet golden brown.

Because it comes from the Amazon rainforest, Garapa naturally resists water damage, insects, rot and decay. Items made from the strong lumber have a lifespan of 25 years or more, and the wood does not require any type of preservatives.

Garapa Decking Characteristics: Garapa, or Brazilian oak, is naturally honey-yellow with a slight ribbon-like aspect. The lumber has a fine, irregular and interlocked grain with a medium texture. Similar to other hardwoods, sun exposure may cause Garapa to turn gray if you don't apply a UV inhibitor finish to the deck boards.

Decking Color: Garapa deck boards have a medium-brown color that can be darkened with a tinted finisher. As with all hardwoods, you'll find variations in the color and grain, which will give your decking added interest and character.

Garapa Decking Hardness: On the Janka hardness scale for wood, Garapa has a hardness of 2280 lbf, making it harder than maple (1450 lbf) and oak (1360 lbf).

Garapa Decking Durability: Garapa decking is durable and naturally resists termites and fungus as long as water doesn't permeate the wood. The lumber's hardness makes it scratch-resistant, so it's a great choice for exterior decking.

Garapa Decking Preservation: Because Garapa naturally resists water, insects, rot and decay, it does not require the use of a wood preservative. Sun exposure will cause the wood to darken with time, but a UV-blocking finisher can help preserve its golden honey color.



Explanation and Description of Request

Approval of an amendment to Exhibit C, the Sign Standards of Ordinance No. 4054, a major modification of the WSV-PD adopted June 9, 2014.

The revised exhibits only reflect a change to Signs A/B and C with regard to materials and design. The sign standards with regard to location, height, panel count and area allowances remain unchanged.

Signs A/B and C reflect garapa wood material on aluminum frames as opposed to concrete pylons. The upper portions of Signs A/C have been re-designed to reflect four (4), 15 degree turned stacked metallic silver fabricated sign blocks versus one monolithic columnar structure.

As proposed, the re-designed sign structures are compatible with the proposed exterior accent building materials and create a unique sign program for the site.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

PD PLANNED DEVELOPMENT AMENDMENTS

File No./Name: ZF 15-19 / Richardson Restaurant Park
Property Owner: Kirk M. Hermansen / Richardson RP Property LLC
Applicant: Kirk M. Hermansen / Richardson RP Property LLC
Location: West side of Central Expressway, south of James Drive (See map on reverse side)
Current Zoning: Planned Development
Request: A request to amend Exhibit C (Sign Standards) of Ordinance Number 4054, a major modification to the West Spring Valley Corridor PD adopted in June 2014.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, JULY 21, 2015
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

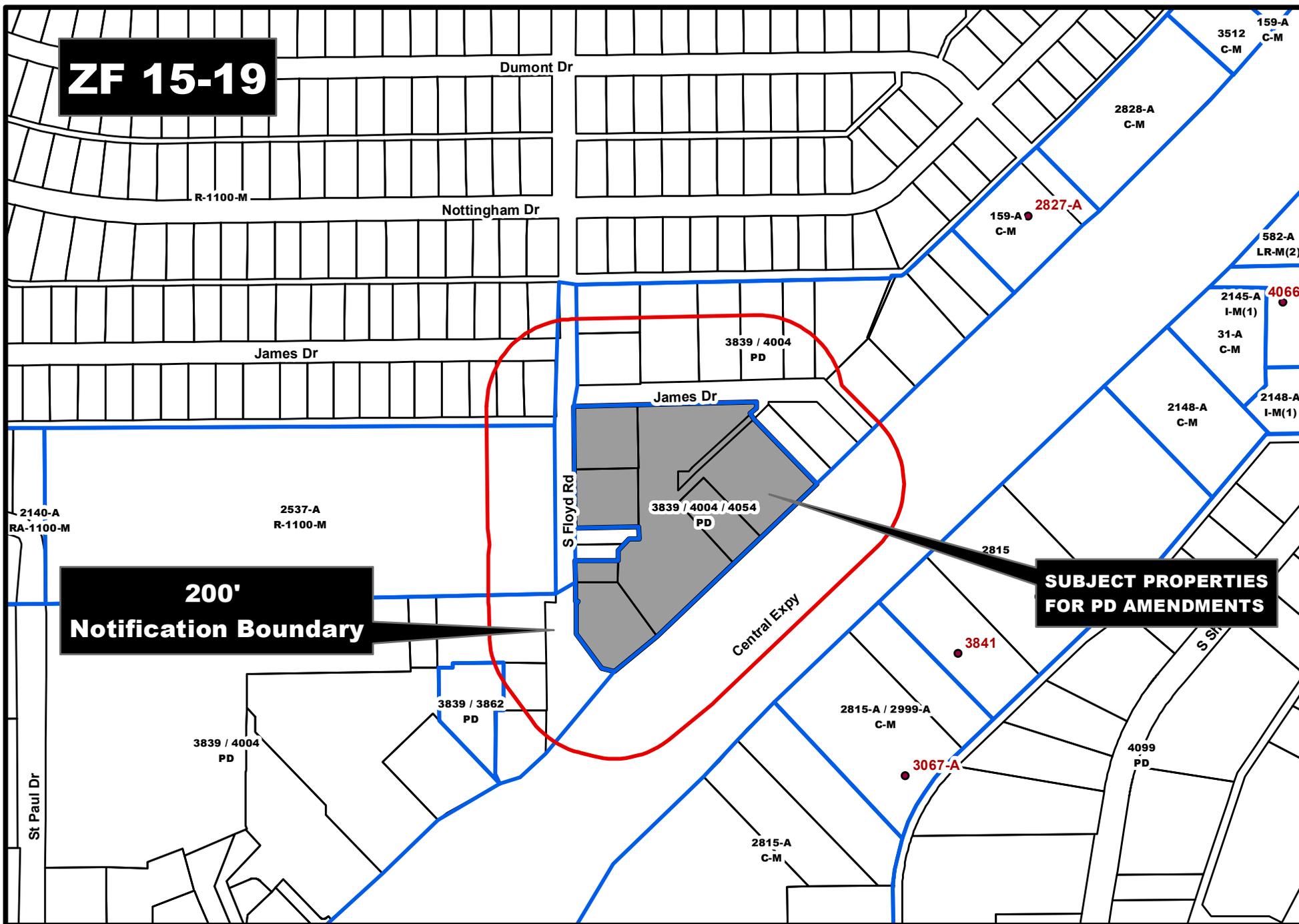
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 15-19.

Date Posted and Mailed: 07/10/2015



ZF 15-19 Notification Map

Updated By: shacklett, Update Date: July 7, 2015
 File: DSI\Mapping\Cases\Z\2015\ZF1519\ZF1519 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



MZLS ENTERPRISES LP
4600 MEADOW RIDGE DR
PLANO, TX 75093-3396

BHARUCHA MANECK J
1705 APOLLO RD
RICHARDSON, TX 75081-3825

PIT STOP TRIO, LP,
620 JAMES DR
RICHARDSON, TX 75080-7407

WEBB DON H & VICTORIA WEBB
4325 POMONA RD
DALLAS, TX 75209-2821

BESFKI & TAMAR INC
1104 COLLEGE PARK BLVD
RICHARDSON, TX 75081-5206

FREMONT CAPITAL LLC
705 S FLOYD RD STE 100
RICHARDSON, TX 75080-7404

AUTOMOTIVE INC
2840 KELLER SPGS RD STE 1105
CARROLLTON, TX 75006-4876

MORTAZAVI MARYAM
640 S CENTRAL EXPY
RICHARDSON, TX 75080-7401

ST PAUL THE APOSTLE
CATHOLIC CHURCH
3915 LEMMON AVE
DALLAS, TX 75219-3735

ALLAN GARONZIK
7190 FM 1830
ARGYLE, TX 76226-5069

FLOYD CENTRAL LTD
7005 CHASE OAKS BLVD STE 20
PLANO, TX 75025-5943

BEAD INVESTMENTS LLC
6515 LA MANGA DR
DALLAS, TX 75248-2943

CPC SING TRUST
7005 CHASE OAKS BLVD STE 20
PLANO, TX 75025-5943

760 10233 CE LTD
% LOUIS H LEBOWITZ
4311 W LOVERS LN STE 200
DALLAS, TX 75209-2803

BARGER JOHN EDWARD
780 S FLOYD RD
RICHARDSON, TX 75080-7403

SWEITZER ALAN & LEAH SWEITZER
3309 INDIAN TRL
ROWLETT, TX 75088-1593

JBZ ASSET MANAGEMENT LP
788 S FLOYD RD
RICHARDSON, TX 75080-7403

NOWAK JAMES E & CHERYL J
800 S CENTRAL EXPY
RICHARDSON, TX 75080-7413

PATAK BERNARD A
703 JAMES DR
RICHARDSON, TX 75080-6028

MCCOY KEVIN
705 JAMES DR
RICHARDSON, TX 75080-6028

HARRIS R GAIL
701 JAMES DR
RICHARDSON, TX 75080-6028

MUNGIOLI PHILIP
6928 WINDY RIDGE DR
DALLAS, TX 75248-2229

ORTIZ DAMIAN
700 JAMES DR
RICHARDSON, TX 75080-6027

BEDFORD GOLD & SILVER
EXCHANGE
3809 AIRPORT FWY
BEDFORD, TX 76021-6110

WAGNER ALDEN E JR
5159 YOLANDA LN
DALLAS, TX 75229-6433

RICHARDSON CITY OF
TAX DEPT SUITE 101
411 W ARAPAHO RD #101
RICHARDSON, TX 75080-4543

**KIRK M HERMANSEN
RICHARDSON RP PROPERTY LLC
5944 LUTHER LANE STE 725
DALLAS, TEXAS 75225**

ZF 15-19
Notification List

ORDINANCE NO. 4054

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING TO GRANT MAJOR MODIFICATIONS TO THE WEST SPRING VALLEY CORRIDOR PD PLANNED DEVELOPMENT DISTRICT FOR 5.085 ACRES LOCATED AT THE SOUTHEAST CORNER OF FLOYD ROAD AND JAMES DRIVE, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO-THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 14-03).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended so as to grant a change in zoning by amending the West Spring Valley Corridor PD Planned Development District to grant Major Modifications to the West Spring Valley Corridor PD Planned Development District for 5.085 acres located at the southeast corner of Floyd Road and James Drive, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That the following Major Modifications for the above described property are hereby granted subject to the following special conditions depicted in the Conceptual Site Plan attached hereto as Exhibit "B", the Development Standards attached hereto as Exhibit

“B-1”, and the Sign Standards attached as Exhibit “C”, all incorporated herein, and which is hereby approved.

SECTION 3. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all other provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 9th day of June, 2014.

APPROVED:


MAYOR

APPROVED AS TO FORM:


CITY ATTORNEY
(PGS:6-4-14:TM 66449)

CORRECTLY ENROLLED:


CITY SECRETARY



EXHIBIT "A"
LEGAL DESCRIPTION
ZF 14-03

5.085 ACRES

Being all that certain lot, tract or parcel of land situated in the Lavinia McCommas Survey, Abstract Number 927, City of Richardson, Dallas County, Texas, and being all of that certain called 2.24 acre tract of land described as Tract 1 and part of that certain called 31,323 square foot tract described as Tract 2 in deed from George M. Underwood, Jr., to Colonial House, Inc., recorded in Volume 814, Page 1215 of the Deed Records of Dallas County, Texas, and being part of that certain called 2.96 acre tract of land described in deed from Value Investments to Baldev Patel, recorded in Volume 2002053, Page 3447 of the Deed Records of Dallas County, Texas, and being all that certain called 0.0892959 acre tract of land described in deed from Richardson Heights, Inc., to Baldev Patel, recorded in Instrument Number 20080100111 of the Official Public Records of Dallas County, Texas, and being all of Lot 1, Block 1 Smith Retail, an addition to the City of Richardson, according to the plat thereof recorded in Volume 92177, Page 3054 of the Plat Records of Dallas County, Texas, and being all of that certain tract of land described in deed to CPC Sing Trust, recorded in Volume 88127, Page 623 of the Official Public Records of Dallas County, Texas, and being all of that certain tract of land described in deed to Floyd Central LTD., recorded in Instrument Number 20041459824 of the Official Public Records of Dallas County, Texas, and being all of that certain tract of land described in deed to TOR Sheet 13A, Lot 11, an addition to the City of Richardson, according to the plat thereof recorded in Volume 82209, Page 350 of the Plat Records of Dallas County, Texas, and being all of that certain tract of land described in deed to Duckwin, LLC, recorded in Instrument Number 20080386650 of the Official Public Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" capped rebar set (G&A Consultants) at the most southerly corner of said Lot 1, Block 1, and being on the westerly line of Central Expressway (A.K.A. U.S. Highway 75) according to that certain called 13.458 acre tract of land described in deed from T.F. McKamy to the State of Texas, recorded in Volume 3020, Page 405 of the Deed Records of Dallas County, Texas and being on the east line of said Floyd Road;

THENCE N 72°42'05" W, 30.70 feet, with the west line of said Lot 1, Block 1 of Smith Retail, and the east line of Floyd Road to a 5/8" rebar found;

THENCE N 00°37'00" W, 71.07 feet, with the west line of said Lot 1, Block 1 of Smith Retail, and the east line of Floyd Road to a 1/2" capped rebar set (G&A Consultants);

THENCE N 44°18'00" E, 7.02 feet, with the west line of said Lot 1, Block 1 of Smith Retail, and the east line of Floyd Road, to a 5/8" capped rebar found (DCA);

THENCE S 89°23'00" W, 5.76 feet, with the west line of said Lot 1, Block 1 of Smith Retail, and the east line of Floyd Road, to a 5/8" capped rebar found (DCA);

THENCE N 00°37'00" W, with the east line of Floyd Road, and the west line of said Lot 1, Block 1 of Smith Retail, passing at 45.29 feet a 5/8" capped rebar found (DCA) at the northwest corner thereof, and being the southwest corner of said CPC Sing Trust Tract, continuing a total distance of 95.29 feet, to a 60D nail found at the northeast corner thereof, and being the southwest corner of that certain called 4,367.32 square foot tract of land described in deed from Eldon O. Harrison to Gary C. Brantley, recorded in Volume 90142, Page 800 of the Deed Records of Dallas County, Texas;

THENCE N 89°17'40" E, 100.15 feet, with the north line of said CPC Sing Trust Tract, and the south line of said Brantley Tract, to a 1/2" capped rebar set (G&A Consultants) at the southeast corner thereof, and being the northeast corner of said CPC Sing Trust Tract, and being on the west line of said Tract 1;

THENCE N 00°25'30" W, 24.16 feet, with the west line of said Tract 1 and with the east line of said Brantley Tract, to a railroad spike found;

THENCE N 45°59'40" E, with the west line of said Tract 1 and the west line of said 2.96 acre tract and the east line of said Brantley Tract, passing at 26 feet the northeast corner thereof and the southerly southeast corner of that certain tract of land described in deed from Eldon O. Harrison to Gary C. Brantley, recorded in Volume 82172, Page 2449 of the Deed Records of Dallas County, Texas, continuing with the east line thereof a total distance of 37.59 feet (called 37.47 feet) to a PK nail found;

THENCE N 89°23'20" E, 22.44 feet (called 22.87 feet) with the west line of said Tract 1 and the west line of said 2.96 acre tract and the east line of said Brantley tract to a PK nail found at the easterly southeast corner thereof;

THENCE N 00°37'00" W, 30.00 feet with the west line of said Tract 1 and the west line of said 2.96 acre tract and the east line of said Brantley tract, to a 1/2" capped rebar set (G&A Consultants) at the northeast corner thereof and the southeast corner of said Floyd Central LTD Tract,

THENCE S 89°20'00" W, 149.99 feet with the south line of said Floyd Central LTD Tract, and the north line of said Brantley Tract to a 1/2" capped rebar set (G&A Consultants);

THENCE N 00°37'00" W, with the east line of said Floyd Road, and the west line of said Floyd Central LTD Tract, passing at 133.72 feet, a 5/8" rebar found at the northwest corner thereof, and being the southwest corner of said Lot 11, continuing a total distance of 284.18 feet to a 1/2" capped rebar set (G&A Consultants) at the northwest corner thereof and being on the south line of James Drive, as evidenced by that certain called 0.92 acre tract of land described in dedication from Richardson Heights, Inc., to the City of Richardson, Texas recorded in Volume 4946, Page 27;

THENCE N 88°48'50" E, with the north line of said Lot 11 and the south line of said James Drive, 149.99 feet to a 5/8" rebar found at the northeast corner of said Lot 11, and being on the south line of said James Drive;

THENCE S 00°37'00" E, 5.00 feet, with the east line of said Lot 11, and the south line of said James Drive, and being the northwest corner of said Tract 2;

THENCE N 88°48'50" E, with the south line of said James Drive, passing at 267.92 feet (called 266.65 feet) the east line of said Tract 2 and the east line of said 2.96 acre tract and the northerly northwest corner of the aforementioned 0.0892959 acre tract, continuing with the north line thereof a total distance of 285.30 feet to a "+" set in concrete;

THENCE S 00°39'10" E, 10.09 feet (called 10.40 feet), with the east line of said 0.0892959 acre tract to a "+" set in concrete;

THENCE S 45°46'50" W, 32.51 feet (called 32.44 feet), with the east line of said 0.0892959 acre tract to a "+" set in concrete at an inner ell corner thereof;

THENCE S 44°13'10" E, with the east line of said 0.0892959 acre tract, passing at 6.9 feet (called 6.74 feet) a "+" found in concrete at an outer ell corner thereof, being the north corner of said Tract 1 and the west corner of that certain called 0.241 acre tract of land described in deed to Alden E. Wagner, Jr., recorded in Instrument Number 20070404841 of the Deed Records of Dallas County, Texas, continuing with the northeasterly line of said Tract 1 and the southwesterly line of said 0.241 acre tract a total distance of 217.03 feet to the east corner of said Tract 1 and the east corner of the aforementioned 2.96 acre tract and the south corner of said 0.241 acre tract and being on the westerly line of the aforementioned Central Expressway, from which a 5/8" rebar found for witness bears N 44°13'10" W, 0.3 feet;

THENCE S 45°46'50" W, with the southeasterly line of said Tract 1 and the southeasterly line of said 2.96 acre tract and the westerly line of said Central Expressway passing at 180.00 feet a PK nail with shiner found at the east corner of that certain called 0.339 acre tract of land described in deed from Espressotime Vending Co., to Duckwin, LLC, recorded in Instrument Number 20080386650 of the Deed Records of Dallas County, Texas, continuing with the southeasterly line thereof, passing at 261.00 feet the southerly corner thereof, continuing with the southeasterly line of said Tract 1, passing at 511.00 feet a 1/2" capped rebar found (USA Inc.) at the south corner of said Tract I and the south corner of said 2.96 acre tract, being the east corner of said Lot 1, Block 1 of Smith Retail, continuing a total distance of 536.40 feet to a Brass Monument Found, on the southerly line of said Lot 1, Block 1 and being on the westerly line of said Central Expressway

THENCE S 51°28'50" W, with the southerly line of said Lot 1, Block 1, and the westerly line of said Central Expressway, 100.50 feet, to the **POINT OF BEGINNING and containing approximately 5.085 acres of land.**

EXHIBIT "B-1"
RESTAURANT PARK

GENERAL

- A. **PURPOSE.** The purpose of this development is to permit a comprehensive high quality, master planned restaurant development (the "Restaurant Park"), for the operation of a variety of reputable restaurants, that will include a pedestrian-friendly environment, distinctive restaurant architecture and unique project sign identification. The Restaurant Park is intended to become a new neighborhood destination for the use and enjoyment of Richardson residents and visitors. The project will endeavor to provide a safe and friendly environment by removing the blighted properties and to update and optimize the potential of the property given its unique site characteristics and proximity to the North Central Expressway corridor.
- B. **CONCEPT PLAN.** Development of the Property shall conform with the Concept Plan attached hereto as Exhibit "B" (the "Concept Plan"). The Concept Plan, the Development Standards (Exhibit "B-1") and Sign Standards (Exhibit "C"), constitute Major Modifications to the development standards of the West Spring Valley Corridor Planned Development District with regard to Sections C and D of Chapter III General District Standards, Sections B and D of Chapter IV Buildings, Section A of Chapter V Parking and Accessibility, Chapter VI Lighting, Mechanical, Service Areas and Utilities, Chapter VII Landscape and Chapter VIII Sign Standards.
- C. **DEVELOPMENT STANDARDS.** For the purpose of determining landscaping and parking regulations within the property, the entire property shall be considered one (1) lot, regardless of how the property may be subdivided. In the event a development standard is not expressly set forth or meet the intent of the development standards contained within or the approved Concept Plan, then the development standards set forth on the Comprehensive Zoning Ordinance shall control.
- D. **DEFINITIONS.** For purposes of this development, the following words have the following meanings:
- Ventilated façade system* means a high-performance façade solution that consists of a rain screen and decorative façade (manufactured of type 304, 316 or 430 architectural grade stainless steel, zinc alloy, titanium or other metal material of comparable or greater quality that is approved by the City Manager), cavity depth and ventilation, insulation and sub-frame. Systems may include colorized, patterned and textured stainless steel sheet cladding systems; insulated core metal wall panel systems; metal composite wall panel systems, rear ventilated phenolic rain screen wall panel systems; titanium zinc alloy sheet metal roofing façade cladding and roof drainage components systems.
- E. **MINOR MODIFICATIONS.** The City Manager or designee shall have the authority to approve a request for minor modifications to approved concept plans and development plans.

For purposes of this development, a minor modification shall be defined as (i) a change to a footprint of a building in which the proposed footprint complies with all development standards set forth herein, and (ii) except as otherwise provided in (i), a change which does not (a) exceed the building coverage or floor-to-area ratio, (b) decrease any of the specified area regulations or minimum parking ratios, nor (c) substantially changes the access or circulation on or adjacent to the site.

- F. US 75 AMENITIES PLANNING GUIDELINES. This development shall not be required to comply with the US 75 Amenities Planning Guidelines.
- G. SIGNAGE. Proposed signage shall conform with the Sign Standards attached hereto as Exhibit "C" (the "Sign Standards").

DEVELOPMENT STANDARDS –Major Modifications

- 1. USE REGULATIONS. No land shall be used and no building shall be erected for, or converted to any use other than:
 - a. Stand alone restaurants and in-line restaurants without drive-through services.
 - b. Outdoor dining and/or patios (accessory to the principle use) subject to:
 - i. Outdoor seating for eating and drinking shall be limited to 35% of the establishment's building area.
 - ii. Outdoor dining seating areas may incorporate music or sound systems providing the decibel level does not exceed 90 dB.
- 2. BUILDING REGULATIONS. The architecture for all structures should be well proportioned, and shall be designed with an emphasis on the street-side of buildings with a continuation of materials, colors and trim on the balance. The scale, massing, articulation and proportions of facades should enhance the vehicular and pedestrian experience, emphasizing the human scale.
 - a. Each building facade elevation, excluding doors, windows, or other openings, shall be clad with a minimum of seventy-five (75%) percent masonry material, defined as brick, stone, plaster stucco utilizing a 3-step process, cast stone, rock, marble, granite, curtain glass, glass block, ventilated facade systems (see definition above), and concrete tilt wall panels. A maximum of twenty-five (25%) percent of the building facade area may be clad with materials other than those previously listed and shall be of non-combustible material, including factory installation of commercial grade Class PB Exterior Insulation and Finish Systems (EIFS). Said EIFS materials must be installed above a height of eight (8) feet.
 - b. Individual and unique trade dress is encouraged and any materials not specifically allowed herein shall be considered for approval by the City Manager or designee. Trade

Dress is defined as those items included in a building design or décor which distinguishes the appearance or image of one brand from another in the eyes of its consumers and the general public.

- c. The following exterior materials are prohibited:
 - i. Aluminum siding;
 - ii. Galvanized metal siding;
 - iii. Exposed aggregate;
 - iv. Plastic;
 - v. Unfinished (non-plastered or unpainted) concrete block;
 - vi. Reflective glass.
- d. All façade walls on a building shall be articulated to provide visual interest with any of the following elements:
 - i. Brick pilasters;
 - ii. Corbels;
 - iii. Windows treatments on in-filled windows;
 - iv. Projected ribs, offsets, recesses, pediments or reveals;
 - v. Overhangs or awnings;
 - vi. Cornices;
 - vii. Varied roof heights for pitched, peaked, sloped or flat roof styles;
 - viii. Display windows, faux windows or decorative windows;
 - ix. Integrated water features.
- e. Entryway Features. With the exception of loading areas or rear door access for employees, all primary ground floor entrances for the public shall be covered or inset. Primary building entrances are to be defined and articulated with architectural elements such as pediments, columns, porticos, porches, and overhangs.
- f. Roofs. Flat roofs, hip roofs, gabled roof and green roofs are permitted. Pitched roofs shall have a minimum pitch of 6:12. Architectural elements that add visual interest to the roof, such as dormers and masonry chimneys are encouraged.
 - i. The following materials are allowed:
 - A. Architectural shingles (minimum 30-year warranty);
 - B. Industry approved synthetic shingles or composition shingle;
 - C. Factory finished standing seam metal;
 - D. Tile roofs;
 - E. Slate roofs;
 - F. Cooper roofs;
 - G. TPO Membrane (flat roof only).

- ii. The following materials are prohibited:
 - A. Galvanized steel or other bright metal;
 - B. Wood roof shingles.

3. AREA REGULATIONS.

a. Height Regulations.

- i. The maximum building height shall not exceed forty (40) feet for a two (2) story structure, and twenty-four (24) feet for a single story, subject to the following:
 - A. Single story structures may include architectural features up thirty-two (32) feet in height from the finished floor elevation for up to twenty-five (25%) percent of the length of any building elevation.
 - B. Two (2) stories structures may include architectural features up forty-eight (48) in height from the finished floor elevation for up to twenty-five (25%) percent of the length of any building elevation.
- ii. Balconies and roof terraces shall be allowed. Any roof terrace shall not be counted as an additional story.

b. Building Setbacks.

- i. US 75 Frontage Road – Seventy (70) feet;
- ii. Floyd Road – Forty (40) feet;
- iii. James Drive – Forty (40) feet;
- iv. Interior Setbacks. No building setback shall be required from interior lot lines, except as may be required by the City of Richardson Building Code;
- v. A fireplace, windowsill, box or bay window, or other architectural features not more than ten (10) feet in width may extend a maximum of two (2) feet into the required setback;
- vi. The ordinary projections of a roof eave or cornice may extend into the required front setback a maximum of two (2) feet.

c. Density.

The maximum Floor Area Ratio (FAR) shall not exceed 0.4:1.

4. PARKING REGULATIONS.

- a. The parking ratio shall be a minimum of ten (10) spaces per one-thousand (1,000) square feet of building area.
- b. A maximum of two (2) rows of parking shall be allowed between the buildings and the US 75 frontage road as shown on “Exhibit B”.

- c. Parallel on-street parking along James Drive and Floyd Road shall be allowed as shown on “Exhibit B”, but shall not count towards meeting the minimum parking requirement for the site.

5. LANDSCAPE REQUIREMENTS.

a. General

- i. Existing trees six (6) inch or greater diameter at breast height shall be inventoried and indicated on the landscape plans submitted for review by the City. Any trees to be removed must be indicated both graphically and in tabular format on the landscape plan, with the reason for removal clearly indicated.
- ii. Foundation plantings shall be provided adjacent to the buildings and/or other structures on the site.
- iii. Visibility triangles shall be maintained at all street, alley, or private drive intersections in accordance with the City’s sight triangle guidelines. Within the required visibility triangle, no obstruction shall exceed thirty (30) inches in height, measured from the driving surface; however trees are permitted within the visibility triangle provided that the lowest limbs are trimmed to a minimum height of seven (7) feet at the time of planting, measured from the top of the curb.
- iv. The property owner or its tenants shall be responsible for maintaining the landscape in accordance with the approved landscape plan.
- v. Dead plant material, as determined by the City, shall be replaced in accordance with the approved landscape plan.
- vi. All landscape material shall be irrigated by a mechanical underground system with operating rain and freeze sensors.

b. Minimum Landscape Area Requirements

The minimum landscape area shall be ten (10%) percent of the gross land area. Of the required minimum landscaped area, twenty (20%) percent shall be provided internal to parking areas (landscaped islands, etc.). Minimum landscape calculations shall include decorative hardscape areas.

c. Parking Lot Landscaping

- i. Minimum ten (10) foot wide landscaped islands and eight (8) foot wide (average) for irregularly shaped landscape islands, shall be required at the ends of each row of parking spaces, and shall include the following:
 - A. Minimum one (1), three (3) inch caliper tree, ground cover, and an 18” – 24” wide strip (paved or decomposed granite) adjacent to the parking stall.

d. Perimeter Landscaping- US 75 Frontage Road

- i. The minimum landscape buffer width shall be ten (10) feet, and shall include the following:

- A. A minimum six (6) foot wide meandering sidewalk. A pedestrian easement shall be dedicated where the sidewalk is not located within the street right-of-way.
- B. One (1), three (3) inch caliper canopy tree or one (1) ornamental tree for each fifty (50) lineal feet of street frontage. Trees may be planted in “natural” groupings to provide view corridors into the development.
- C. Evergreen shrubs planted to create an opaque screen at a minimum height of thirty (30) inches above the grade of the parking lot or drought tolerant plant material to create a semi-opaque screen at a minimum height of eighteen (18) inches above the grade of the parking lot. Approved drought tolerant plant material includes material such as Whales Tongue Agave, Gulf Muhley and Giant Liriope.
- D. A concrete, pavestone, grass or mulch strip the width of the vehicle overhang (2'-7") for parking spaces adjacent to the required landscape buffer. This strip shall be measured from the face of curb to the edge of the landscaped bed.

6. Streetscape - James Drive and Floyd Road

- a. Beginning at the face-of-curb of street bulb-outs, a minimum nineteen (19) foot wide Streetscape Zone shall be provided along James Drive and Floyd Road as shown on “Exhibit B”. Said Streetscape Zone shall include a fourteen (14) foot wide Amenity Zone and a five (5) foot wide Buffer Zone, which shall be composed of the following:
 - i. Amenity Zone
 - A. With the exception of the required street tree wells, specialty paving per City details.
 - B. Minimum three (3) inch caliper canopy trees in 8-foot x 8-foot tree wells covered with a 6-foot x 6-foot tree grate in accordance with City details.
 - C. Tree wells shall include underground bubbler irrigation set on a zone separate from other landscape areas, tree well drainage, and up lighting and electrical outlets in accordance with City details.
 - (1) Tree branches shall be maintained at no less than eight (8) feet above the adjacent Pedestrian Zone and no less than fourteen (14) feet above on-street parking spaces or traffic lanes, after three (3) years from planting. Otherwise, tree branches shall be maintained a no less than six (6) feet above the adjacent Pedestrian Zone and no less than ten (10) feet above on-street parking space or traffic lane.
 - D. A minimum six (6) foot wide unobstructed continuous sidewalk constructed of scored concrete.

ii. Buffer Zone

- A. Minimum three (3) inch canopy trees or ornamental trees, planted off-set to the canopy trees planted in the Amenity Zone.
- B. Evergreen shrubs or native grasses planted to create an opaque screen at a minimum height of thirty (30) inches above the grade of the parking lot.
- C. A concrete, pavestone, decomposed granite, grass or mulch strip the width of the vehicle overhang (2') for parking spaces adjacent to the required landscape buffer. This strip shall be measured from the face of curb to the edge of the landscaped bed.

7. SCREENING

- a. All roof mounted equipment, including fans, vents, cooling towers and HVAC units shall be screened to eliminate the view from the ground level of adjacent properties. The overall screening height shall be the height of the tallest element of roof-mounted equipment. The inside and outside of the screening device should be finished in a similar color to the building façade, trim or roof surface to minimize visibility of the equipment.
- b. All ground level equipment, including fans, HVAC units, cooling towers, generators, utility conduits, electric transformers, electric meters, wire ways and conduit shall be screened from the view of Floyd Road, James Drive and Central Expressway and adjoining properties by means of an architectural screen which shall be coordinated and compatible with the building architecture and color, or a living screen. Said screening shall not be less than the height of the tallest element of the equipment.
- c. Other than the walls shown on "Exhibit B" which shall be permitted, no other screening wall shall be required along James Drive or Floyd Road.
 - i. A maximum ten (10) foot tall wood (horizontal or woven, but not vertical) or masonry wall (including hardi board planks – horizontal or woven, but not vertical) may be allowed in the required setback in accordance with "Exhibit B". Said wall shall be depicted on the landscape plan during the development plan review process.
 - ii. A maximum sixteen (16) foot tall non-opaque wire mesh landscape wall is permitted as shown in "Exhibit B" and shall include vine-like plants or synthetic equivalent to cover the wall to create a landscaped wall. Said wall shall be depicted on the landscape plan during the development plan review process.
- d. Trash enclosure. Trash enclosures may be located within required setbacks and shall be screened with a minimum six (6) foot high masonry enclosure compatible in material and color with the main structure.

8. LIGHTING. Site lighting, display window lights, architectural lighting, and general area lighting are encouraged to advertise the business, highlight building features and entries, and to illuminate dark corners of the property or street. Specific landscape materials should be highlighted via landscape lighting, where possible.
 - a. All parking lot lights and free standing pedestrian lights shall be from the same family of lights, which shall be submitted and approved by staff prior to installation.
 - b. Sconce and similar attached building lighting shall be allowed if the fixtures are in keeping with the architectural style of the building.
 - c. Indirect lighting should be provided whenever possible, for display and architectural lighting. Direct glare to vehicular traffic shall be avoided.
 - d. Outdoor dining seating areas shall be properly lit (maximum 1 fc) with lighting and in keeping with the balance of the building architectural style.
 - e. The use of colored lighting shall not be allowed for use unless otherwise approved by the City Manager or designee
 - f. The use of pulsating or flashing lighting is prohibited.

Exhibit “C”

SIGN STANDARDS

GENERAL. For the purpose of determining sign regulations within the development, the entire Property shall be considered one (1) lot, regardless of how the property may be subdivided. All signage shall conform with the City of Richardson Code of Ordinances sign regulations, except as amended below:

1. Prohibited Sign Types:

- a. Pole signs
- b. Single-use monuments signs

2. Multiple-use Monument Sign Types Allowed

- a. Project Identification Monument Sign (Sign “A”). A maximum of two (2) signs shall be allowed, and shall be designed and constructed in general conformance with Exhibit C-1, and the location shown on Exhibit “B”, subject to the following:
 - i. Minimum Setbacks
 - A. Property lines: ten (10) feet
 - ii. Height and Area
 - A. Maximum height shall be forty (40) feet.
 - B. Tenant copy area is limited to three (3) sides of the monument sign. The maximum cumulative copy area per side for a thirty (30) foot tall monument sign shall be two-hundred (200) square feet and two-hundred and sixty-five (265) square feet for a 40 foot tall monument sign.
- b. Minor Tenant Directional Sign (Sign “B”). A maximum of one (1) sign shall be allowed, and shall be designed and constructed in general conformance with Exhibit C-2, and the location shown on Exhibit “B”, subject to the following:
 - i. Minimum Setbacks
 - A. North property line: ten (10) feet
 - ii. Height and Area
 - A. Maximum height shall be ten (10) feet.
 - B. Tenant copy area is limited to three (3) sides of the pylon. The maximum cumulative copy area per side shall be twelve (12) square feet. The south side of

the pylon sign shall be limited to a maximum copy area of sixteen (16) square feet.

3. Attached Sign Types Allowed

a. Tenant Wall Signs (Channel Letter, Sign Cabinet, Painted Wall Mural Sign, Awning Sign, Awning Attached Sign, Vertical and Horizontal Blade Signs), subject to the following:

i. Maximum copy area

- A. Total copy area for the above listed signs requiring a permit shall not exceed 6% of the total area of the ground floor façade (maximum façade height for calculating ground floor façade shall be 24 feet) of each elevation. The total sign area may be divided into any combination of individual signs among any of the building facades.
- B. Exposed border neon, awning graphics that do not include copy or border LED tubing are all permitted and shall not count towards the total allowable signage. .

ii. Location

- A. Signs shall not extend above the roof line of a mansard-type roof.
- B. Signs shall not extend more than six (6) feet above the roof line on buildings with non-mansard roof structures. Said signs shall be directly affixed to and not shall extending above or beyond an integral part of the structure of the building other than a roof.

iii. Design

- A. When projections on the wall face prevent the erection of the sign flat against the wall face, the space between the back of the sign and the wall shall be closed at the top, bottom and ends with incombustible materials.
- B. Attached signs shall be construction only of materials that are noncombustible or slow burning in case of plastic inserts and faces.
- C. Combustible materials may be used, providing the sign is attached to a wall with a minimum of two-hour, fire-resistive rating.
- D. Attached sign play on heavy wood construction may be of combustible materials, but in no case shall they be internally illuminated.
- E. Sign extending more than four (4) feet above the roof line shall be attached without the use of supporting poles, towers, guys or braces of any type. Such signs shall be designed, constructed and attached to withstand a wind pressure of not less than thirty (30) pounds per square foot.
- F. Signs must provide eight (8) foot clearance above any walkway.

- G. Flexible material sign are permissible if installed and supported by a cabinet, frame or other approved device approved by the director of community services.
- H. Signs may be internally or externally lit.

b. Awning Signs, subject to the following:

i. Maximum copy area

- A. The copy area shall not exceed seventy-five (75%) percent in length of any leading edge of an awning.

ii. Location

- A. The copy area shall only be located on leading edges of awnings.
- B. No building shall have both a wall sign with a tenant's trade name and an awning sign with a tenant's trade name on the same building elevation.

iii. Design

- A. Back-lighting is permitted and may be lighted internally or by exterior spotlights.
- B. An awning sign and awning sign attachments shall be secure and may not swing, sway or move in any manner or contain any moving devices.

c. Awning Attached Sign, subject to the following:

i. Maximum copy area

- A. The copy area shall not exceed seventy-five (75%) percent in length of any awning.
- B. The maximum sign height shall be twelve (12) inches.

ii. Location

- A. No building shall have both a wall sign with a tenant trade name and an awning attached sign with a tenant trade name on the same building elevation.
- B. The sign shall only be suspend from or extend above the edge of the awning and shall be centered.
- C. An awning attached sign shall not be used in conjunction with an awning sign.

iii. Design

- A. An awning sign and awning sign attachments shall be secure and may not swing, sway or move in any manner or contain any moving devices.
- B. Shall maintain a minimum ground clearance of eight (8) foot above a sidewalk.

d. Vertical Blade Signs and Horizontal Blade Signs, subject to the following:

i. Maximum copy area

- A. Vertical blade sign (two story structure only) - Thirty-six (36) square feet, which shall count towards the total allowable sign area as indicated in Section 3. a. i. A. above.
- B. Horizontal blade sign – twenty two (22) square feet, which shall count towards the total allowable sign area as indicated in Section 3. a. i. A. above.
- C. Exposed border neon or border LED tubing is permitted and shall not count towards the total allowable signage.

ii. Location

- A. May extend a maximum of six (6) feet from the façade of a building.
- B. Shall not extend more than six (6) feet above a building wall.

iii. Design

- A. Shall maintain a minimum ground clearance of eight (8) feet above the lowest portion of the sign and sidewalk when sign is constructed above a sidewalk.

4. Screen Wall Directional Signs (Sign “C”), which shall be designed and constructed in general conformance with Exhibit C-3, and the location shown on Exhibit “B”, subject to the following:

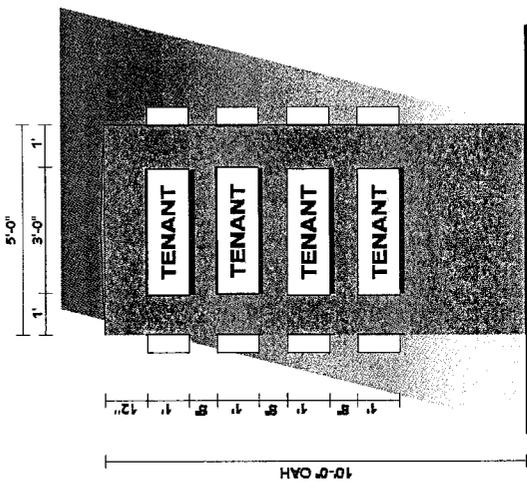
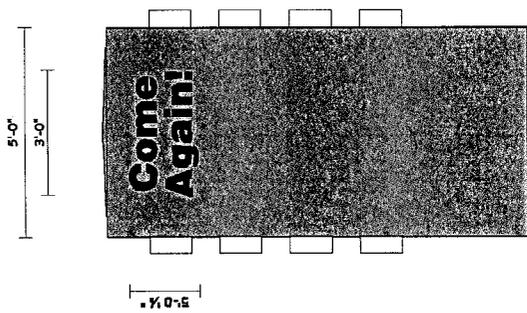
i. Maximum copy area

- A. Twelve (12) square feet per panel section.

ii. Design

- A. Copy area shall be individual letters and shall either be internally lit with white neon or exterior lighted with down light fixtures.
- B. Signs shall be secure and may not swing, sway or move in any manner or contain any moving devices.
- C. Shall not obstruct the vision of traffic on public streets or be constructed so as to interfere with sight lines within a triangular area formed by the intersection of adjacent curb line from a point on each curb line twenty (20) feet from the intersection.
- D. Shall be designed, constructed and attached to withstand a wind pressure of not less than thirty (30) pounds per square foot.

EXHIBIT C.2
MINOR TENANT DIRECTIONAL SIGN



CONCRETE PYLONS (VERIFY EXACT COLOR) WITH NATURAL FINISH

5" DEEP TENANT SIGNS WRAPPING BASE & ALL 4 SIDES FABRICATED ALUMINUM PAN BACKGROUND WITH #7328 WHITE ACRYLIC FACES & RETURNS

1 1/4" SURFACE TENANT VINYL GRAPHICS IN ASSORTED COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S

CONCRETE PYLONS (VERIFY EXACT COLOR) WITH NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER WITH 1" PITCH FROM CENTER

- PAINTED TO MATCH COLUMN COLOR T.B.D.

NOTE - TOP OF CONCRETE TO BE SCORED TO ACCEPT LIP OF TOPPER AND SEALED

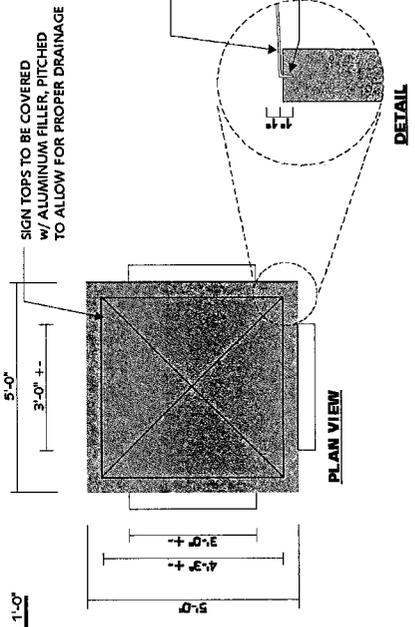
REAR TO HAVE 1/4" ALUM. FLAT CUT OUT COPY, READING "COMING SOON!"

PAINTED BLACK AND PIN MOUNTED 2" OFF BASE

NOTE - TENANT PANELS ALLOWED ON THREE SIDES ONLY

THREE SIDES

B MINOR TENANT PYLON SCALE: 3/8" = 1'-0"
(1) REQUIRED - MANUFACTURE & INSTALL



| | |
|-----------------|--|
| Design # | 11-193911 |
| Sheet | 6 of 7 |
| Client | Richardson Restaurant Pkwy |
| Address | Hwy. 75 @ Jarvis/Floyd RICHARDSON, TEXAS |
| Account Rep. | ASHW / MAW |
| Designer | RMS |
| Date | 10-26-11 |
| Approval / Date | |
| Client | |
| Drawn | |
| Checked | |
| Art | |
| Engineer | |
| Landlord | |
| Revision / Date | |
| 1 | AMG/11-17-11: edit c&e per |
| 2 | SM/11-22-11 |
| 3 | AMG/12-13-11: Open mesh |
| 4 | RMS: 12-16-11: add design |
| 5 | REF: 01.07.11: update site plan |
| 6 | AS WAS NOT LISTED |
| 7 | 11/16/11: REV. T.B.D. |
| 8 | E. O'BRIEN '07 |
| 9 | REF: 01.08.2011: REV. B |
| 10 | REF: 03.13.11: update |
| 11 | REF: 02.18.11: update |
| 12 | 11/16/11: 11-24 - water / 3/16/11 |

Chandler Signs
www.chandler-signs.com

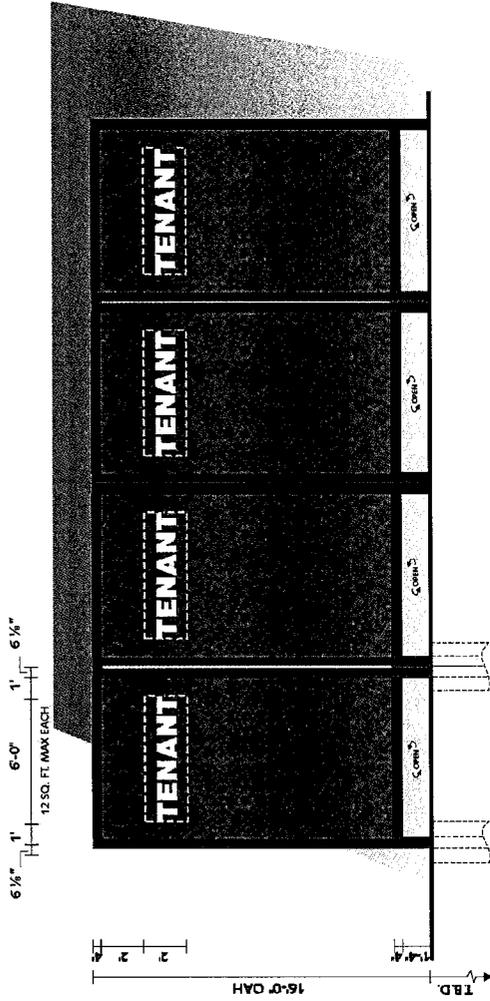
210 N. Loop West, Dallas, TX 75225
Phone: (214) 343-2244
1906 N. Garland, Dallas, TX 75244
1206 N. Garland, Dallas, TX 75244
2800 W. Loop West, Dallas, TX 75244
1201 Park Center Drive, Suite C
7405 W. 20th, Fort Worth, TX 76116
400 Banner Trail, Suite 102
7704 West Loop, Houston, TX 77036
500 West Loop, Houston, TX 77036
1500 West Loop, Houston, TX 77036

FINAL ELECTRICAL CONNECTION BY CUSTOMER

UL

EXHIBIT C.3

SCREEN PANEL DIRECTIONAL SIGN



S/F SIGN PANEL(S) SCALE: 3/16" = 1'-0"

- (4) REQUIRED WITH S/F SIGN PANELS
- (7) REQUIRED WITHOUT S/F SIGN

NOTE - 11 PANELS TOTAL = 99'-2 1/4" TOTAL LENGTH SIDE BY SIDE

- I-BEAM STRUCTURE W/ FLAT ALUMINUM INSERT PANEL - ALL PAINTED DARK GRAY (T.B.D.)
- ARTIFICIAL GRASS SCREEN WALL
- INDIVIDUAL LETTERS - EITHER EXTERIOR LIT WITH GOSSENECK LAMPS (SLEEK) OR INTERIOR LIT WITH WHITE NEON
- TENANT GRAPHICS TO BE DETERMINED
- CONCRETE PIER TYPE FOUNDATION(S) ENGINEERING TO DETERMINE SIZE & DEPTH FOR LOCAL CODES & CONDITIONS
- UNDERGROUND ELECTRICAL SERVICE TO SIGN BY CUSTOMER'S ELECTRICIAN - COORDINATE W/ CHANDLER SIGNS AS TO REQUIREMENTS
- NOTE - SIGN PANELS A MAXIMUM OF 12 SQ. FT. EACH

| | |
|-----------------------------------|--|
| Design # | 11-1999R11 |
| Sheet | 7 of 7 |
| Client | Richardson, Rembrandt Park |
| Address | Hwy. 75 @ James/Floyd RICHARDSON, TEXAS |
| Account Rep. | MSW / MAW |
| Designer | RMS |
| Date | 10-26-11 |
| Approval / Date | |
| Client: | |
| Sales: | |
| Marketing: | |
| Engineering: | |
| Landlord: | |
| Revision / Date | |
| 11-AM/11-17-11: Fill in-dp pr | |
| 2-DM/12-13-11: Update | |
| 13-AM/12-13-11: Open mesh | |
| 14-RMS/12-16-11: add 0.6 sign | |
| 15-RMS/01-07-12: update site plan | |
| 16-RMS/01-07-12: update site plan | |
| 17-RMS/01-07-12: update site plan | |
| 18-RMS/01-07-12: update site plan | |
| 19-RMS/01-07-12: update site plan | |
| 20-RMS/01-07-12: update site plan | |
| 21-RMS/01-07-12: update site plan | |
| 22-RMS/01-07-12: update site plan | |
| 23-RMS/01-07-12: update site plan | |
| 24-RMS/01-07-12: update site plan | |
| 25-RMS/01-07-12: update site plan | |
| 26-RMS/01-07-12: update site plan | |
| 27-RMS/01-07-12: update site plan | |
| 28-RMS/01-07-12: update site plan | |
| 29-RMS/01-07-12: update site plan | |
| 30-RMS/01-07-12: update site plan | |

Chandler Signs
www.chandler-signs.com

2108 N. Loop West, Dallas, TX 75225
714-925-1000 Fax: 714-925-1014

2700 West Loop West, Suite 100
Houston, TX 77028
713-963-1000 Fax: 713-963-1001

1285 West Center Drive, Unit C
Dallas, TX 75208 Fax: 714-925-1003

400 Blinn Trail
Houston, TX 77057 Fax: 713-963-1001

301 West Main Street, Suite 102
Lubbock, TX 79402
806-792-5251 Fax: 806-792-5444

By 4/24/12, our sign is now available in a new color: **White**!

FINAL ELECTRICAL CONNECTION BY CUSTOMER

UL

UL LISTED FOR USE IN THE U.S. AND CANADA
UL TYPE LISTED FOR USE IN THE U.S. AND CANADA
UL TYPE LISTED FOR USE IN THE U.S. AND CANADA



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, August 3, 2015

Agenda Item: Consider Setting Public Hearings on August 17 and August 24, 2015 on the Proposed Tax Rate of \$0.63516 per \$100 Valuation for Fiscal Year 2015-2016.

Staff Resource: Dan Johnson, City Manager

Summary: State law requires that the City Council take a record vote on the proposed tax rate for Fiscal Year 2015-2016 and schedule public hearings on the tax rate.

Board/Commission Action: N/A

Action Proposed: Consider Setting Public Hearings on August 17 and August 24, 2015 on the Proposed Tax Rate of \$0.63516 per \$100 Valuation for Fiscal Year 2015-2016.



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, August 3, 2015

Agenda Item: Consider setting Public Hearing on August 24 for the Proposed Fiscal Year 2015-2016 Richardson Municipal Budget.

Staff Resource: Dan Johnson, City Manager

Summary: City Charter Section 11.04 requires that the City Council name the date and place of a public hearing to be held no less than fifteen days after the budget is filed. The proposed public hearing date is Monday, August 24, 2015.

Board/Commission Action: N/A

Action Proposed: Set a Public Hearing on August 17, 2015 on Proposed Budget for Fiscal Year 2015-2016.

ORDINANCE NO. 4126

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, TO GRANT A CHANGE IN ZONING FROM LR-M(2) LOCAL RETAIL WITH SPECIAL CONDITIONS TO LR-M(2) LOCAL RETAIL AND TO GRANT A SPECIAL PERMIT FOR A MOTOR VEHICLE SERVICE STATION ON A 0.7-ACRE TRACT OF LAND LOCATED AT THE SOUTHEAST CORNER OF RENNER ROAD AND CUSTER PARKWAY, RICHARDSON, TEXAS, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 15-09).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, to grant a change in zoning from LR-M(2) Local Retail with special conditions to LR-M(2) Local Retail and to grant a Special Permit for a motor vehicle service station on a 0.7-acre tract of land located at the southeast corner of Renner Road and Custer Parkway, Richardson, Texas, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That the Special Permit for a motor vehicle service station is hereby conditionally granted subject to the following special conditions:

1. A Special Permit shall be granted to allow a motor vehicle service station as defined in the Comprehensive Zoning Ordinance and limited to the area shown on the concept plan attached as Exhibit “B” (the “Concept Plan”) and made a part thereof. The use of the property for a motor vehicle service station shall be in conformance with the special condition set forth herein.
2. The motor vehicle service station shall be constructed, developed and used in substantial conformance with the Concept Plan and the building and canopy elevations attached as Exhibits “C-1” and “C-2”.
3. A minimum 10-foot landscape buffer shall be provided along Renner Road and a minimum 20-foot landscape buffer shall be provided along Custer Parkway.
4. A minimum 5-foot rear setback shall be provided along the south property line.
5. Outside storage and outside display of goods, wares, or merchandise shall be prohibited.
6. The dumpster shall be screened from public view from Custer Parkway.
7. Bicycle racks shall be provided, the location of which shall be reviewed and approved at the time of development plan approval.

SECTION 3. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 3rd day of August, 2015.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:7-28-15:TM 72699)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 15-09

BEING a 0.70-acre lot situated in the E.T. Myers Survey, Abstract No. 616, Collin County, Texas; said lot being all of Lot 1, Custer-Renner Addition, an addition to the City of Richardson, Texas according to the plat recorded in Volume C, Page 339 of the Map Records of Collin County, Texas.

| AREA ANALYSIS | | | |
|-----------------------|-------------|-------|--|
| DESCRIPTION | AREA SQ.FT. | % | |
| LOT AREA | 3,483.0 | 100.0 | |
| PAVED AREA | 15,180.0 | 43.7 | |
| PAVE LINE | 2,880.0 | 84.1 | |
| LANDSCAPING AREA | 8,577.0 | 24.8 | |
| CURBS AND SIDEWALK | 1,374.0 | 3.9 | |
| CONCRETE DRIVE, DRIVE | 3,483.0 | 100.0 | |

| PARKING ANALYSIS | | | | | |
|----------------------------------|-------------------|-------|---------|-------|-------|
| ADDRESS | USE | RATIO | SQ. FT. | REQD. | PROV. |
| 699 W. RENNER RD. RICHARDSON, TX | CONVENIENCE STORE | 1/333 | 3,483.0 | 10 | 12 |

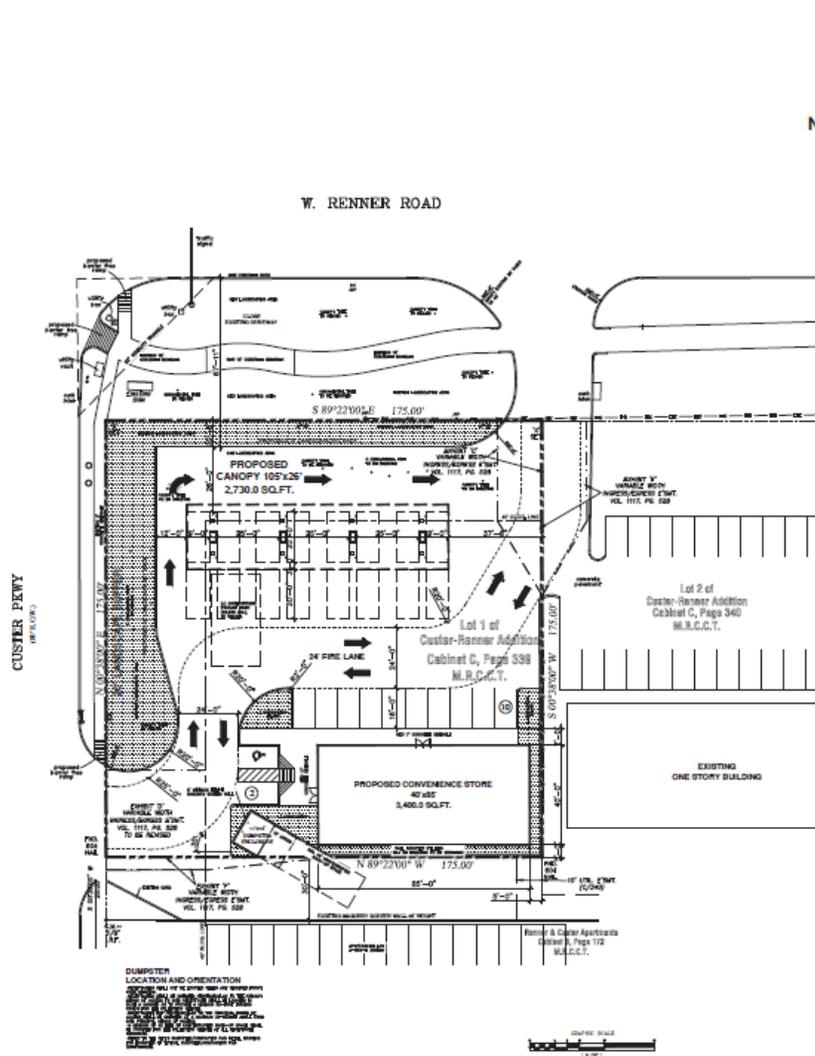
PROJECT SUMMARY



LOCATOR MAP



AERIAL VIEW



PROPOSED SITE PLAN - A



CONSULTANTS
BTR
 ENGINEERS & ARCHITECTS
 4401 LA BARRA DRIVE, SUITE 100
 RICHARDSON, TEXAS 75081

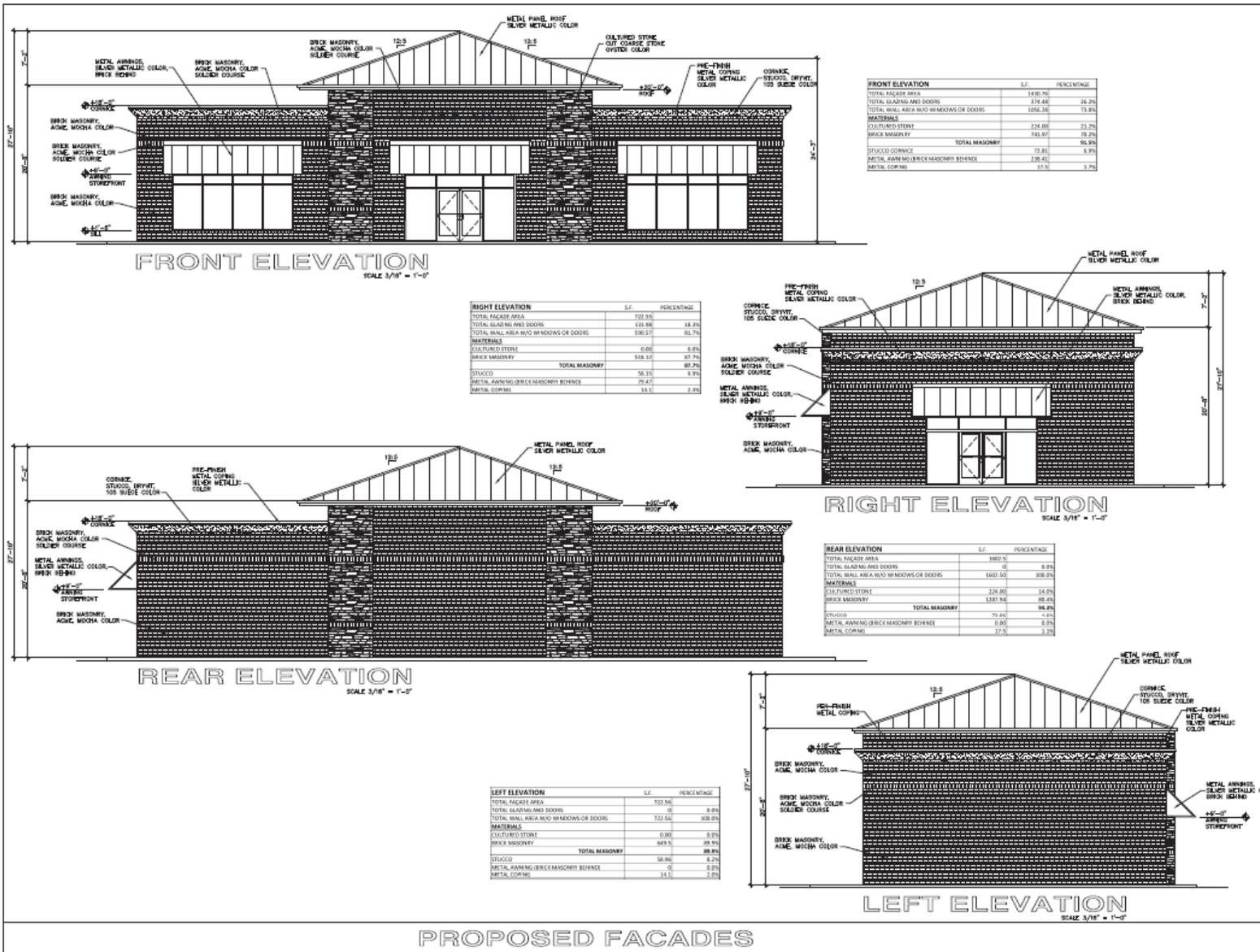
OWNER
BIG SCORE INVESTORS LLC
RAY KHALIL
 PROJECT
 4325 South Coakley Blvd.
 The Colony, TX 75056
 972.931.8200 ext. 108

- 3 CITY COMMENTS 7.22.15
 - 2 CITY COMMENTS 7.15.15
 - 1 CITY COMMENTS 6.16.15
- NO REVISION/ISSUE DATE

PROJECT NAME
**RENNER SHELL
 CONVENIENCE STORE
 & SERVICE STATION REMODELING**
 ADDRESS
**699 W. RENNER RD.
 RICHARDSON, TX 75080**

SHEET TITLE
**PROPOSED
 SITE PLAN**
 DRAWN BY: [] REVISION BY: []
 DESIGN FOR: [] SHEET NO.
 DATE: 7/23/2015 **A1.0**

Exhibit B - Part of Ordinance



CONSULTANTS
BTR
BTR CONSULTANTS
1800 LA PRIMA DRIVE, SUITE 100
HOUSTON, TEXAS 77057
PH: 281.416.1000

OWNER
BIG SCORE INVESTORS LLC
RAY KHALIL
PROJECT
4925 South Cobley Blvd.
The Cobley, TX 75085
972.931.8200 ext. 108

1 CITY COMMENTS 8.18.13
NO REVISION/ISSUE DATE

PROJECT NAME
**RENNER SHELL
CONVENIENCE STORE
& SERVICE STATION REMODELING**
ADDRESS
699 W. RENNER RD.
RICHARDSON, TX 75080

SHEET TITLE
**PROPOSED
STORE
FACADES**
DRAWN BY: [] REVISION BY: []
DESIGNER: [] SHEET NO.: []
DATE: 8/23/2013 **A3.0**

Exhibit C-1 – Part of Ordinance



MEMO

DATE: July 28, 2015

TO: Keith Dagen – Director of Finance

FROM: Pam Kirkland – Purchasing Manager 

SUBJECT: Award of Bid #63-15 for the Reservation HOA Bridge Enhancements: Melrose Drive at West Fork of Cottonwood Creek, and Mimosa Drive at Mimosa Park and Greenwood Hills HOA Screening Wall Extensions and Bridge Enhancements: Campbell Road from Waterview Drive to N. Floyd Road to GHB Equipment Company, LLC. in the amount of \$1,380,807

Proposed Date of Award: August 3, 2015

I concur with the recommendation of Steve Spanos – Director of Engineering, and request permission to award a contract to GHB Equipment Company, LLC. for the above referenced construction in the amount of \$1,380,807, as outlined in the attached memo.

Funding is provided from the 2010 G.O. Bonds and 2012 and 2014 C.O.'s.

The bid was advertised in *The Dallas Morning News* on May 15 & 22, 2015 and was posted on Bidsync. A total of 228 electronic solicitations were sent and 23 vendors viewed the bid. A prebid conference was held on May 22, 2015 and 2 bids were received.

Concur:


Keith Dagen

Attachments

Xc: Dan Johnson
Don Magner
Cliff Miller
Shanna Sims-Bradish
Kent Pfeil



MEMO

TO: Dan Johnson, City Manager

THROUGH: Cliff Miller, Assistant City Manager

FROM: Steve Spanos, P.E., Director of Engineering *SS*

SUBJECT: Award of Bid #63-15 to GHB Equipment Co., LLC, for the Reservation HOA Bridge Enhancements: Melrose Drive at West Fork of Cottonwood Creek, and Mimosa Drive at Mimosa Park and Greenwood Hills HOA Screening Wall Extensions and Bridge Enhancements: Campbell Road from Waterview Drive to N. Floyd Road

DATE: July 27, 2015

ACTION REQUESTED:

On June 4, 2015 the Capital Projects Department opened bids for the subject project. The attached bid tabulation certifies the lowest base bid was submitted by GHB Equipment Co., LLC, in the amount of \$1,380,807.00, which includes Alternates 1 and 2.

\$1,176,687.00 – Base Bid

\$ 114,890.00– Alternate 1 (Bridge Enhancements – Campbell at W. Fork Cottonwood Creek, N. Side)

\$ 89,230.00– Alternate 2 (Bridge Enhancements – Campbell at Cottonwood Creek, N. Side)

\$1,380,807.00

City staff has reviewed the references and financial information submitted by the company and recommends awarding the project to GHB Equipment Co., LLC.

The Reservation HOA bridge enhancements will include ornamental painted metal railings between stone faced end columns with decorative cast stone caps and stone creek name and City logo plaques. The Greenwood Hills HOA existing screening wall and irrigated landscaping along the south side of Campbell Road will be extended. Bridge enhancements on both sides of Campbell Road at the West Fork of Cottonwood Creek and at Cottonwood Creek will include ornamental painted metal railings with stone faced columns with decorative cast stone or brick caps.

FUNDING:

Funding is provided from 2010 G.O. Bonds and 2012 and 2014 C.O.'s.

SCHEDULE:

The Capital Projects Department plans for this project to begin construction October 2015 and be completed by May 2016.

cc: Edward Witkowski, P.E., Project Engineer *EW*

**RESERVATION HOA BRIDGE ENHANCEMENTS MELROSE DRIVE AT WEST FORK OF COTTONWOOD CREEK, AND MIMOSA DRIVE AT MIMOSA PARK
GREENWOOD HILLS HOA SCREENING WALL EXTENSION AND BRIDGE ENHANCEMENTS AT CAMPBELL ROAD FROM WATERVIEW DRIVE TO FLOYD ROAD**

BID NO. 63-15

UNIT #1 - RESERVATION HOA BRIDGE ENHANCEMENTS

| | | | | GHB Equipment Company, LLC | | HQS Construction, LLC | | Engineer's Estimate | | AVERAGES | |
|-------------------------|---|---------|------|----------------------------|-------------|-----------------------|-------------|---------------------|-------------|---------------------|-------------|
| ITEM NO. | DESCRIPTION | EST QTY | UNIT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT |
| 1-1 | Mobilization | 1 | LS | \$40,000.00 | \$40,000.00 | \$55,000.00 | \$55,000.00 | \$7,500.00 | \$7,500.00 | \$47,500.00 | \$47,500.00 |
| 1-2 | Prepare SW3P for Erosion Control w/Inlet Protection | 1 | LS | \$5,000.00 | \$5,000.00 | \$6,750.00 | \$6,750.00 | \$2,500.00 | \$2,500.00 | \$5,875.00 | \$5,875.00 |
| 1-3 | Barricade, Signs and Traffic Handling | 2 | MO | \$17,000.00 | \$34,000.00 | \$2,500.00 | \$5,000.00 | \$2,500.00 | \$5,000.00 | \$9,750.00 | \$19,500.00 |
| 1-4 | Project Sign | 2 | EA | \$2,000.00 | \$4,000.00 | \$550.00 | \$1,100.00 | \$500.00 | \$1,000.00 | \$1,275.00 | \$2,550.00 |
| 1-5 | Contingency | 1 | LS | \$10,000.00 | \$10,000.00 | \$10,000.00 | \$10,000.00 | \$10,000.00 | \$10,000.00 | \$10,000.00 | \$10,000.00 |
| 1-6 | Remove Concrete Sidewalk | 164 | SY | \$40.00 | \$6,560.00 | \$27.00 | \$4,428.00 | \$17.00 | \$2,788.00 | \$33.50 | \$5,494.00 |
| 1-7 | Remove Concrete Rip Rap | 35 | SY | \$100.00 | \$3,500.00 | \$27.00 | \$945.00 | \$60.00 | \$2,100.00 | \$63.50 | \$2,222.50 |
| 1-8 | Cut/Fill | 90 | CY | \$100.00 | \$9,000.00 | \$60.00 | \$5,400.00 | \$100.00 | \$9,000.00 | \$80.00 | \$7,200.00 |
| 1-9 | Cast Stone Logo with Creek Name | 3 | EA | \$2,000.00 | \$6,000.00 | \$4,500.00 | \$13,500.00 | \$1,000.00 | \$3,000.00 | \$3,250.00 | \$9,750.00 |
| 1-10 | Cast Stone Logo Flying R. | 3 | EA | \$500.00 | \$1,500.00 | \$1,500.00 | \$4,500.00 | \$1,000.00 | \$3,000.00 | \$1,000.00 | \$3,000.00 |
| 1-11 | Concrete End Columns, Grade Beam and End Caps | 66 | CY | \$900.00 | \$59,400.00 | \$900.00 | \$59,400.00 | \$650.00 | \$42,900.00 | \$900.00 | \$59,400.00 |
| 1-12 | Install 18" Dia. Concrete Pier, to 15' Depth | 4 | EA | \$2,200.00 | \$8,800.00 | \$1,900.00 | \$7,600.00 | \$3,400.00 | \$13,600.00 | \$2,050.00 | \$8,200.00 |
| 1-13 | Additional Pier Depth (18" Dia. Pier) | 5 | VF | \$120.00 | \$600.00 | \$135.00 | \$675.00 | \$85.00 | \$425.00 | \$127.50 | \$637.50 |
| 1-14 | 4' Sidewalk, 4" Thick Class "A" Concrete | 130 | SY | \$60.00 | \$7,800.00 | \$50.00 | \$6,500.00 | \$45.00 | \$5,850.00 | \$55.00 | \$7,150.00 |
| 1-15 | Install Reinforced Concrete Rip Rap | 50 | SY | \$150.00 | \$7,500.00 | \$50.00 | \$2,500.00 | \$65.00 | \$3,250.00 | \$100.00 | \$5,000.00 |
| 1-16 | Gabion Mat | 40 | CY | \$250.00 | \$10,000.00 | \$475.00 | \$19,000.00 | \$700.00 | \$28,000.00 | \$362.50 | \$14,500.00 |
| 1-17 | Install Stamped Concrete Sidewalk | 20 | SY | \$150.00 | \$3,000.00 | \$110.00 | \$2,200.00 | \$55.00 | \$1,100.00 | \$130.00 | \$2,600.00 |
| 1-18 | Remove and Install Barrier Free Ramp (Type B) | 1 | EA | \$4,000.00 | \$4,000.00 | \$2,000.00 | \$2,000.00 | \$1,000.00 | \$1,000.00 | \$3,000.00 | \$3,000.00 |
| 1-19 | Stone Cladding | 340 | SF | \$30.00 | \$10,200.00 | \$100.00 | \$34,000.00 | \$54.00 | \$18,360.00 | \$65.00 | \$22,100.00 |
| 1-20 | Remove Ex. Metal Bridge Rail | 180 | LF | \$40.00 | \$7,200.00 | \$15.00 | \$2,700.00 | \$20.00 | \$3,600.00 | \$27.50 | \$4,950.00 |
| 1-21 | Install Metal Railing | 185 | LF | \$250.00 | \$46,250.00 | \$210.00 | \$38,850.00 | \$200.00 | \$37,000.00 | \$230.00 | \$42,550.00 |
| 1-22 | Sodding | 95 | SY | \$7.00 | \$665.00 | \$5.00 | \$475.00 | \$8.00 | \$760.00 | \$6.00 | \$570.00 |
| 1-23 | Turf Reinforcement | 10 | SY | \$25.00 | \$250.00 | \$5.00 | \$50.00 | \$35.00 | \$350.00 | \$15.00 | \$150.00 |
| SUBTOTAL UNIT 1 | | | | \$285,225.00 | | \$282,573.00 | | \$202,083.00 | | \$283,899.00 | |
| CONTRACTOR'S BID | | | | \$283,975.00 | | Same | | | | | |

UNIT #2 - GREENWOOD HILLS SCREENING WALL/BRIDGE ENHANCEMENT

| ITEM NO. | DESCRIPTION | EST QTY | UNIT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT | UNIT PRICE | AMOUNT |
|---------------------------------------|--|---------|------|-------------|-----------------------|-------------|-----------------------|-------------|---------------------|-------------|-----------------------|
| 2-1 | Mobilization | 1 | LS | \$40,000.00 | \$40,000.00 | \$50,000.00 | \$50,000.00 | \$20,000.00 | \$20,000.00 | \$45,000.00 | \$45,000.00 |
| 2-2 | Project Sign | 3 | EA | \$2,000.00 | \$6,000.00 | \$550.00 | \$1,650.00 | \$500.00 | \$1,500.00 | \$1,275.00 | \$3,825.00 |
| 2-3 | Prepare SW3P for Erosion Control w/P-2 Inlet Protection | 1 | LS | \$5,000.00 | \$5,000.00 | \$7,150.00 | \$7,150.00 | \$2,500.00 | \$2,500.00 | \$6,075.00 | \$6,075.00 |
| 2-4 | Project Cleanup | 1 | LS | \$5,000.00 | \$5,000.00 | \$5,000.00 | \$5,000.00 | \$5,000.00 | \$5,000.00 | \$5,000.00 | \$5,000.00 |
| 2-5 | Remove and Replace Existing Wooden Fence | 402 | LF | \$40.00 | \$16,080.00 | \$45.00 | \$18,090.00 | \$8.00 | \$3,216.00 | \$42.50 | \$17,085.00 |
| 2-6 | Install, Maintain and Remove Temporary Fence | 5 | EA | \$2,000.00 | \$10,000.00 | \$1,000.00 | \$5,000.00 | \$650.00 | \$3,250.00 | \$1,500.00 | \$7,500.00 |
| 2-7 | Barricades, Signs and Traffic Handling | 4 | MO | \$17,000.00 | \$68,000.00 | \$2,500.00 | \$10,000.00 | \$2,500.00 | \$10,000.00 | \$9,750.00 | \$39,000.00 |
| 2-8 | Adjust Sanitary Sewer Cleanout | 1 | EA | \$1,000.00 | \$1,000.00 | \$350.00 | \$350.00 | \$300.00 | \$300.00 | \$675.00 | \$675.00 |
| 2-9 | Adjust Water Meter (3/4" to 2") | 1 | EA | \$2,000.00 | \$2,000.00 | \$2,500.00 | \$2,500.00 | \$300.00 | \$300.00 | \$2,250.00 | \$2,250.00 |
| 2-10 | Contingency | 1 | LS | \$35,000.00 | \$35,000.00 | \$35,000.00 | \$35,000.00 | \$35,000.00 | \$35,000.00 | \$35,000.00 | \$35,000.00 |
| 2-11 | Remove Concrete Sidewalk | 630 | SY | \$40.00 | \$25,200.00 | \$27.00 | \$17,010.00 | \$18.00 | \$11,340.00 | \$33.50 | \$21,105.00 |
| 2-12 | Remove Concrete Headwall | 161 | LF | \$150.00 | \$24,150.00 | \$30.00 | \$4,830.00 | \$25.00 | \$4,025.00 | \$90.00 | \$14,490.00 |
| 2-13 | Cast Stone Logo | 2 | EA | \$3,000.00 | \$6,000.00 | \$3,000.00 | \$6,000.00 | \$1,000.00 | \$2,000.00 | \$3,000.00 | \$6,000.00 |
| 2-14 | Install 24" Dia. Drilled Shaft and Pier Cap (15' Depth) | 3 | EA | \$2,500.00 | \$7,500.00 | \$2,250.00 | \$6,750.00 | \$1,500.00 | \$4,500.00 | \$2,375.00 | \$7,125.00 |
| 2-15 | Additional Pier Depth 24" Dia. Pier | 5 | VF | \$150.00 | \$750.00 | \$175.00 | \$875.00 | \$115.00 | \$575.00 | \$162.50 | \$812.50 |
| 2-16 | Install Stone Column Caps | 10 | EA | \$700.00 | \$7,000.00 | \$400.00 | \$4,000.00 | \$1,000.00 | \$10,000.00 | \$550.00 | \$5,500.00 |
| 2-17 | Install Col Brick & Stone Veneers-Intermediate & End Columns | 415 | SF | \$25.00 | \$10,375.00 | \$100.00 | \$41,500.00 | \$65.00 | \$26,975.00 | \$62.50 | \$25,937.50 |
| 2-18 | 4" Thick Non Reinforced Class "A" Concrete | 5 | SY | \$120.00 | \$600.00 | \$50.00 | \$250.00 | \$55.00 | \$275.00 | \$85.00 | \$425.00 |
| 2-19 | 12" Wide Mow Strip, Class "A" Concrete | 120 | SY | \$150.00 | \$18,000.00 | \$190.00 | \$22,800.00 | \$120.00 | \$14,400.00 | \$170.00 | \$20,400.00 |
| 2-20 | Cut/Fill | 215 | CY | \$100.00 | \$21,500.00 | \$60.00 | \$12,900.00 | \$100.00 | \$21,500.00 | \$80.00 | \$17,200.00 |
| 2-21 | Remove 6" Thick Concrete Mow strip (6" - 12" Wide) | 420 | LF | \$30.00 | \$12,600.00 | \$7.00 | \$2,940.00 | \$5.00 | \$2,100.00 | \$18.50 | \$7,770.00 |
| 2-22 | 6" Wide Mow Strip, Class "A" Concrete | 450 | SY | \$80.00 | \$36,000.00 | \$360.00 | \$162,000.00 | \$75.00 | \$33,750.00 | \$220.00 | \$99,000.00 |
| 2-23 | 5' Wide, 4" Thick Class "A" Concrete Sidewalk | 375 | SY | \$70.00 | \$26,250.00 | \$50.00 | \$18,750.00 | \$45.00 | \$16,875.00 | \$60.00 | \$22,500.00 |
| 2-24 | Remove & Install Barrier Free Ramp | 4 | EA | \$3,000.00 | \$12,000.00 | \$2,000.00 | \$8,000.00 | \$1,500.00 | \$6,000.00 | \$2,500.00 | \$10,000.00 |
| 2-25 | Single Panel Screening Wall-Brick, Column Veneers, Capital, Cast Stone House Numbers | 643 | LF | \$140.00 | \$90,020.00 | \$210.00 | \$135,030.00 | \$200.00 | \$128,600.00 | \$175.00 | \$112,525.00 |
| 2-26 | Reinforce Concrete Grade Beam | 87 | CY | \$800.00 | \$69,600.00 | \$950.00 | \$82,650.00 | \$450.00 | \$39,150.00 | \$875.00 | \$76,125.00 |
| 2-27 | Reinforce Concrete Pier Cap | 27 | CY | \$1,000.00 | \$27,000.00 | \$950.00 | \$25,650.00 | \$450.00 | \$12,150.00 | \$975.00 | \$26,325.00 |
| 2-28 | Reinforced Concrete 18" Dia. Pier (to 15' Depth) | 86 | EA | \$2,200.00 | \$189,200.00 | \$1,900.00 | \$163,400.00 | \$1,200.00 | \$103,200.00 | \$2,050.00 | \$176,300.00 |
| 2-29 | Additional Pier Depth (18" Dia. Pier) | 25 | VF | \$120.00 | \$3,000.00 | \$135.00 | \$3,375.00 | \$115.00 | \$2,875.00 | \$127.50 | \$3,187.50 |
| 2-30 | Entry Sign Feature - Brick, Column, Capital, Ornamental Steel (23 Linear Feet) | 6 | EA | \$4,000.00 | \$24,000.00 | \$34,000.00 | \$204,000.00 | \$13,250.00 | \$79,500.00 | \$19,000.00 | \$114,000.00 |
| 2-31 | Remove Existing Crepe Myrtle | 4 | EA | \$500.00 | \$2,000.00 | \$50.00 | \$200.00 | \$350.00 | \$1,400.00 | \$275.00 | \$1,100.00 |
| 2-32 | Remove Existing Shrubs | 250 | LF | \$20.00 | \$5,000.00 | \$10.00 | \$2,500.00 | \$8.00 | \$2,000.00 | \$15.00 | \$3,750.00 |
| 2-33 | Install Ornamental Tree | 28 | EA | \$500.00 | \$14,000.00 | \$300.00 | \$8,400.00 | \$450.00 | \$12,600.00 | \$400.00 | \$11,200.00 |
| 2-34 | Remove Ex. Metal Bridge Rail | 186 | LF | \$40.00 | \$7,440.00 | \$10.00 | \$1,860.00 | \$20.00 | \$3,720.00 | \$25.00 | \$4,650.00 |
| 2-35 | Install Metal Railing and Ornamentation | 197 | LF | \$250.00 | \$49,250.00 | \$335.00 | \$65,995.00 | \$350.00 | \$68,950.00 | \$292.50 | \$57,622.50 |
| 2-36 | Sodding | ##### | SY | \$7.00 | \$7,350.00 | \$5.00 | \$5,250.00 | \$8.00 | \$8,400.00 | \$6.00 | \$6,300.00 |
| 2-37 | Ground Cover and Bed Preparation | 164 | SY | \$7.00 | \$1,148.00 | \$517.00 | \$84,788.00 | \$325.00 | \$53,300.00 | \$262.00 | \$42,968.00 |
| 2-38 | 6" Thick, Harwood Mulch | 147 | SY | \$7.00 | \$1,029.00 | \$9.00 | \$1,323.00 | \$42.00 | \$6,174.00 | \$8.00 | \$1,176.00 |
| 2-39 | Decomposed Granite Over Weed Retardant Mat | 60 | SY | \$7.00 | \$420.00 | \$42.00 | \$2,520.00 | \$50.00 | \$3,000.00 | \$24.50 | \$1,470.00 |
| 2-40 | Install New Irrigation and Adjust Existing Irrigation System | 1 | LS | \$5,000.00 | \$5,000.00 | \$17,000.00 | \$17,000.00 | \$25,000.00 | \$25,000.00 | \$11,000.00 | \$11,000.00 |
| SUBTOTAL UNIT 2 | | | | | \$891,462.00 | | \$1,247,286.00 | | \$785,400.00 | | \$1,069,374.00 |
| CONTRACTOR'S BID | | | | | Same | | Same | | | | |
| BASE BID TOTAL (UNITS 1 AND 2) | | | | | \$1,176,687.00 | | \$1,529,859.00 | | \$987,483.00 | | \$1,353,273.00 |

ALTERNATIVE #1 - BRIDGE ENHANCEMENTS - CAMPBELL AT W. FORK COTTONWOOD CREEK (NORTH SIDE ONLY)

| ITEM NO. | DESCRIPTION | EST QTY | UNIT | UNIT PRICE | AMOUNT |
|------------------------------|--|---------|------|------------|---------------------|------------|---------------------|------------|---------------------|------------|---------------------|
| A1-1 | Prepare SW3P for Erosion Control w/P-2 Inlet Protection | 1 | LS | \$5,000.00 | \$5,000.00 | \$2,500.00 | \$2,500.00 | \$2,500.00 | \$2,500.00 | \$3,750.00 | \$3,750.00 |
| A1-2 | Cut/Fill | 40 | CY | \$100.00 | \$4,000.00 | \$60.00 | \$2,400.00 | \$100.00 | \$4,000.00 | \$80.00 | \$3,200.00 |
| A1-3 | Contingency | 1 | LS | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 |
| A1-4 | Remove Concrete Sidewalk | 167 | SY | \$40.00 | \$6,680.00 | \$27.00 | \$4,509.00 | \$17.00 | \$2,839.00 | \$33.50 | \$5,594.50 |
| A1-5 | Remove Concrete Headwall | 73 | LF | \$100.00 | \$7,300.00 | \$30.00 | \$2,190.00 | \$25.00 | \$1,825.00 | \$65.00 | \$4,745.00 |
| A1-6 | Cast Stone Logo | 1 | EA | \$2,000.00 | \$2,000.00 | \$3,000.00 | \$3,000.00 | \$600.00 | \$600.00 | \$2,500.00 | \$2,500.00 |
| A1-7 | Install 24" Dia. Drilled Shaft and Pier Cap (15' Depth) | 6 | EA | \$2,500.00 | \$15,000.00 | \$2,250.00 | \$13,500.00 | \$1,200.00 | \$7,200.00 | \$2,375.00 | \$14,250.00 |
| A1-8 | Additional Pier Depth 24" Dia. Pier | 5 | VF | \$120.00 | \$600.00 | \$175.00 | \$875.00 | \$115.00 | \$575.00 | \$147.50 | \$737.50 |
| A1-9 | Install Reinforce Retaining Wall | 10 | CY | \$1,000.00 | \$10,000.00 | \$1,800.00 | \$18,000.00 | \$800.00 | \$8,000.00 | \$1,400.00 | \$14,000.00 |
| A1-10 | Install 2' x 2' Concrete Columns and 2' x 2' Grade Beam | 16 | CY | \$800.00 | \$12,800.00 | \$950.00 | \$15,200.00 | \$800.00 | \$12,800.00 | \$875.00 | \$14,000.00 |
| A1-11 | Install Stone Column Caps | 6 | EA | \$500.00 | \$3,000.00 | \$400.00 | \$2,400.00 | \$1,000.00 | \$6,000.00 | \$450.00 | \$2,700.00 |
| A1-12 | Install Column Brick Veneers, Intermediate and End Columns | 240 | SF | \$25.00 | \$6,000.00 | \$100.00 | \$24,000.00 | \$65.00 | \$15,600.00 | \$62.50 | \$15,000.00 |
| A1-13 | 10' Sidewalk, 6" Thick Class "A" Concrete | 115 | SY | \$90.00 | \$10,350.00 | \$54.00 | \$6,210.00 | \$45.00 | \$5,175.00 | \$72.00 | \$8,280.00 |
| A1-14 | Remove Ex. Metal Bridge Rail | 72 | LF | \$40.00 | \$2,880.00 | \$15.00 | \$1,080.00 | \$20.00 | \$1,440.00 | \$27.50 | \$1,980.00 |
| A1-15 | Remove Ex. Willow Tree | 2 | EA | \$1,000.00 | \$2,000.00 | \$1,000.00 | \$2,000.00 | \$350.00 | \$700.00 | \$1,000.00 | \$2,000.00 |
| A1-16 | Install Metal Railing and Ornamentation | 92 | LF | \$250.00 | \$23,000.00 | \$345.00 | \$31,740.00 | \$350.00 | \$32,200.00 | \$297.50 | \$27,370.00 |
| A1-17 | Sodding | 40 | SY | \$7.00 | \$280.00 | \$5.00 | \$200.00 | \$8.00 | \$320.00 | \$6.00 | \$240.00 |
| SUBTOTAL ALTERNATE #1 | | | | | \$114,890.00 | | \$133,804.00 | | \$105,774.00 | | \$124,347.00 |
| CONTRACTOR'S BID | | | | | Same | | Same | | | | |

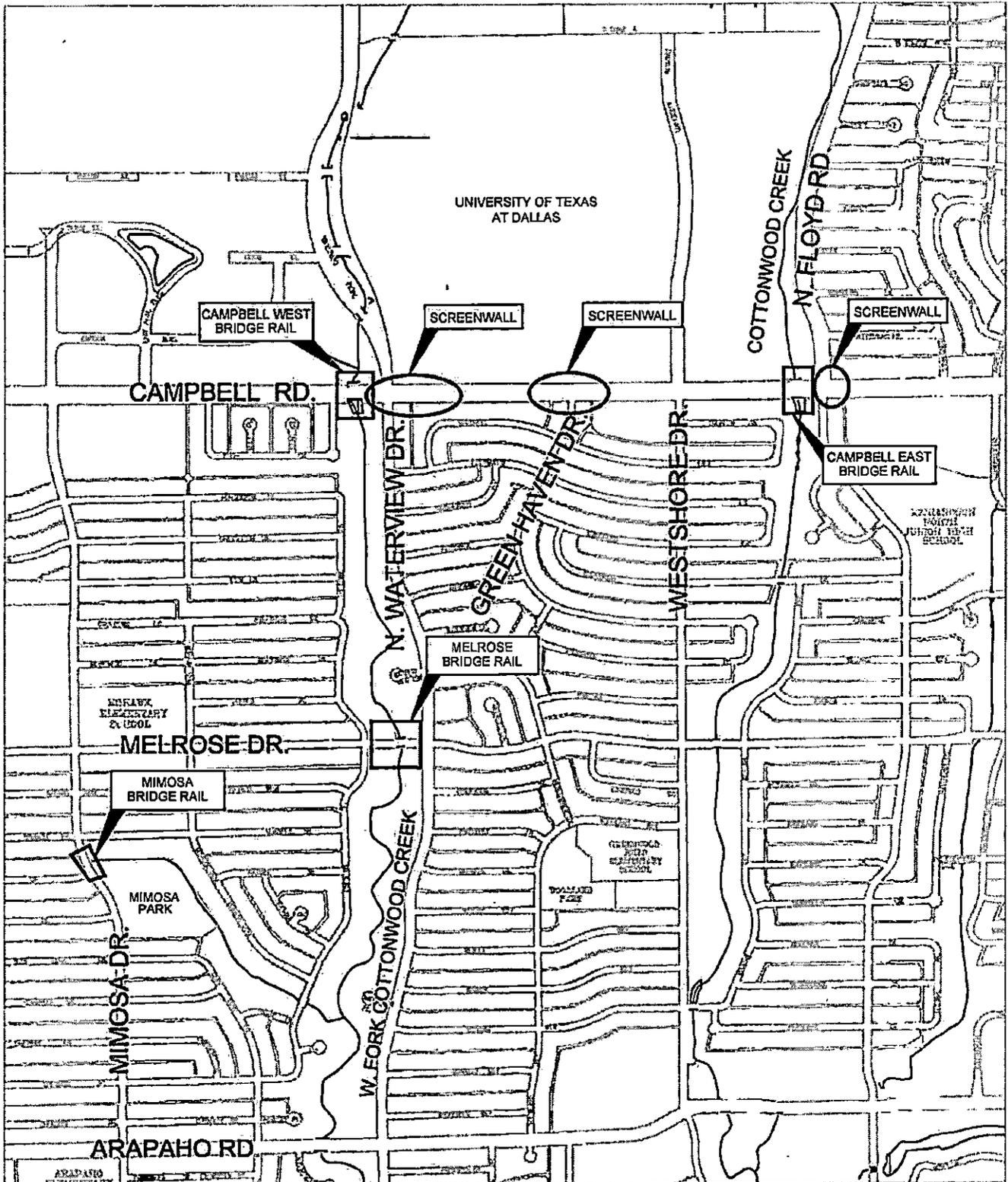
ALTERNATIVE #2 - BRIDGE ENHANCEMENTS - CAMPBELL AT COTTONWOOD CREEK (NORTH SIDE ONLY)

| ITEM NO. | DESCRIPTION | EST QTY | UNIT | UNIT PRICE | AMOUNT |
|--|---|---------|------|------------|-----------------------|------------|-----------------------|------------|-----------------------|------------|-----------------------|
| A2-1 | Prepare SW3P for Erosion Control w/P-2 Inlet Protection | 1 | LS | \$5,000.00 | \$5,000.00 | \$2,500.00 | \$2,500.00 | \$2,500.00 | \$2,500.00 | \$3,750.00 | \$3,750.00 |
| A2-2 | Cut/Fill | 100 | CY | \$100.00 | \$10,000.00 | \$60.00 | \$6,000.00 | \$100.00 | \$10,000.00 | \$80.00 | \$8,000.00 |
| A2-3 | Contingency | 1 | LS | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 | \$4,000.00 |
| A2-4 | Remove Concrete Headwall | 90 | LF | \$150.00 | \$13,500.00 | \$30.00 | \$2,700.00 | \$25.00 | \$2,250.00 | \$90.00 | \$8,100.00 |
| A2-5 | Cast Stone Logo | 1 | EA | \$500.00 | \$500.00 | \$3,000.00 | \$3,000.00 | \$600.00 | \$600.00 | \$1,750.00 | \$1,750.00 |
| A2-6 | Install 1.5' x 1.5' Concrete Columns and 2' x 2' Grade Beam | 18 | CY | \$1,000.00 | \$18,000.00 | \$950.00 | \$17,100.00 | \$650.00 | \$11,700.00 | \$975.00 | \$17,550.00 |
| A2-7 | Install Stone Column Caps | 6 | EA | \$500.00 | \$3,000.00 | \$400.00 | \$2,400.00 | \$1,000.00 | \$6,000.00 | \$450.00 | \$2,700.00 |
| A2-8 | Install Column Brick Veneers - Intermediate and End Columns | 175 | SF | \$30.00 | \$5,250.00 | \$100.00 | \$17,500.00 | \$65.00 | \$11,375.00 | \$65.00 | \$11,375.00 |
| A2-9 | Remove Ex. Metal Bridge Rail | 90 | LF | \$40.00 | \$3,600.00 | \$15.00 | \$1,350.00 | \$20.00 | \$1,800.00 | \$27.50 | \$2,475.00 |
| A2-10 | Install Metal Railing and Ornamentation | 103 | LF | \$250.00 | \$25,750.00 | \$340.00 | \$35,020.00 | \$350.00 | \$36,050.00 | \$295.00 | \$30,385.00 |
| A2-11 | Sodding | 90 | SY | \$7.00 | \$630.00 | \$5.00 | \$450.00 | \$8.00 | \$720.00 | \$6.00 | \$540.00 |
| SUBTOTAL ALTERNATE #2 | | | | | \$89,230.00 | | \$92,020.00 | | \$86,995.00 | | \$90,625.00 |
| CONTRACTOR'S BID | | | | | Same | | Same | | | | |
| SUBTOTAL ALTERNATE #1 AND ALTERNATE #2 | | | | | \$204,120.00 | | \$225,824.00 | | \$192,769.00 | | \$214,972.00 |
| TOTAL BASE BID AND ALTERNATES #1 & #2 | | | | | \$1,380,807.00 | | \$1,755,683.00 | | \$1,180,252.00 | | \$1,568,245.00 |

ENGINEERS ESTIMATE:
\$1,180,000

CERTIFIED BY:


Steve Spanos, P.E., Director of Engineering



**RESERVATION HOA BRIDGE ENHANCEMENTS: MELROSE DRIVE AT W. FORK
 COTTONWOOD CREEK AND MIMOSA DRIVE AT MIMOSA PARK
 GREENWOOD HILLS HOA SCREENING WALL EXTENSIONS AND BRIDGE ENHANCEMENTS:
 CAMPBELL ROAD - WATERVIEW DRIVE TO N. FLOYD ROAD
 CONSTRUCTION START OCTOBER 2015**



**CITY OF
 RICHARDSON
 TEXAS**

BID # 63-15 1" = 1000'