

**RICHARDSON CITY COUNCIL  
MONDAY, MAY 19, 2014  
WORK SESSION AT 6:00 PM; COUNCIL MEETING AT 7:30 PM  
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX**

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The Richardson City Council will conduct a Work Session at 6:00 p.m. on Monday, May 19, 2014 in the Richardson Room of the Civic Center, 411, W. Arapaho Road, Richardson, Texas. The Work Session will be followed by a Council Meeting at 7:30 p.m. in the Council Chambers. Council will reconvene the Work Session following the Council Meeting if necessary.

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

**WORK SESSION – 6:00 PM, RICHARDSON ROOM**

• **CALL TO ORDER**

**A. PRESENT PROCLAMATION FOR MOTORCYCLE SAFETY AWARENESS MONTH**

**B. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA**

*The City Council will have an opportunity to preview items listed on the Council Meeting agenda for action and discuss with City Staff.*

**C. REVIEW AND DISCUSS THE STATUS OF WATER RESTRICTIONS**

**D. REVIEW AND DISCUSS THE 2014 MOSQUITO CONTROL PROGRAM REVIEW**

**E. REVIEW AND DISCUSS BUILDING SAFETY MONTH**

**F. REPORT ON ITEMS OF COMMUNITY INTEREST**

*The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.*

**COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS**

**1. INVOCATION – SCOTT DUNN**

**2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – SCOTT DUNN**

**3. VISITORS**

*The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a “City Council Appearance Card” and present it to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns will be addressed by City Staff, may be placed on a future agenda, or by some other course of response.*

**PUBLIC HEARING ITEMS:**

4. PUBLIC HEARING, ZONING FILE 14-03: A REQUEST BY KIRK HERMANSEN, REPRESENTING HERMANSEN LAND DEVELOPMENT, FOR A CHANGE IN ZONING FROM PD PLANNED DEVELOPMENT (WEST SPRING VALLEY CORRIDOR PD) TO PD PLANNED DEVELOPMENT/MAJOR MODIFICATION TO ACCOMMODATE THE DEVELOPMENT OF MULTIPLE RESTAURANT PAD SITES ON APPROXIMATELY 5.1 ACRES. THE PROPERTY IS LOCATED AT THE SOUTHWEST CORNER OF US-75 AND JAMES DRIVE AND IS CURRENTLY ZONED PD PLANNED DEVELOPMENT.
5. PUBLIC HEARING, ZONING FILE 14-12: A REQUEST BY HARRY PURDOM, REPRESENTING H. PURDOM, INC., FOR A CHANGE IN ZONING FROM O-M OFFICE AND LR-M(2) LOCAL RETAIL TO PD PLANNED DEVELOPMENT FOR THE DEVELOPMENT OF A 13-LOT PATIO HOME DEVELOPMENT ON APPROXIMATELY 1.8 ACRES. THE PROPERTY IS LOCATED ON THE NORTH SIDE OF OLD CAMPBELL ROAD AT THE INTERSECTION OF NANTUCKET DRIVE AND IS CURRENTLY ZONED O-M OFFICE AND LR-M(2) LOCAL RETAIL.
6. PUBLIC HEARING TO CONSIDER THE ADOPTION OF AN ORDINANCE AMENDING ORDINANCE NO. 3279 UPDATING THE INCENTIVES WHICH MIGHT BE AVAILABLE TO THE TEXAS ENTERPRISE ZONE PROGRAM UNDER EXISTING CITY OF RICHARDSON POLICY, BUT WHICH ARE NOT CURRENTLY OFFERED UNDER ORDINANCE NO. 3729.
7. APPROVAL OF ORDINANCE NO. 4050, AMENDING ORDINANCE NO. 3279 UPDATING THE INCENTIVES WHICH MIGHT BE AVAILABLE TO THE TEXAS ENTERPRISE ZONE PROGRAM UNDER EXISTING CITY OF RICHARDSON POLICY, BUT WHICH ARE NOT CURRENTLY OFFERED UNDER ORDINANCE NO. 3729.

**ACTION ITEMS:**

8. A REQUEST BY ERIKA SANTIVANEZ, REPRESENTING TINEO BAKERY, FOR APPROVAL OF A VARIANCE TO CHAPTER 4 OF THE CODE OF ORDINANCES TO ALLOW THE SALE OF ALCOHOLIC MIXED BEVERAGES IN RESTAURANTS BY A FOOD AND BEVERAGE CERTIFICATE HOLDER WITHIN 300 FEET OF A CHURCH. THE SITE IS LOCATED AT 525 W. ARAPAHO ROAD, ON THE SOUTH SIDE OF ARAPAHO ROAD, WEST OF CUSTER ROAD.

**9. CONSENT AGENDA:**

*All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.*

**A. CONSIDER THE FOLLOWING RESOLUTIONS:**

1. RESOLUTION NO. 14-09, IN SUPPORT OF THE UNIVERSITY TRAIL TRANSPORTATION ALTERNATIVE PROGRAM PROJECT.
2. RESOLUTION NO. 14-10, DENYING THE RATE INCREASE REQUESTED BY ATMOS ENERGY CORP., MID-TEX DIVISION UNDER THE COMPANY'S 2014 ANNUAL RATE REVIEW MECHANISM FILING IN ALL CITIES EXERCISING ORIGINAL JURISDICTION; REQUIRING THE COMPANY TO REIMBURSE CITIES' REASONABLE RATEMAKING EXPENSES PERTAINING TO REVIEW OF THE RRM; AUTHORIZING THE CITY'S PARTICIPATION WITH ATMOS CITIES STEERING COMMITTEE IN ANY APPEAL FILED AT THE RAILROAD COMMISSION OF TEXAS BY THE COMPANY; REQUIRING THE COMPANY TO REIMBURSE CITIES' REASONABLE RATEMAKING EXPENSES IN ANY SUCH APPEAL TO THE RAILROAD COMMISSION; DETERMINING THAT THIS RESOLUTION WAS PASSED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS OPEN MEETINGS ACT; AND REQUIRING DELIVERY OF THIS RESOLUTION TO THE COMPANY AND THE STEERING COMMITTEE'S LEGAL COUNSEL.

3. RESOLUTION NO. 14-11, NOMINATING HEALTH CARE SERVICE CORPORATION, A MUTUAL LEGAL RESERVE COMPANY, D/B/A BLUE CROSS AND BLUE SHIELD OF TEXAS ("HCSC"), AS A TEXAS STATE ENTERPRISE ZONE PROJECT.
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- **ADJOURN**

I CERTIFY THE ABOVE AGENDA WAS POSTED ON THE BULLETIN BOARD AT THE CIVIC CENTER/CITY HALL ON FRIDAY, MAY 16, 2014, BY 5:00 P.M.

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AIMEE NEMER, CITY SECRETARY

ACCOMMODATION REQUESTS FOR PERSONS WITH DISABILITIES SHOULD BE MADE AT LEAST 48 HOURS PRIOR TO THE MEETING BY CONTACTING SUSAN MATTISON, ADA COORDINATOR, VIA PHONE AT 972 744-0809, VIA EMAIL AT ADACoordinator@cor.gov, OR BY APPOINTMENT AT 1621 E. LOOKOUT DRIVE, RICHARDSON, TX 75082.

**WHEREAS:** Today's society is finding more citizens involved in motorcycling on the roads of our country; and motorcyclists are roughly unprotected and more prone to injury or death in a crash than other vehicle drivers; and

**WHEREAS:** Campaigns have helped inform riders and motorists alike on motorcycle safety issues to reduce motorcycle related risks, injuries, and most of all fatalities, through a comprehensive approach to motorcycle safety; and

**WHEREAS:** It is the responsibility of all who put themselves behind the wheel, to become aware of motorcyclists, regarding them with the same respect as any other vehicle traveling the highways of this country; and

**WHEREAS:** Urging all citizens of our community to become aware of the inherent danger involved in operating a motorcycle and give the operator the respect on the road they deserve.

**NOW, THEREFORE,** I, Laura Maczka, Mayor of the City of Richardson, Texas, do hereby proclaim the month of May 2014 as:

**MOTORCYCLE SAFETY AWARENESS MONTH**

in the City of Richardson, Texas and urge all residents to do their part to increase safety and awareness in our community.

**IN WITNESS WHEREOF,** I have hereunto set my hand and caused the seal of the City to be affixed on this 19th day of May 2014.



City of Richardson  
City Council Worksession  
Agenda Item Summary



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**City Council Meeting Date:** Monday, May 19, 2014

**Agenda Item:** Review and Discuss the Status of Water Restrictions

**Staff Resource:** Don Magner, Assistant City Manager

**Summary:** A status report on the current drought will be provided. The status of water restrictions will also be discussed in light of the latest conditions assessment.

**Board/Commission Action:** N/A

**Action Proposed:** N/A



City of Richardson  
City Council Worksession  
Agenda Item Summary



**City Council Meeting Date:** Monday, May 19, 2014

**Agenda Item:** 2014 Mosquito Control Program Review

**Staff Resource:** Bill Alsup, Director of Health

**Summary:** Briefing on City's mosquito control and West Nile Virus control measures for 2014

**Board/Commission Action:** N/A

**Action Proposed:** N/A





City of Richardson  
City Council Worksession  
Agenda Item Summary



**City Council Meeting Date:** Monday, May 19, 2014

**Agenda Item:** Review and Discuss Building Safety Month

**Staff Resource:** Don Magner, Assistant City Manager

**Summary:** Building Safety Month is a month-long celebration of all aspects of building safety that helps families, employers and leaders understand and appreciate the best practices that keep the places we live, work and play safe. Staff will present an overview of Richardson's celebration as well as a status on numerous high profile constructions projects throughout the City.

**Board/Commission Action:** N/A

**Action Proposed:** N/A



# MEMO

**DATE:** May 15, 2014  
**TO:** Honorable Mayor and City Council  
**FROM:** Sam Chavez, Assistant Director of Development Services SC  
**SUBJECT:** Zoning File 14-03 – Restaurant Park

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## REQUEST

Kirk Hermansen, Hermansen Land Development was originally requesting to rezone approximately 5.1 acres of land located at the southwest corner of US-75 and James Drive from PD Planned Development District (West Spring Valley Corridor PD) to PD Planned Development to accommodate the development of multiple restaurant pad sites.

Following the City Plan Commission's meeting on April 15, 2014, the applicant met with surrounding Neighborhood Associations. Based on the outcome of those meetings, it was determined that another option would be to seek approval of "a major modification" from the WSVC-PD standards in lieu of a Planned Development District, thereby, preserving the WSVC-PD on the subject site for future developments in the event that the currently proposed development does not come to fruition.

The WSVC-PD allows requests for a "major modification" for development plans that do not conform to the adopted development standards for the specific area. As defined a "major modification" is identical to a change in zoning and is processed accordingly. The case was advertised as both a planned development/major modification request; therefore, the City Council can consider the applicant's revised request.

## BACKGROUND

Attached are the exhibits considered by the City Plan Commission (Concept Plan-Exhibit "B", Development Standards-Exhibit "B-1" and Sign Standards-Exhibit "C") and the applicant's revised exhibits as a result of meetings held with neighborhood representatives (Concept Plan-Exhibit "B"-Revised, Development Standards-Exhibit "B-1"-Revised and Sign Standards-Exhibit "C"-Revised).

The site consists of six (6) separate lots totaling 5.1 acres. As shown on the Concept Plan (Exhibit "B"-Revised), two (2) lots along Floyd Road and the two (2) lots at the corner of James Drive and US-75 are not under the control of the applicant and are not included in the Concept Plan; therefore, the lots will retain their WSVC-PD zoning.

The previous proposed development included four (4) stand-alone buildings with outdoor dining, for a combined total of 20,427 square feet designated for future restaurant occupancy. The revised concept plan depicts two (2) stand-alone buildings and a single multi-tenant building surrounding a common courtyard area and a single stand-alone building on the south end of the site for a combined total of 25,004 square feet. All proposed buildings provide for outdoor dining.

The common courtyard area and additional adjacent open space encompasses approximately 10,400 square feet of useable open space and includes hardscape with tree well planting areas and a water feature. As proposed the paving would be carried into the adjoining parking area to help create a focal point.

Internal and perimeter pedestrian connectivity is achieved through sidewalks, a meandering sidewalk along the US-75 frontage road and the proposed Pedestrian Zone along James Drive and Floyd Road.

Screening walls, ranging in height from eight (8) feet to sixteen (16) feet are proposed adjacent to the lots not included in the request for screening purposes and to provide visual interest. Visual interest will be provided through the choice of materials which includes masonry or hardi-board planks or wood constructed in a horizontal or woven manner. In addition, a wire mesh landscape wall with signage art is proposed adjacent to the proposed screening wall of the east and south property line of the lots not included in the request along Floyd Road.

At its May 6, 2014 meeting, the City Plan Commission's general consensus was that the plan did not fit the vision for West Spring Valley and that it was too early to abandon the WSVC-PD.

Those in support of the proposed development cited increased employment, stand-alone restaurants (not drive-through); strengthening redevelopment in other parts of the City; and the potential to jump start West Spring Valley revitalization.

Those in opposition to the proposed development cited the project did not conform to the current WSVC-PD; the quality of the project was insufficient to justify a change in zoning; the plan did not include adjacent blighted properties; the potential to negatively impact citizen participation in future redevelopment studies and plans; increased traffic affecting adjacent neighborhood and school and concerns that this was the first project to come along and urged patience in waiting for a better plan.

#### **PLAN COMMISSION RECOMMENDATION**

On April 15, 2014, the City Plan Commission, by a vote of 7-0, recommended denial of applicant's request. On April 24, 2014, the applicant submitted a letter requesting an appeal of the Commission's recommendation to City Council.

**Since the City Plan Commission recommended denial of Zoning File 14-03, an affirmative vote of six (6) of the seven (7) Council members is required to approve the applicant's original or amended request.**

#### **ATTACHMENTS**

CC Public Hearing Notice	Zoning Exhibit (Exhibit "B"-Revised)
Draft CPC Minutes 04-15-2014	Proposed PD Standards and Regulations (Exhibit "B-1"-Revised)
Staff Report	Proposed Sign Standards (Exhibit "C"-Revised)
Zoning Map	Site Photos
Aerial Map	Applicant's Statement
Oblique Aerial Looking North	Notice of Public Hearing
Zoning Exhibit (Exhibit "B")	Notification List
Proposed PD Standards and Regulations (Exhibit "B-1")	Correspondence in Support
Proposed Sign Standards (Exhibit "C")	Correspondence in Opposition



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Attn. Lynda Black  
Publication for Dallas Morning News – Legals  
Submitted on: April 30, 2014  
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office  
P.O. Box 830309  
Richardson, TX 75083-0309

FOR PUBLICATION ON: May 2, 2014

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**City of Richardson  
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:30 p.m. on Monday, May 19, 2014, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

**ZF 14-03**

A request by Kirk Hermansen, representing Hermansen Land Development, for a change in zoning from PD Planned Development (West Spring Valley Corridor PD) to PD Planned Development/Major Modification to accommodate the development of multiple restaurant pad sites on approximately 5.1 acres. The property is located at the southwest corner of US-75 and James Drive and is currently zoned PD Planned Development.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

**The City of Richardson**  
/s/ Aimee Nemer, City Secretary

**EXCERPT**  
**CITY OF RICHARDSON**  
**CITY PLAN COMMISSION MINUTES –APRIL 15, 2014** (*Eight Pages*)

**PUBLIC HEARING**

**ZF 14-03 - Restaurant Park:** Consider and take necessary action on a request for a change in zoning from PD Planned Development (West Spring Valley Corridor PD) to PD Planned Development to accommodate the development of multiple restaurant pad sites on approximately 5.1 acres. The property is located at the southwest corner of US 75 and James Drive.

Mr. Chavez advised that in 2010 the City initiated the West Spring Valley Corridor Reinvestment Study (Study) that encompassed approximately 200 acres of land north of West Spring Valley to James Drive, between Coit Road and US 75. The Study resulted in the adoption of the West Spring Valley Corridor PD (WSVPD) and the identification of several catalyst sites that could “kick start” redevelopment in the area with the property in question being one of those sites.

Mr. Chavez stated a vision had been proposed for the site that included a mixed-use environment, which would include ground floor retail, office, residential above, and possibly a hotel that would be oriented towards US 75. He reminded the Commission the PD did not require any of the stated uses, but the uses were a vision of what might develop on the site.

Mr. Chavez pointed out that after the rezoning of the Study in 2011, the design standards (similar to form based code) were based on specific location and the property in question allowed retail, commercial, residential, institutional office, and other accessory uses. In addition, the design standards allowed for administrative approval of development plans as long as the plans conformed to the PD for the sub-district.

Regarding the current application for rezoning, Mr. Chavez stated the applicant was proposing to develop four free standing buildings with a total of 20,500 square feet on the 5.1 acre lot with 360 parking spaces. He noted the applicant’s request had three parts: 1) Concept Plan, Exhibit B; 2) Development Standards, Exhibit B1; 3) Sign Standards and reviewed aspects of the standards including:

- allowable uses (restaurants already allowed under current PD)
- building regulations (height and masonry standards)
- landscape
- parking regulations
- streetscape
- buffer zones
- screening
- lighting
- signs (proposed signs exceed height and area requirements of current PD)

Mr. Chavez concluded his presentation noting that prior to the meeting 20 letters had been received in opposition and 76 in favor.

Commissioner Frederick asked about the size of the “EAT” sign, and whether or not the Ponchos, Taco Republic and Texas Title were included in the application.

Mr. Chavez replied the Taco Republic property was included, but the other two were not.

Commissioner Linn asked if the City had made any overtures to the owner of the two properties not included in the application.

Mr. Chavez said that as far as he was aware, the City had not approached the owner of those properties, but suggested the applicant may have further information.

Vice Chair Bright asked if there had been a demand for the property in question after the demolition of the old Continental Inn.X:\Zoning\Zoning Cases\2014\ZF 14-03 Restaurant Park - 750 SCX\2014-05-19 CC Packet Info\ZF 14-03 EXCERPT of Approved CPC Mins 2014-04-15.docx

Mr. Chavez replied the current application was the first development application received in the WSVPD with the majority of the other applications dealing with maintenance type issues (painting, repairs, update landscaping, etc.).

Commissioner Roland asked to compare the “EAT” sign to other signs in the area. He also wanted to know if there was a timeframe associated with the completion of the development in the WSVPD

Mr. Chavez replied the Alamo Draffhouse sign was 50 feet tall, which would compare in size to the proposed sign.

Regarding a timeframe, Mr. Chavez stated the purpose of the WSVPD was to establish a set of standards that would promote redevelopment in the area; however, from a typical planning standpoint redevelopment can take decades to complete.

Commissioner Ferrell noticed the streetscape standards match the WSVPD, but wanted to know why the height and signage standards did not.

Mr. Chavez replied stating the existing WSVPD required two story structures and had established “build to” zones, whereas, the proposed development only had one story structures and no “build to” zones.

Chairman Hand asked why the applicant was proposing a new planned development as opposed to a major modification to the WSVPD. He asked to confirm that if the request was approved, would the existing planned development be split into two pieces.

Mr. Chavez said that when he began to review the application, it made more sense to look at the application as a new planned development as opposed to going through the extensive WSVPD and highlight every element that was not in compliance.

Regarding the separation of the existing planned development into two pieces, Mr. Chavez replied the property on the north side of James Drive and the property where the Ponchos and Texas Title are located would remain in the WSVPD, but the proposed development would not.

Commissioner Hand asked why the proposed sign did not comply with the WSVPD.

Mr. Chavez stated the proposed sign did not meet the height or allowable sign area of the WSVPD, and staff originally suggested a reduction in height for the proposed sign from 50 feet to 35 feet, however, the applicant preferred to keep the 50-foot sign as a means of attracting more business especially from US 75.

With no further questions for the staff, Chairman Hand opened the public hearing.

Mr. Kirk Hermansen, Hermansen Land Development, 5944 Luther Lane, Dallas, Texas, acknowledged that the proposed project did not meet the vision for the WSVPD, but asked the Commission to listen to his proposal and why he thought the project would stand on its own merit and could be a catalyst to start redevelopment in the area.

Mr. Hermansen gave a brief history of the site and the proposed development stating the City had been overlooked for casual dining and felt the project was an anomaly to the rest of the WSVPD by not being located along West Spring Valley Road, mid-block on US 75, and bordered by primary streets which did not make the site a likely area for vertical, mixed-use development.

Mr. Hermansen presented a rendering of the proposed development noting the uniformity throughout the architectural features but at the same time allowing for the individual identity of the four proposed restaurant sites. In addition, it was learned during feedback from the neighborhood associations that they would like to see multi-tenant buildings and he was open to that suggestion if the Commission so desired.

Mr. Hermansen reminded the Commission that the WSVPD was similar to a form based code in that it allowed restaurant use, but mixed-use development was not required. He acknowledged that a drive-through would not be allowed and they would be required to have uniform signage, which at the proposed height would be necessary to capture the attention of the traffic on US 75.

Commissioner Frederick asked if one of the proposed multi-tenant buildings could be a Star Bucks without a drive through.

Mr. Hermansen replied they would like to have a Starbucks but it just not available at this time for this site.

Commissioner Roland asked if there would be a chance to move the utilities underground.

Mr. Hermansen said he would like to see that happen but it would depend on the utility company and they were not likely to put those underground.

Commissioner DePuy asked if there would be pedestrian access from Floyd Road into the restaurant park.

Mr. Hermansen replied that in addition to sidewalks around the entire perimeter, there would be a meeting area at the corner of Floyd and James Roads with enhanced streetscape, plantings and park benches.

Commissioner Roland asked what type of outreach the applicant had conducted with the surrounding neighborhood associations.

Mr. Hermansen said he met with the presidents and their delegates from some of the surrounding neighborhood associations and some of the changes that came out of that meeting were an increase in architecture requirements to promote more uniformity, and increase to some landscape requirements, and a change to the sign requirements.

Commissioner Roland noted that most restaurants have their own “look” and asked the applicant to define what was meant by uniformity in architecture.

Mr. Hermansen replied that what he heard at the meeting with the neighborhood association was the proposed restaurant park was not appropriate for their neighborhood, but he took that to mean the architecture needed to be enhanced and better illustrated in a rendering.

Commissioner Linn asked if contact had been made with the property owners of the Ponchos and Texas Title.

Mr. Hermansen said one of the reasons it took him three years to bring the proposed development to the City was the time spent working with the corporate office of Texas Title. In addition, another piece of property was offered to Texas Title, and it looked like that deal would go through, but Texas Title changed their mind. He added the owner of Ponchos was willing to sell, but without the Texas Title location it did not make sense to go through with the deal.

The other piece of property, the veterinary clinic, was under contract with a first right of refusal and again another location was offered, but the owner invoked the first right of refusal and the deal did not go through.

Vice Chair Bright asked staff if they concurred with the applicant’s opinion that the property was not suitable for a vertical, mixed-use development.

Mr. Chavez replied that staff would have to sit down and layout a development with a mixed-use component, much of which would be contingent upon building setbacks, parking and building heights, and until that was done, he could not offer an opinion.

Chairman Hand asked the applicant what type of stimulus the proposed development would provide. He also wanted to know if restaurants would ordinarily be developed mid-block as opposed to the end of the block.

Mr. Hermansen said he hoped it would show that someone could come to Richardson in the redevelopment zone and work with the City and land owners to make something happen. He added that the effect on the neighboring business would be very positive as well as bringing a multi-family developer along West Spring Valley Road.

Regarding developing restaurants mid-block, Mr. Hermansen stated that restaurants that are free standing, casual dining, and national chains want sites with high traffic or dense neighborhood populations, both of which this site has.

Chairman Hand asked why the applicant thought multi-family would not work on the site.

Mr. Hermansen replied that multi-family alone could work on the site, but not if it was integrated with office, retail, restaurants and parking structures.

Chairman Hand pointed out that development in Richardson had increased greatly over past years and he did not share the belief that some other type of development was possible on the site.

Mr. Hermansen said development in the area should get stronger over the next few years and felt a restaurant park would be a catalyst for new development in the area; however, he still did not think the site in question was suitable for a high-rise, mixed-use development.

Commissioner Frederick stated that she did not see an overall theme presented in the rendering from the applicant and asked him to clarify his vision.

Mr. Hermansen replied that in a multi-tenant building it was easier to have a theme, but in the stand alone pads there will be a palate of colors, building material and signs types that will create a unified theme yet still provide some distinction among the restaurants.

Commissioner Frederick asked if a multi-tenant building was possible and Mr. Hermansen said one or two multi-tenant buildings were possible.

Chairman Hand recessed the meeting for a short break and when he called the meeting back to order at 9:45 p.m. he called for other comments in favor.

The following individuals spoke in favor of the proposed development citing increased employment, stand-alone restaurants (not drive-through); could strengthen redevelopment in other parts of the City; and the potential to jump start West Spring Valley revitalization.

- Mr. John Simpson, 421 Scottsdale Drive, Richardson, Texas 75080
- Mr. Ed Hassler, 912 Chadwick, Richardson, Texas 75080
- Mr. Tommy Mann, attorney for Richardson Veterinary Clinic, 733 S. Floyd Richardson, Texas 75080 (not opposed, but concerned about impact on his client's property)
- Mr. Joe Berry, 807 Dumont Drive, Richardson, Texas 75080
- Ms. Shelly Taylor, 1205 Northlake Drive, Richardson, Texas 75080
- Mr. Daniel Eng, 749 Sunkist Lane, Plano, Texas 75025
- Mr. Kelly Norwood, 104 N. Dorothy, Richardson, Texas 75081

The following individuals spoke in opposition to the proposed development stating the project did not conform to, and was disruptive to, the current WSVPD; the quality of project was insufficient to justify a change in zoning; plan did not include adjacent blighted properties; has the potential to negatively impact citizen participation in future redevelopment studies and plans; increased traffic affecting adjacent neighborhood and school; concerns about economic sustainability, property values and possible future blight; and concerns that this was the first project to come along and urged patience in waiting for a better plan.

- Mr. Richard Dotson, 733 Nottingham Drive, Richardson, Texas 75080
- Mr. Jason Lemons, 1119 Wildwood Lane, Richardson, Texas 75080
- Mr. Alan Wallace, 725 Devonshire Drive, Richardson, Texas 75080
- Mr. Tom Norman, 714 Laguna Drive, Richardson, Texas 75080
- Mr. Paul Johnson, 708 Hyde Park Drive, Richardson, Texas 75080
- Mr. David Knepper, 101 Shadywood Lane, Richardson, Texas 75080
- Ms. Amy Holzle, 712 Nottingham Drive, Richardson, Texas 75080
- Mr. Luke Sammons, 800 Downing Drive, Richardson, Texas 75080
- Ms. Kay McManus, 720 Nottingham Drive, Richardson, Texas 75080
- Mr. Andrew Laska, 502 Hyde Park Drive, Richardson, Texas 75080
- Mr. Marcos Fernandez, 616 Devonshire Drive, Richardson, Texas 75080
- Mr. Mike Foulk, 632 Downing Drive, Richardson, Texas 75080
- Ms. Sandy Hanne, 637 W. Belt Line Road, Richardson, Texas 75080
- Mr. Kenneth Kirklin, 751 James Drive, Richardson, Texas 75080
- Ms. Pat Meyer, 308 Hyde Park Drive, Richardson, Texas 75080
- Mr. Sheldon Anderson, 254 Country Court, Argyle, Texas 76226 (property owner)
- Ms. April Swales, 759 James Drive, Richardson, Texas 75080
- Mr. Greg Brown, 755 James Drive, Richardson, Texas 75080

In addition to those who spoke, staff received thirty-three (33) appearance cards in opposition.

Chairman Hand asked Mr. Hermansen if he wanted to rebut any comments made in opposition.

Mr. Hermansen acknowledged the emotions behind some of the comments and noted there had been attempts to purchase the three pieces of property not included in the request, but unfortunately the deals could not come to fruition.

Regarding some of the other concerns presented, Mr. Hermansen gave the following comments:

- Possible impact on property values - the investment of \$10 million would raise the property values in the surrounding areas.
- Traffic – even with the current mixed-use zoning, traffic will be a concern and should be addressed.
- Quality of tenants – drive-through restaurants will not be allowed.
- Sustainability – whether mixed-use, retail, or commercial there is always a risk.
- First Development Plan – just because the proposal was the first did not mean it was not good for the area.

With no further comments or questions, Chairman Hand closed the public hearing.

Vice Chair Bright said he liked the restaurants and was not opposed to the signage, but felt the plan did not fit the vision for West Spring Valley and it was too early to abandon the WSVPD.

Commissioner Frederick stated she was in agreement with Mr. Bright and was disappointed with what she saw as the City's participation in the plan. She added that she liked the applicant's vision, but felt the area in question was not the right location.

Commissioner Maxwell said he also agreed with Mr. Bright and Ms. Frederick and felt the proposed plan was not the best use of the site. He also thought it was too soon to abandon the WSVPD and all the work that went into that project.

Commissioner Roland asked if the City had invested a large amount of capital in the property and, if the request was not approved, would the capital be tied up for a long period of time before another development was proposed.

Mr. Chavez replied he did not have the information on how much money was spent, but the City did purchase the property and money had been spent on the demolition of the old hotel.

Commissioner Linn stated he would be voting against the proposal because he was concerned about citizen perception if the WSVPD was abandoned after the many hours of community involvement that was involved during the development of the PD.

Chairman Hand said that regardless of what happened during the meeting, he hoped the applicant would stay engaged in the property and thanked him for his willingness to step out

even during less than favorable economic times. Hand also complimented the audience for participating in the discussion and having an upbeat attitude about future development for the area.

Commissioner DePuy wanted to remind the audience that the Commission was charged with deciding the best land uses for project within the City as a whole and the fact that no matter what was developed on the property, traffic would increase in the area. She added that the City would have to be flexible to find the right project for the area, which may or may not include the original vision. DePuy suggested the applicant, citizens and the City should work together to develop a sustainable development plan more in line with the WSVPD.

**Motion:** Commissioner Maxwell moved to recommend denial of Zoning File 14-03 as presented; second by Vice Chair Bright. Motion approved 7-0.



## Staff Report

**TO:** City Council  
**FROM:** Sam Chavez, Assistant Director of Development Services *SC*  
**DATE:** May 15, 2014  
**RE:** **Zoning File 14-03:** Restaurant Park

### REQUEST:

Rezone the existing PD Planned Development District (West Spring Valley Corridor PD) to PD Planned Development for approximately 5.1 acres of land to accommodate the development of multiple restaurant pad sites.

### APPLICANT / PROPERTY OWNERS:

Kirk Hermansen, Hermansen Land Development / City of Richardson, 760 10233 CE LTD, CPC Sing Trust, Floyd Central LTD, and Alan Garonzik.

### TRACT SIZE AND LOCATION:

Approximately 5.1 acres, located at the southwest corner of US-75 and James Drive.

### EXISTING DEVELOPMENT:

The majority of the property is the location of the recently demolished Continental Inn Hotel. The remainder of the 5.1 acres is developed with small retail/office/automotive related buildings.

### ADJACENT ROADWAYS:

**US-75:** Freeway/Turnpike; 238,000 vehicles per day on all lanes, northbound and southbound, south of Campbell Road (2013).

**Floyd Road:** Four-lane, undivided minor collector; 1,800 vehicles per day on all lanes, northbound and southbound, between James Drive and the US-75 frontage road (February 2013).

**James Drive:** Two-lane, local street; no traffic counts available.

### SURROUNDING LAND USE AND ZONING:

**North:** Retail/Commercial; PD Planned Development  
**South:** Retail/Commercial; PD Planned Development  
**East:** Retail/Commercial; C-M Commercial  
**West:** Public/Institutional/School & Single Family; R-1100-M Residential

## **FUTURE LAND USE PLAN:**

*The site is located in the West Spring Valley Corridor PD, which was approved in June 2011. The District was adopted as part of the West Spring Valley Corridor Reinvestment Strategy and established a pedestrian-oriented district with an infrastructure of streets and buildings that are flexible in terms of use to attract ongoing reinvestment.*

## **Future Land Uses of Surrounding Area:**

North: Enhancement/Redevelopment

South: Enhancement/Redevelopment

East: Enhancement/Redevelopment

West: Neighborhood Residential

## **EXISTING ZONING:**

PD Planned Development per the West Spring Valley Corridor PD

## **TRAFFIC / INFRASTRUCTURE IMPACTS:**

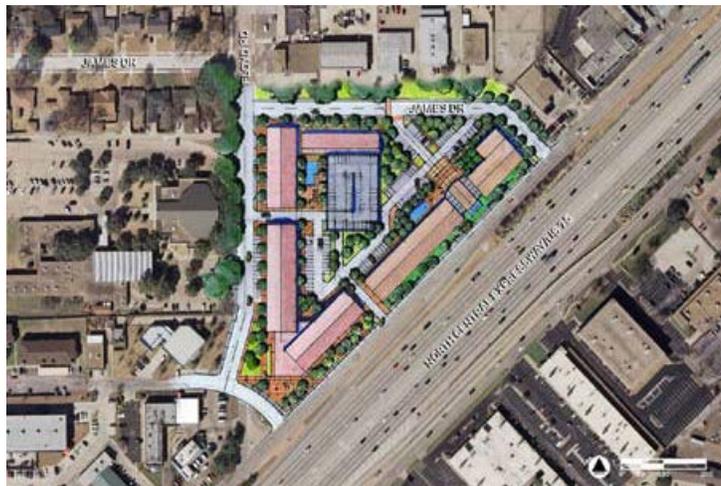
The request will not have any significant impacts on the surrounding roadway system or the existing utilities in the area.

## **STAFF COMMENTS:**

### **Background:**

In November of 2010, City Council approved the West Spring Valley Corridor Reinvestment Strategy. The Plan designated several areas within the corridor as “Catalyst” sites. The subject site was designated as a Catalyst site, which envisioned the following:

The future vision includes a new mixed-use environment on the full block. Building faces could be established on James Drive, Floyd Road and US-75, giving the development a distinct, unified architectural character on all visible frontages. The land use mix could include ground floor retail and office with residential uses above. A key component might be a boutique hotel oriented towards US-75 to take advantage of its highway visibility. A new intersection configuration at Floyd Road would improve traffic circulation to the site, and provide one of several opportunities to establish pocket parks.



In May of 2011, City Council adopted Ordinance Number 3818, the West Spring Valley Corridor Planned Development District (WSVC-PD) rezoning approximately 197 acres of land generally located between Coit Road and US-75, on the north side of W. Spring Valley Road. The WSVC-PD created a form based code that allowed for dense, mixed-use, pedestrian-oriented development.

### **Applicant's Request**

The WSVC-PD allows requests for a “major modification” for development plans that do not conform with the adopted development standards for the specific area. As defined a “major modification” is identical to a change in zoning and is processed accordingly.

The request considered by the City Plan Commission at their April 15<sup>th</sup> meeting was a request for a new Planned Development District for the subject site. As proposed, the use (restaurant) is an allowed use; a mixed-use development is not required, and the proposed Streetscape Standards along James Drive and Floyd Road complied with the WSVC-PD; however, the building form (height, relation to the street and signage) did not conform with the WSVC-PD development standards. Staff therefore suggested, from an administrative and simplicity of review standpoint, that the applicant request the new Planned Development District for the subject site in lieu of requesting a “major modification”.

Following the Commission's April 15<sup>th</sup> meeting, the applicant met with neighboring Neighborhood Associations. Based on the outcome of those meetings, it was determined that another option would be to seek approval of “a major modification” from the WSVC-PD standards in lieu of a Planned Development District, thereby, preserving the WSVC-PD on the subject site. In doing so, the current development standards of the WSVC-PD would remain intact for future developments in the event that the currently proposed development did not come to fruition.

Attached are the exhibits considered by the City Plan Commission (Concept Plan-Exhibit “B”, Development Standards-Exhibit “B-1” and Sign Standards-Exhibit “C”) and the applicant's revised exhibits as a result of meetings held with neighborhood representatives (Concept Plan-Exhibit “B”-Revised, Development Standards-Exhibit “B-1”-Revised and Sign Standards-Revised Exhibit “C”).

### Concept Plan (Exhibit “B” and Exhibit “B”-Revised)

The subject site consists of six (6) separate lots totaling 5.1 acres. As shown on the Concept Plan (Exhibit “B”), two (2) lots along Floyd Road and the two (2) lots at the corner of James Drive and US-75 are not under the control of the applicant and are not included in the Concept Plan; therefore, the lots will retain their WSVC-PD zoning.

The proposed Concept Plans provides two (2) points of access along the US-75 frontage road via a continuous deceleration/turn lane, with one (1) driveway designated as ingress only. Points of access are also provided along James Drive and Floyd Road.

The previous concept plan supported 360 on-site parking spaces, while only 205 parking spaces were required, thus reflecting market conditions as opposed to the City's Development Code requirement. The revised concept plan now supports 364 on-site parking spaces, while only 100 parking spaces are required in the WSV-C-PD.

The previous proposed development included four (4) stand-alone buildings with outdoor dining, for a combined total of 20,427 square feet designated for future restaurant occupancy. The revised concept plan now depicts two (2) stand-alone buildings and a single multi-tenant building surrounding a common court yard area and a single stand-alone building on the south end of the site for a combined total of 25,004 square feet. All proposed buildings provide for outdoor dining.

The common court yard area and additional adjacent open space encompasses approximately 10,400 square feet of useable open space. The common courtyard features hardscape with tree well planting areas and a water feature. As proposed the paving would be carried into the adjoining parking area to help create a focal point.

Internal and perimeter pedestrian connectivity is achieved through sidewalks, a meandering sidewalk along the US-75 frontage road and the proposed Pedestrian Zone along James Drive and Floyd Road.

Screening walls, ranging in height from eight (8) feet to sixteen (16) feet are proposed adjacent to the lots not included in the request for screening purposes and to provide visual interest. Visual interest will be provided through the choice of materials which includes masonry or hardi-board planks or wood constructed in a horizontal or woven manner. In addition, a wire mesh landscape wall with signage art is proposed adjacent to the proposed screening wall of the east and south property line of the lots not included in the request along Floyd Road.

In keeping with the intent of providing a pedestrian-oriented environment reflective of the WSV-C-PD, the streetscape along James Drive and Floyd Road reflected the street cross section codified for a mixed-use development.

The streetscape, previously depicted on the Concept Plan (Exhibit "B") included parallel on-street parking spaces protected by curb bulb-outs, a 12-foot wide Amenity Zone which included hardscape and trees planted in tree wells with tree grates, a 6-foot wide Pedestrian Zone for a 6-foot sidewalk, and a ten 10-foot wide Buffer Zone which included trees and screening for the abutting parking area. The streetscape on the revised concept plan (Exhibit "B"-Revised) still depicts parallel on-street parking spaces protected by curb bulb-outs, but the Amenity Zone has been reduced to 14-foot wide (includes hardscape, trees planted in tree wells with tree grates and a 6-foot wide sidewalk, and the Buffer Zone has been reduced to a five 5-foot wide landscape area (includes trees or ornamental trees and screening for the abutting parking area. The previously proposed enhanced pedestrian node is still proposed at the corner of James Drive and Floyd Road.

#### Development Standards (Exhibit "B-1")

The table below summarizes the applicant's proposed development standards (see Exhibit "B-1" for a detailed list of the development standards): (revised items shown in **Bold** text)

## Summary of Proposed Development Standards

ITEM	PROPOSED STANDARDS
<b>Base Zoning</b>	PD for the LR-M(1) Local Retail District  <b>REVISION</b> <b>Major Modification in accordance with the West Spring Valley Corridor PD Planned Development District</b>
<b>Use Regulations</b>	
Uses	Restaurant Outdoor Dining (accessory to the principal use) - 35% area limitation  <b>REVISION</b> <b>Stand alone and in-line restaurant</b> <b>Outdoor Dining (accessory to the principal use) - 35% area limitation</b>
<b>Building Regulations</b>	
Allowed exterior building façade materials	75% masonry, brick, stone, stucco – 3 step process, cast stone, rock, marble, granite, curtain glass, glass block, ventilated façade system and concrete tilt wall panels 25% non-combustible material, including commercial grade Class PB E.I.F.S (installed above a height of 8 feet only) <i>Allows for unique trade dress upon staff approval</i> <i>Requires building articulation through various architectural elements</i> <i>Requires architectural elements at primary building entrances</i>
Prohibited exterior building façade materials	Aluminum siding, galvanized metal, exposed aggregate, plastic, unfinished concrete and reflective glass
Allowed roof material	Architectural shingles-30 year warranty, synthetic or composition shingles, standing seam metal, tile, slate, copper and TPO membrane-flat roof only
Prohibited roof material	Galvanized steel and wood shingles
<b>Area Regulations</b>	
Height	2-story, not to exceed 40 feet 1-story, not to exceed 24 feet <i>Additional height allowed for parapet walls and architectural features</i>
Perimeter setbacks	70 feet – US 75 Frontage Road 40 feet – Floyd Road and James Drive <i>Allows 2-foot encroachment into setbacks for fireplaces, roof eaves or cornice or other architectural features</i>
Interior setbacks	None, subject to Building Code regulations
Density	Floor Area Ratio (FAR) 0.4:1
<b>Parking Regulations</b>	
Parking ratio	10 spaces/1,000 square feet of building area <i>Maximum 2 rows of parking allowed along US-75 Frontage Road</i> <i>Parallel on-street parking allowed along James Drive and Floyd Road (not to count toward minimum parking requirement)</i>

<b>Streetscape</b>	
James Dr. and Floyd Rd.	Parallel on-street parking 14-foot wide Amenity Zone – hardscape and tree wells 6-foot wide Pedestrian Zone – sidewalk 10-foot wide Buffer Zone –Trees and screening  <b>REVISION</b> <b>Parallel on-street parking</b> <b>14-foot wide Amenity Zone – hardscape, tree wells and 6-foot wide sidewalk</b> <b>5-foot wide Buffer Zone</b>
<b>Landscape Requirements</b>	
General	10% of gross land area 20% of required 10% must be provided internal to parking areas <i>General maintenance, irrigation and site visibility requirements</i> <i>More specific landscape requirements are detailed in Section 6 of Exhibit “B-1”</i>
<b>Screening</b>	
Screened elements	Roof mounted equipment requirements Ground level equipment requirements Trash enclosures requirements
Screening walls	Screening walls (8 feet - 16 feet) allowed as shown on Exhibit “B” <i>Masonry screening wall material and non-opaque wire mesh wall with landscape plantings allowed</i>
<b>Lighting</b>	
Staff review/approval	Parking lot lighting standards Attached wall lighting standards Outdoor dining lighting standards
Prohibited	Direct glare Colored lighting Pulsating or flashing lighting

Sign Standards (Exhibit “C”)

As proposed, the signs do not conform with Chapter 18 (the Sign Code) of the Code of Ordinances with regard to the maximum height and area for a monument sign (maximum height six (6) feet, maximum area eighty (80) square feet) or the height of a pole sign and area (maximum height twenty (20) feet, maximum sign area eighty (80) square feet), and the sign area for attached signs (maximum area two (2) square feet per length of building frontage, not to exceed 200 square feet). However, the proposed sign standards represent the applicant’s desire to create a unique and identifiable restaurant development. The standards address prohibited signs, sign types, heights, sign area, location and design criteria.

The table below summarizes the applicant’s proposed sign standards (see Exhibit “C” for a detailed list of the sign standards): (revised items shown in **BOLD** text)

	<b>PROPOSED STANDARDS</b>
<b>Prohibited Sign Types</b>	Pole Sign Single-use monument signs, (allows multiple-use signs only)
<b>Permitted Sign Types</b>	
Multi-use monument signs	<p>Entry Gate Feature Sign <b>ELIMINATED</b> Maximum height – 30 feet Maximum copy area/side – 67 square feet Maximum project identification copy area – 55 square feet <i>Requires 21.5 feet of minimum ground clearance above driveway</i> <i>Located over the southern driveway along US-75 frontage road</i></p> <p>Primary Project Identification Monument Sign <b>ELIMINATED</b> Maximum height – 50 feet Maximum copy area/side – 200 square feet Maximum non-tenant copy area/side – 150 square feet <i>Represents the tallest of the four types of monument signs for the development.</i> <i>Located at the south end of the development along US-75 frontage road.</i></p> <p>Secondary Project Identification Monument Sign (2) Maximum height – 30 feet Maximum copy area/side – 200 square feet <i>Similar to the Primary Project Identification Monument Sign but without the non-tenant copy area.</i> <i>Located at the north end of the development along the US-75 frontage road.</i></p> <p>Minor Tenant Directional Sign Maximum height – 10 feet Maximum copy area/side – 12 square feet <i>Located on James Drive, at the entry into the site.</i></p>
Attached Signs	Tenant Wall Signs <i>Includes location and design criteria.</i>
<p><b><u>Maximum copy area:</u></b> 6% of the total area of the ground floor façade (maximum façade height for calculating ground floor façade is 24 feet) of each elevation. Total sign area may be divided into any combination of individual signs among any of the building facades.</p> <p><b><u>Example:</u></b> Total length of ground floor façade of a building x 24' = façade area x .06 = allowed copy area for the building.</p>	Awning Signs <i>Includes maximum percentage of copy area, location and design criteria.</i>
	Awning Attached Signs (sign attached above or below an awning) <i>Includes maximum percentage of copy area, location and design criteria.</i>
	Vertical and Horizontal Blade Signs Vertical Blade Sign (Maximum copy area – 36 square feet) - only allowed attached to a two story structure. Horizontal Blade Sign (Maximum copy area – 22 square feet) - allowed attached to a one or two story structure. <i>Includes location and design criteria</i>

Screen Wall Direction Signs	Maximum copy area – 12 square feet per panel section <i>Includes design criteria. Copy area attached to proposed wire mesh landscape wall</i>
--------------------------------	--

**Conclusion**

Based on staff’s review of the applicant’s request, the proposed Concept Plan, Development Standards and Sign Standards, as revised, create a master planned restaurant development with distinctive restaurant architecture and unique sign standards, while providing for continuity of pedestrian-orientation throughout the development.

**Correspondence:** As of this date, numerous letters of support and opposition have been received on this request.

**Motion:** On April 15, 2014, the City Plan Commission recommended denial of the request as presented on a vote of 7-0.

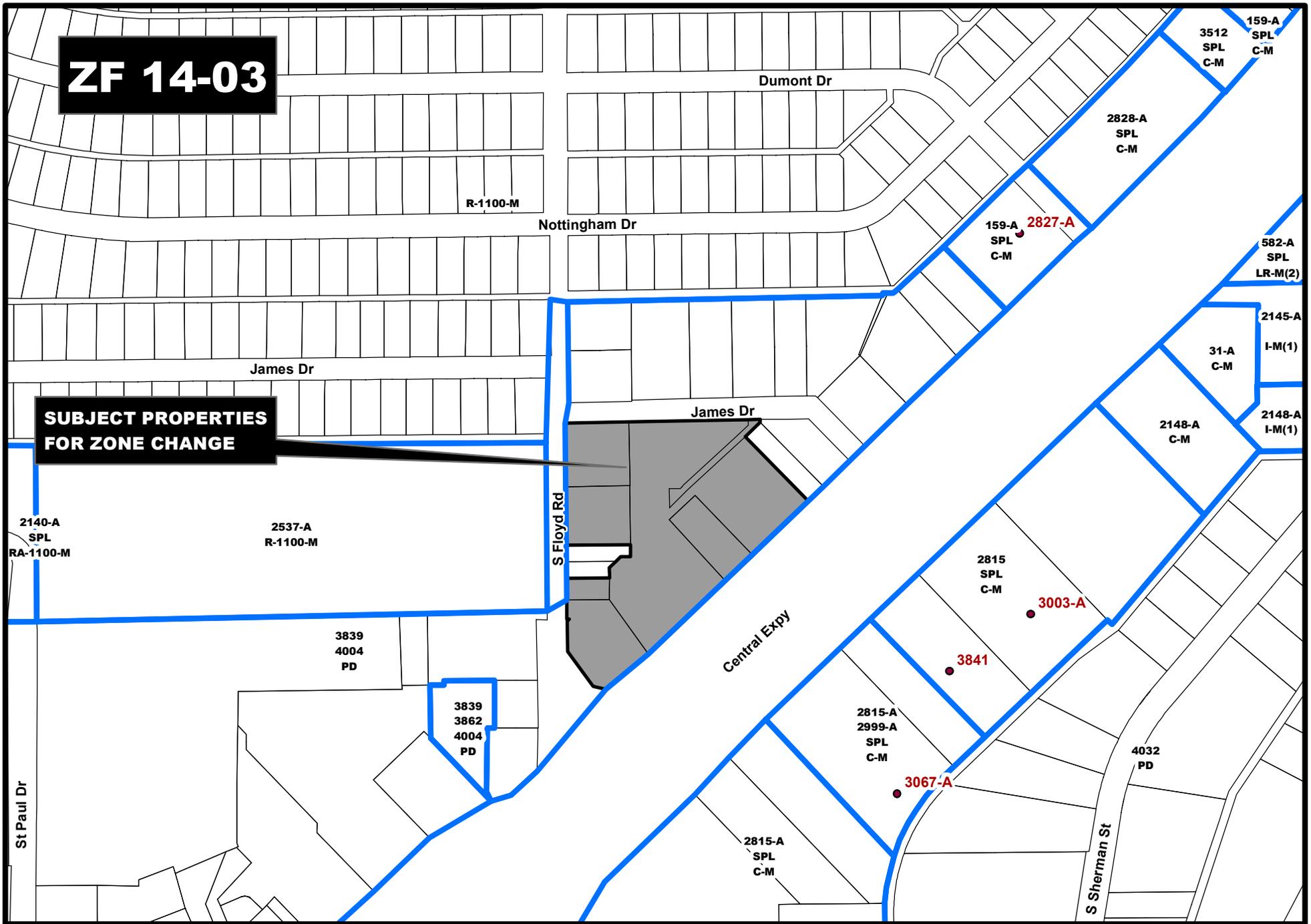
**Since the City Plan Commission recommended denial of Zoning File 14-03, an affirmative vote of six (6) of the seven (7) Council members is required to approve the request.**

Should the City Council accept the applicant’s request as amended, the motion should include the following:

1. The subject site shall be zoned PD Planned Development and shall be developed in accordance with the Concept Plan attached hereto as Exhibit “B”, attached Development Standards attached hereto as Exhibit “B-1”, and Sign Standards attached hereto as Exhibit “C”.

# ZF 14-03

**SUBJECT PROPERTIES  
FOR ZONE CHANGE**



## ZF 14-03 Zoning Map

Updated By: shacklett, Update Date: April 1, 2014  
File: DSI\Mapping\Cases\Z\2014\ZF1403\ZF1403 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



**ZF 14-03**

Dumont Dr

Nottingham Dr

James Dr

James Dr

Central Expy

S Floyd Rd

St Paul Dr

S Sherman St

**SUBJECT PROPERTIES  
FOR ZONE CHANGE**



**ZF 14-03 Aerial Map**

Updated By: shacklett, Update Date: April 1, 2014  
File: DSI\Mapping\Cases\Z\2014\ZF1403\ZF1403 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





James Dr

Subject Property

Floyd Rd

US-75

Oblique Aerial  
Looking North

JAMES DRIVE

RICHARDSON HEIGHTS-5  
ZONING: R-1100-M  
LANDUSE: SINGLE FAMILY

RICHARDSON HEIGHTS-5  
BLOCK 45, LOT 31  
ZONING: R-1100-M  
LANDUSE: CHURCH

BLOCK A, LOT 1  
ZONING: PD  
LANDUSE: RETAIL/COMMERCIAL

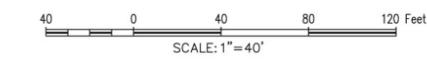
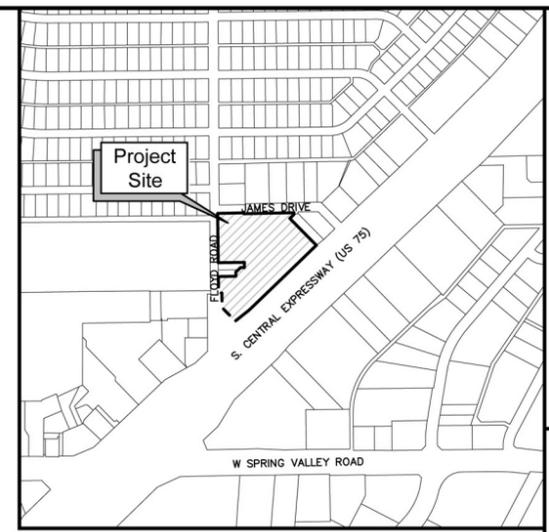
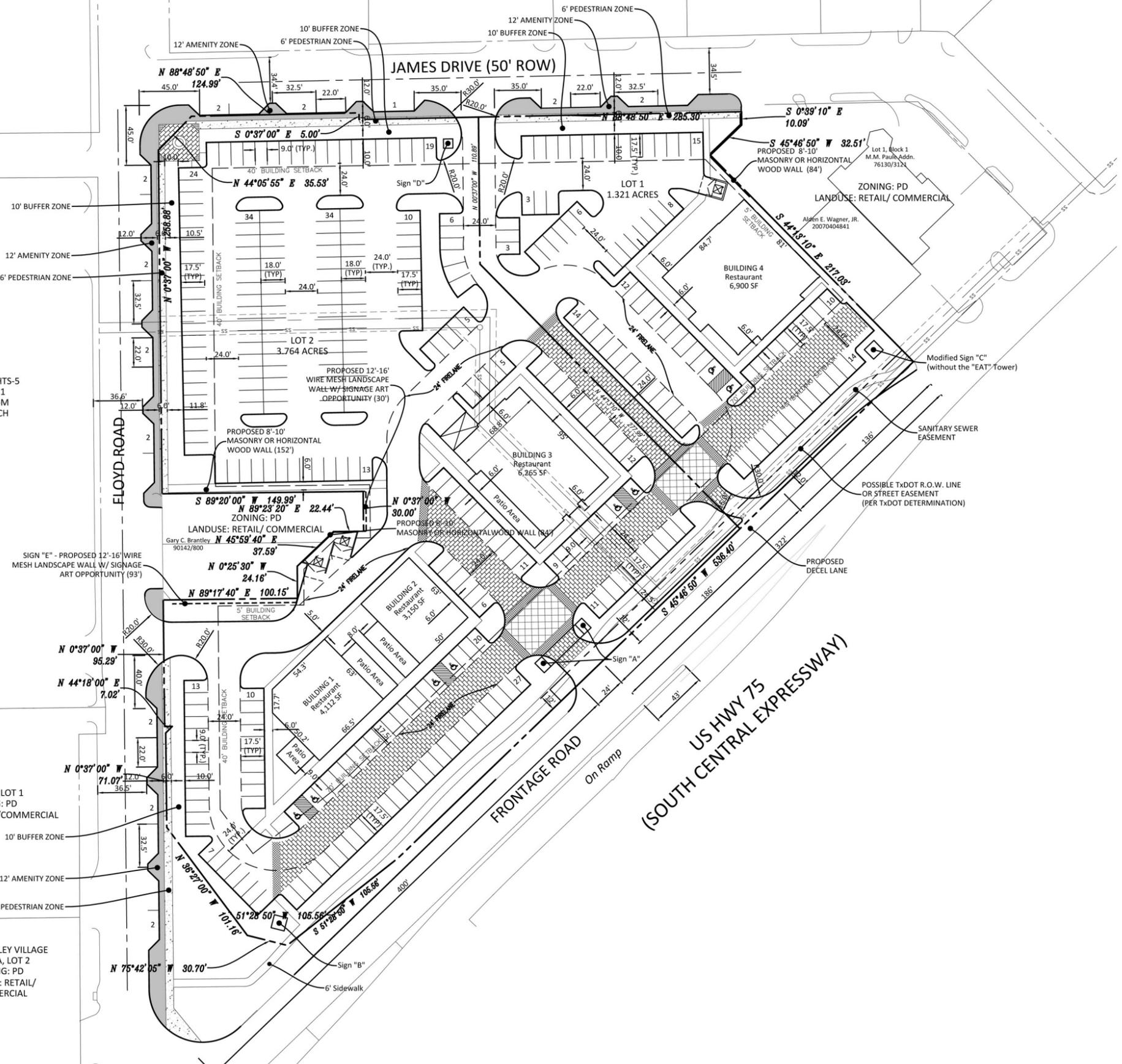
SPRING VALLEY VILLAGE  
BLOCK A, LOT 2  
ZONING: PD  
LANDUSE: RETAIL/  
COMMERCIAL

GARVON ADDITION  
BLOCK A  
ZONING: PD  
LANDUSE: RETAIL/ COMMERCIAL

GARVON ADDITION  
BLOCK A, LOT 3  
ZONING: PD  
LANDUSE: RETAIL/ COMMERCIAL

GARVON ADDITION  
BLOCK A, LOT 2  
ZONING: PD  
LANDUSE: RETAIL/  
COMMERCIAL

GARVON ADDITION  
BLOCK A, LOT 1  
ZONING: PD  
LANDUSE: RETAIL/  
COMMERCIAL



**LEGEND**

C.R.F.	Capped Rebar Found	Overhead Power Lines
C.R.S.	Capped Rebar Set	Down Guy Wire
C.M.	Control Monument	443 Existing Contours
Mon.	Monument	445 Proposed Contours
BM	Benchmark	Concrete Pavement
FH	Fire Hydrant	Asphalt Pavement
WM	Water Meter	Wood Fence
WV	Water Valve	Chain Link Fence
W/L	Water Line	Wire Fence
ICV	Irrigation Control Valve	Masonry Wall
SSMH	Sanitary Sewer Manhole	Existing Tree
CO	Sanitary Sewer Cleanout	(FL) Flowline
UP	Utility Pole	Centerline of Creek, Swale, or Waterway
LP	Light Pole	Creek, Swale, or Waterway Embankment
TC	Top of Curb	
TP	Top of Pavement	
TW	Top of Wall	
FG	Finished Grade	
U.E.	Utility Easement	
D.E.	Drainage Easement	
B.L.	Building Line	
R.O.W.	Right-of-Way	
D.R.	Deed Records	
P.R.	Plat Records	

**Project Summary**

Existing Zoning:	PD (W. Spring Valley)
Proposed Zoning:	PD w/ LR-M(1) Local Retail District
Zoning Setbacks	70' Front Yard / 40' Side Yard (James & Floyd)
Lot Area	5.078 Acres 221,192 Square Feet
Building Square Footage	20,427 Square Feet
Parking Ratio	10 Space for Every 1,000 Square Feet
Parking (Onsite)	360
Onstreet Parking (Floyd & James)	23
Total Parking Required	267
Landscape	1.193 Acres 23.50%
Required Floor Area Ratio:	0.4:1 Max per PD
Provided Floor Area Ratio:	0.1:1
Building Height	Max. 40'

SITE PLANNING CIVIL ENGINEERING PLANNING  
**CONSULTANTS, LLC**  
 LAND SURVEYING LANDSCAPE ARCHITECTURE  
 111 Hillside Drive - Lewisville, TX 76057 • P: 972.438.9712 • F: 972.438.9715  
 611 Dallas Drive, Suite 114 • Rowlett, TX 76088 • P: 882.831.9712 • F: 817.860.4043  
 TBPE Firm No. 1798

**RICHARDSON RESTAURANT PARK**  
 5.085 Acres  
 in the  
 LAVINIA MCCOMMAS SURVEY, ABSTRACT NO. 927  
 CITY OF RICHARDSON  
 DALLAS COUNTY, TEXAS

**ZONING EXHIBIT (CONCEPT PLAN)**

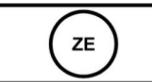
**PRELIMINARY PLANS**  
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
 G&A CONSULTANTS, F-1798  
 ROBERT JOHN DOLLAH, JR.,  
 P.E. #96888  
 DATE 4/10/2014

Drawn By: CMB  
 Date: 1/6/2014  
 Scale: 1" = 40'  
 Revisions:  
 1/21/2014  
 3/06/2014  
 3/19/2014  
 4/9/2014

EXHIBIT "B"

OWNER/DEVELOPER  
**RICHARDSON RESTAURANT PARK INVESTMENTS LLC**  
 5944 LUTHER LANE, SUITE #725  
 DALLAS, TEXAS 75225  
 Ph. (214) 373-4202  
 Fax (214) 373-0737  
 Contact: KIRK HERMANSEN

12016



RICHARDSON RESTAURANT PARK ZONING EXHIBIT (CONCEPT PLAN)

# Exhibit “B-1”

## RESTAURANT PARK PLANNED DEVELOPMENT DISTRICT

### General

- A. **PURPOSE.** The purpose of this Planned Development is to permit a comprehensive high quality, master planned restaurant development (the “Restaurant Park”), for the operation of a variety of reputable restaurants, that will include a pedestrian-friendly environment, distinctive restaurant architecture and unique project sign identification. The Restaurant Park is intended to become a new neighborhood destination for the use and enjoyment of Richardson residents and visitors. The project will endeavor to provide a safe and friendly environment by removing the blighted properties and to update and optimize the potential of the property given its unique site characteristics and proximity to the North Central Expressway corridor.
- B. **CONCEPT PLAN.** Development of the Property shall be in general conformance with the Concept Plan attached hereto as Exhibit “B” (the “Concept Plan”).
- C. **DEVELOPMENT STANDARDS.** For the purpose of determining landscaping and parking regulations within the Planned Development District, the entire Property shall be considered one (1) lot, regardless of how the property may be subdivided. In the event a development standard is not expressly set forth in this Ordinance, the development standard set forth on the Comprehensive Zoning Ordinance in the base zoning shall control.
- D. **DEFINITIONS.** For purposes of this planned development, the following words have the following meanings:
- a. *Ventilated façade system* means a high-performance façade solution that consists of a rain screen and decorative façade (manufactured of type 304, 316 or 430 architectural grade stainless steel, zinc alloy, titanium or other metal material of comparable or greater quality that is approved by the City Manager), cavity depth and ventilation, insulation and sub-frame. Systems may include colorized, patterned and textured stainless steel sheet cladding systems; insulated core metal wall panel systems; metal composite wall panel systems, rear ventilated phenolic rain screen wall panel systems; titanium zinc alloy sheet metal roofing façade cladding and roof drainage components systems.
- E. **MINOR MODIFICATIONS.** The City Manager or designee shall have the authority to approve a request for minor modifications to concept plans and development plans approved within or required by this Ordinance. For purposes of this planned development, a minor modification shall be defined as (i) a change to a footprint of a building in which the proposed footprint complies with all development standards set forth herein, and (ii) except as otherwise provided in (i), a change which does not (a) exceed the building coverage or floor-to-area ratio of the planned development, (b) decrease any of the specified area regulations or minimum parking ratios, nor (c) substantially changes the access or circulation on or adjacent to the site.

- F. COMPLIANCE WITH US 75 AMENITIES PLANNING GUIDELINES. This Planned Development District shall not be required to comply with the US 75 Amenities Planning Guidelines.
- G. SIGNAGE. Proposed signage shall be in general conformance with the Sign Standards attached hereto as Exhibit “C” (the “Sign Standards”).

## DEVELOPMENT STANDARDS- RESTAURANT PARK

1. BASE ZONING. PD PLANNED DEVELOPMENT. This PD shall be held to the same regulations as LR-M(1) Local Retail District as outlined in Article XVI-A of the Comprehensive Zoning Ordinance of the City of Richardson except as amended below.
2. USE REGULATIONS. No land shall be used and no building shall be erected for, or converted to any use other than:
  - a. A stand alone restaurant without drive-through services.
  - b. Outdoor dining and/or patios (accessory to the principle use) subject to:
    - i. Outdoor seating for eating and drinking shall be limited to 35% of the establishment's building area.
    - ii. Outdoor dining seating areas may incorporate music or sound systems providing the decibel level does not exceed 90 dB.
3. BUILDING REGULATIONS. The architecture for all structures should be well proportioned, and shall be designed with an emphasis on the street-side of buildings with a continuation of materials, colors and trim on the balance. The scale, massing, articulation and proportions of facades should enhance the vehicular and pedestrian experience, emphasizing the human scale.
  - a. Each building facade elevation, excluding doors, windows, or other openings, shall be clad with a minimum of seventy-five (75%) percent masonry material, defined as brick, stone, plaster stucco utilizing a 3-step process, cast stone, rock, marble, granite, curtain glass, glass block, ventilated facade systems (see definition above), and concrete tilt wall panels. A maximum of twenty-five (25%) percent of the building facade area may be clad with materials other than those previously listed and shall be of non-combustible material, including factory installation of commercial grade Class PB Exterior Insulation and Finish Systems (EIFS). Said EIFS materials must be installed above a height of eight (8) feet.
  - b. Individual and unique trade dress is encouraged and any materials not specifically allowed herein shall be considered for approval by the City Manager or designee. Trade Dress is defined as those items included in a building design or décor which distinguishes the appearance or image of one brand from another in the eyes of its consumers and the general public.
  - c. The following exterior materials are prohibited:
    - i. Aluminum siding
    - ii. Galvanized metal siding
    - iii. Exposed aggregate

- iv. Plastic
  - v. Unfinished (non-plastered or unpainted) concrete block
  - vii. Reflective glass
- d. All façade walls on a building shall be articulated to provide visual interest with any of the following elements:
- i. Brick pilasters
  - ii. Corbels
  - iii. Windows treatments on in-filled windows
  - iv. Projected ribs, offsets, recesses, pediments or reveals
  - v. Overhangs or awnings
  - vi. Cornices
  - vii. Varied roof heights for pitched, peaked, sloped or flat roof styles
  - viii. Display windows, faux windows or decorative windows
  - ix. Architectural details (such as tile work and molding) or accent materials integrated into the building façade
  - x. Integrated planters, fire pits, or wing walls that incorporate landscaping and sitting areas or outdoor patios
  - xi. Integrated water features
- e. Entryway Features. With the exception of loading areas or rear door access for employees, all primary ground floor entrances for the public shall be covered or inset. Primary building entrances are to be defined and articulated with architectural elements such as pediments, columns, porticos, porches, and overhangs.
- f. Roofs. Flat roofs, hip roofs, gabled roof and green roofs are permitted. Pitched roofs shall have a minimum pitch of 6:12. Architectural elements that add visual interest to the roof, such as dormers and masonry chimneys are encouraged.
- i. The following materials are allowed:
    - A. Architectural shingles (minimum 30-year warranty),
    - B. Industry approved synthetic shingles or composition shingle
    - C. Factory finished standing seam metal
    - D. Tile roofs
    - E. Slate roofs
    - F. Cooper roofs
    - G. TPO Membrane (flat roof only).
  - ii. The following materials are prohibited:
    - A. Galvanized steel or other bright metal
    - B. Wood roof shingles

#### 4. AREA REGULATIONS.

##### a. Height Regulations.

- i. The maximum building height shall not exceed forty (40) feet for a two (2) story structure, and twenty-four (24) feet for a single story, subject to the following:
  - A. Single story structures may include architectural features up thirty-two (32) feet in height from the finished floor elevation for up to twenty-five (25%) percent of the length of any building elevation.
  - B. Two (2) stories structures may include architectural features up forty-eight (48) in height from the finished floor elevation for up to twenty-five (25%) percent of the length of any building elevation
- ii. Balconies and roof terraces shall be allowed. Any roof terrace shall not be counted as an additional story.

##### b. Building Setbacks.

- i. US 75 Frontage Road – Seventy (70) feet
- ii. Floyd Road – Forty (40) feet
- iii. James Drive – Forty (40) feet.
- iv. Interior Setbacks. No building setback shall be required from interior lot lines, except as may be required by the City of Richardson Building Code.
- v. A fireplace, windowsill, box or bay window, or other architectural features not more than ten (10) feet in width may extend a maximum of two (2) feet into the required setback.
- vi. The ordinary projections of a roof eave or cornice may extend into the required front setback a maximum of two (2) feet.

##### c. DENSITY.

- i. The maximum Floor Area Ratio (FAR) shall not exceed 0.4:1.

#### 5. PARKING REGULATIONS.

- a. The parking ratio shall be a minimum of ten (10) spaces per one-thousand (1,000) square feet of building area.
- b. A maximum of two (2) rows of parking shall be allowed between the buildings and the US 75 frontage road as shown on “Exhibit B”.
- c. Parallel on-street parking along James Drive and Floyd Road shall be allowed as shown on “Exhibit B”, but shall not count towards meeting the minimum parking requirement for the site.

## 6. LANDSCAPE REQUIREMENTS.

### a. General

- i. Existing trees six (6) inch or greater diameter at breast height shall be inventoried and indicated on the landscape plans submitted for review by the City. Any trees to be removed must be indicated both graphically and in tabular format on the landscape plan, with the reason for removal clearly indicated.
- ii. Foundation plantings shall be provided adjacent to the buildings and/or other structures on the site.
- iii. Visibility triangles shall be maintained at all street, alley, or private drive intersections in accordance with the City's sight triangle guidelines. Within the required visibility triangle, no obstruction shall exceed thirty (30) inches in height, measured from the driving surface; however trees are permitted within the visibility triangle provided that the lowest limbs are trimmed to a minimum height of seven (7) feet at the time of planting, measured from the top of the curb.
- iv. The property owner or its tenants shall be responsible for maintaining the landscape in accordance with the approved landscape plan.
- v. Dead plant material, as determined by the City, shall be replaced in accordance with the approved landscape plan.
- vi. All landscape material shall be irrigated by a mechanical underground system with operating rain and freeze sensors.

### b. Minimum Landscape Area Requirements

- i. The minimum landscape area shall be ten (10%) percent of the gross land area. Of the required minimum landscaped area, twenty (20%) percent shall be provided internal to parking areas (landscaped islands, etc.). Minimum landscape calculations shall include decorative hardscape areas

### c. Parking Lot Landscaping

- i. Minimum ten (10) foot wide landscaped islands shall be required at the ends of each row of parking spaces, and shall include the following:
  - A. Minimum one (1), three (3) inch caliper tree, ground cover, and an 18" – 24" wide strip (paved or decomposed granite) adjacent to the parking stall.

### d. Perimeter Landscaping- US 75 Frontage Road

- i. The minimum landscape buffer width shall be ten (10) feet, and shall include the following:
  - A. A minimum six (6) foot wide meandering sidewalk. A pedestrian easement shall be dedicated where the sidewalk is not located within the street right-of-way.
  - B. One (1), three (3) inch caliper canopy tree or one (1) ornamental tree for each fifty (50) lineal feet of street frontage. Trees may be planted in "natural" groupings to provide view corridors into the development.

- C. Evergreen shrubs planted to create an opaque screen at a minimum height of thirty (30) inches above the grade of the parking lot or drought tolerant plant material to create a semi-opaque screen at a minimum height of eighteen (18) inches above the grade of the parking lot. Approved drought tolerant plant material includes material such as Whales Tongue Agave, Gulf Muhley and Giant Liriope.
- D. A concrete, pavestone, grass or mulch strip the width of the vehicle overhang (2'-7") for parking spaces adjacent to the required landscape buffer. This strip shall be measured from the face of curb to the edge of the landscaped bed.

7. Streetscape - James Drive and Floyd Road

- a. Beginning at the face-of-curb of street bulb-outs, a minimum twenty-eight (28) foot wide Streetscape Zone shall be provided along James Drive and Floyd Road as shown on "Exhibit B". Said Streetscape Zone shall include a twelve (12) foot wide Amenity Zone, a six (6) foot wide Pedestrian Zone and a ten (10) foot wide Buffer Zone, which shall contain the following:
  - i. Amenity Zone
    - A. With the exception of the required street tree wells, specialty paving per City details.
    - B. Minimum three (3) inch caliper canopy trees in 8-foot x 8-foot tree wells covered with a 6-foot x 6-foot tree grate in accordance with City details.
    - C. Tree wells shall include underground bubbler irrigation set on a zone separate from other landscape areas, tree well drainage, and up lighting and electrical outlets in accordance with City details.
      - (1) Tree branches shall be maintained at no less than eight (8) feet above the adjacent Pedestrian Zone and no less than fourteen (14) feet above on-street parking spaces or traffic lanes, after three (3) years from planting. Otherwise, tree branches shall be maintained a no less than six (6) feet above the adjacent Pedestrian Zone and no less than ten (10) feet above on-street parking space or traffic lane..
  - ii. Pedestrian Zone
    - A. A minimum six (6) foot wide unobstructed continuous sidewalk constructed of scored concrete.
  - iii. Buffer Zone
    - A. Minimum three (3) inch canopy trees, planted off-set to the canopy trees planted in the Amenity Zone.
    - B. Evergreen shrubs or native grasses planted to create an opaque screen at a minimum height of thirty (30) inches above the grade of the parking lot.

- C. A concrete, pavestone, decomposed granite, grass or mulch strip the width of the vehicle overhang (2'-7") for parking spaces adjacent to the required landscape buffer. This strip shall be measured from the face of curb to the edge of the landscaped bed.

## 8. SCREENING

- a. All roof mounted equipment, including fans, vents, cooling towers and HVAC units shall be screened to eliminate the view from the ground level of adjacent properties. The overall screening height shall be the height of the tallest element of roof-mounted equipment. The inside and outside of the screening device should be finished in a similar color to the building façade, trim or roof surface to minimize visibility of the equipment.
- b. All ground level equipment, including fans, HVAC units, cooling towers, generators, utility conduits, electric transformers, electric meters, wire ways and conduit shall be screened from the view of Floyd Road, James Drive and Central Expressway and adjoining properties by means of an architectural screen which shall be coordinated and compatible with the building architecture and color, or a living screen. Said screening shall not be less than the height of the tallest element of the equipment.
- c. Other than the walls and fences shown on "Exhibit B" which shall be permitted, no other screening wall shall be required along James Drive or Floyd Road. Said walls and fences may vary from eight (8) feet to sixteen (16) feet in height.
  - i. A maximum ten (10) foot wrought iron-type fence, steel, wood (horizontal or woven, but not vertical) or masonry wall (including hardi board planks – horizontal or woven, but not vertical) may be allowed in the required setback in accordance with "Exhibit B". Said fence shall be depicted on the landscape plan during the development plan review process.
  - ii. A non-opaque wire mesh wall is permitted as shown in "Exhibit B" and shall include vine-like plants or synthetic equivalent to cover the wall to create a landscaped wall.
- d. Trash enclosure. Trash enclosures may be located within required setbacks and shall be screened with a minimum six (6) foot high masonry enclosure compatible in material and color with the main structure.

## 9. LIGHTING. Site lighting, display window lights, architectural lighting, and general area lighting are encouraged to advertise the business, highlight building features and entries, and to illuminate dark corners of the property or street. Specific landscape materials should be highlighted via landscape lighting, where possible.

- a. All parking lot lights and free standing pedestrian lights shall be from the same family of lights, which shall be submitted and approved by staff prior to installation.

- b. Sconce and similar attached building lighting shall be allowed if the fixtures are in keeping with the architectural style of the building.
- c. Indirect lighting should be provided whenever possible, for display and architectural lighting. Direct glare to vehicular traffic shall be avoided.
- d. Outdoor dining seating areas shall be properly lit (maximum 1 fc) with lighting and in keeping with the balance of the building architectural style.
- e. The use of colored lighting shall not be allowed for use unless otherwise approved by the City Manager or designee
- f. The use of pulsating or flashing lighting is prohibited.

## Exhibit C

GENERAL. For the purpose of determining sign regulations within the Planned Development District, the entire Property shall be considered one (1) lot, regardless of how the property may be subdivided. All signage shall conform with the City of Richardson's Sign Code, except as amended below:

### SIGN STANDARDS

#### 1. Prohibited Sign Types:

- a. Pole signs
- b. Single-use monuments signs

#### 2. Multiple-use Monument Sign Types Allowed

- a. Entry Gate Feature Sign (Sign "A"). A maximum of one (1) sign shall be allowed, and shall be designed and constructed in general conformance with Exhibit C-1 and the location shown on Exhibit "B", subject to the following:
  - i. Minimum Setbacks
    - A. East property line: Eleven (11) feet.
  - ii. Height and Area
    - A. Maximum height shall be thirty (30) feet.
    - B. Minimum ground clearance measured from the top of the driveway pavement to the bottom of the suspended steel and mesh frame crossbar shall be twenty-one and one-half (21.5) feet.
    - C. Tenant copy area is limited to three (3) sides of each pylon. The maximum cumulative copy area per side shall be sixty-seventy (67) square feet
    - D. Maximum project identification copy area shall be fifty-five (55) square feet.
- b. Primary Project Identification Monument Sign (Sign "B"). A maximum of one (1) sign shall be allowed, and shall be designed and constructed in general conformance with Exhibit C-2, and the location shown on Exhibit "B", subject to the following:
  - i. Minimum Setbacks
    - A. South and East property line: Ten (10) feet.
  - ii. Height and Area
    - A. Maximum height shall be fifty (50) feet.
    - B. Maximum cumulative tenant copy area per side on the pylon portion of sign shall be two-hundred (200) square feet

- C. Maximum non-tenant copy area for upper portion of pylon sign which encompasses the wire mesh portion shall be one hundred fifty (150) square feet per side.
- c. Secondary Project Identification Monument Sign (Sign “C”). A maximum of one (1) sign shall be allowed, and shall be designed and constructed in general conformance with Exhibit C-3, and the location shown on Exhibit “B”, subject to the following:
  - i. Minimum Setbacks
    - A. North and East property line: ten (10) feet
  - ii. Height and Area
    - A. Maximum height shall be thirty (30) feet.
    - B. Tenant copy area is limited to three (3) sides of the pylon. The maximum cumulative copy area per side shall be two-hundred (200) square feet.
- d. Minor Tenant Directional Sign (Sign “D”). A maximum of one (1) sign shall be allowed, and shall be designed and constructed in general conformance with Exhibit C-4, and the location shown on Exhibit “B”, subject to the following:
  - i. Minimum Setbacks
    - A. North property line: ten (10) feet
  - ii. Height and Area
    - A. Maximum height shall be ten (10) feet.
    - B. Tenant copy area is limited to three (3) sides of the pylon. The maximum cumulative copy area per side shall be twelve (12) square feet. The south side of the pylon sign shall be limited to a maximum copy area of sixteen (16) square feet.

### 3. Attached Sign Types Allowed

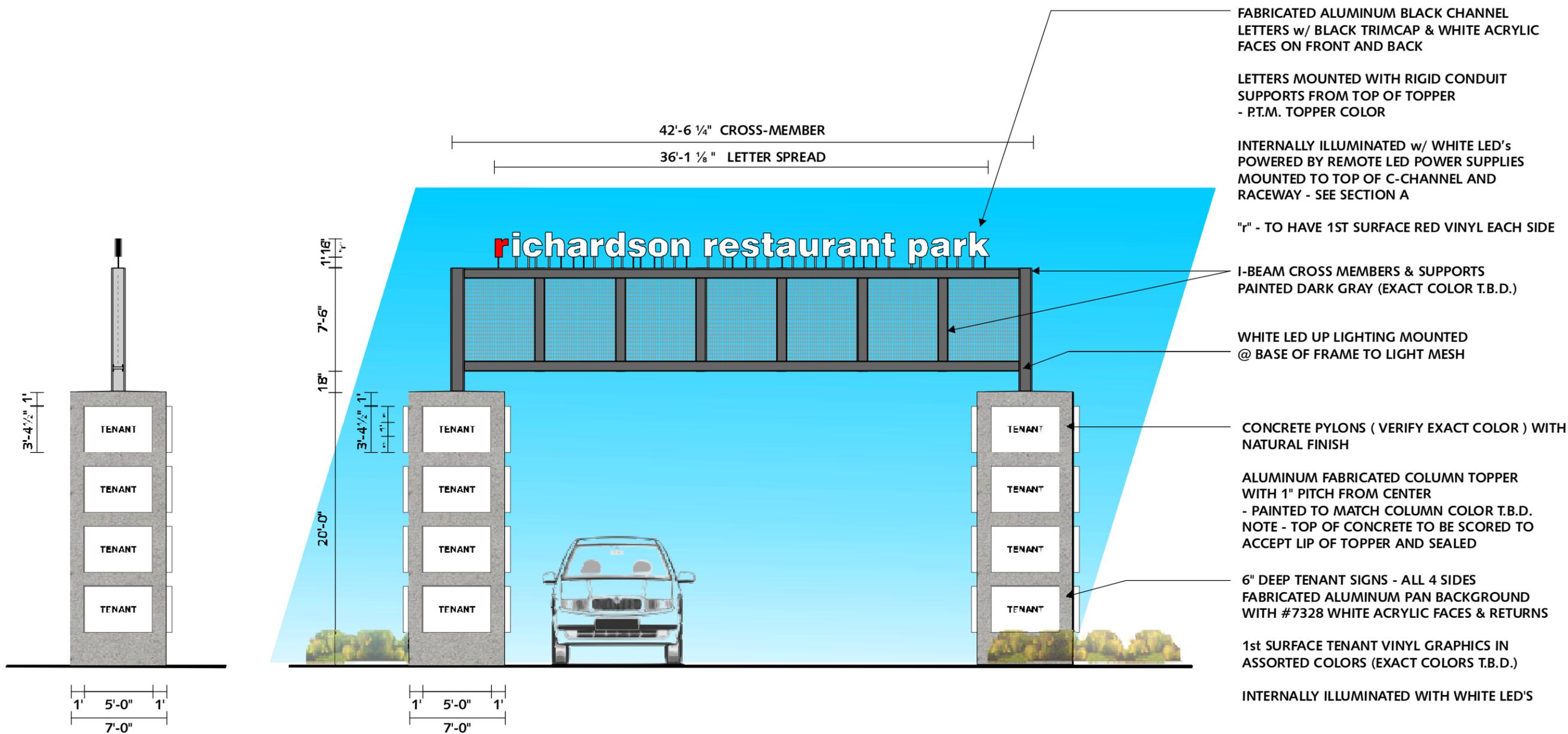
- a. Tenant Wall Signs (Channel Letter, Sign Cabinet, Painted Wall Mural Sign, Awning Sign, Awning Attached Sign, Vertical and Horizontal Blade Signs), subject to the following:
  - i. Maximum copy area
    - A. Total copy area for the above listed signs requiring a permit shall not exceed 6% of the total area of the ground floor façade (maximum façade height for calculating ground floor façade shall be 24 feet) of each elevation. The total sign area may be divided into any combination of individual signs among any of the building facades.

- B. Exposed border neon, awning graphics that do not include copy or border LED tubing are all permitted and shall not count towards the total allowable signage. .
- ii. Location
    - A. Signs shall not extend above the roof line of a mansard-type roof.
    - B. Signs shall not extend more than six (6) feet above the roof line on buildings with non-mansard roof structures. Said signs shall be directly affixed to and not shall extending above or beyond an integral part of the structure of the building other than a roof.
- iii. Design
    - A. When projections on the wall face prevent the erection of the sign flat against the wall face, the space between the back of the sign and the wall shall be closed at the top, bottom and ends with incombustible materials.
    - B. Attached signs shall be construction only of materials that are noncombustible or slow burning in case of plastic inserts and faces.
    - C. Combustible materials may be used, providing the sign is attached to a wall with a minimum of two-hour, fire-resistive rating.
    - D. Attached sign play on heavy wood construction may be of combustible materials, but in no case shall they be internally illuminated.
    - E. Sign extending more than four (4) feet above the roof line shall be attached without the use of supporting poles, towers, guys or braces of any type. Such signs shall be designed, constructed and attached to withstand a wind pressure of not less than thirty (30) pounds per square foot.
    - F. Signs must provide eight (8) foot clearance above any walkway.
    - G. Flexible material sign are permissible if installed and supported by a cabinet, frame or other approved device approved by the director of community services.
    - H. Signs may be internally or externally lit.
- b. Awning Signs, subject to the following:
    - i. Maximum copy area
      - A. The copy area shall not exceed seventy-five (75%) percent in length of any leading edge of an awning.
    - ii. Location
      - A. The copy area shall only be located on leading edges of awnings.
      - B. No building shall have both a wall sign with a tenant's trade name and an awning sign with a tenants trade name on the same building elevation.
    - iii. Design
      - A. Back-lighting is permitted and may be lighted internally or by exterior spotlights.

- B. An awning sign and awning sign attachments shall be secure and may not swing, sway or move in any manner or contain any moving devices.
- c. Awning Attached Sign, subject to the following:
  - i. Maximum copy area
    - A. The copy area shall not exceed seventy-five (75%) percent in length of any awning.
    - B. The maximum sign height shall be twelve (12) inches.
  - ii. Location
    - A. No building shall have both a wall sign with a tenant trade name and an awning attached sign with a tenant trade name on the same building elevation.
    - B. The sign shall only be suspend from or extend above the edge of the awning and shall be centered.
    - C. An awning attached sign shall not be used in conjunction with an awning sign.
  - iii. Design
    - A. An awning sign and awning sign attachments shall be secure and may not swing, sway or move in any manner or contain any moving devices.
    - B. Shall maintain a minimum ground clearance of eight (8) foot above a sidewalk.
- d. Vertical Blade Signs and Horizontal Blade Signs, subject to the following:
  - i. Maximum copy area
    - A. Vertical blade sign (two story structure only) - Thirty-six (36) square feet, which shall count towards the total allowable sign area as indicated in Section 3. a. i. A. above.
    - B. Horizontal blade sign – twenty two (22) square feet, which shall count towards the total allowable sign area as indicated in Section 3. a. i. A. above.
    - C. Exposed border neon or border LED tubing is permitted and shall not count towards the total allowable signage.
  - ii. Location
    - A. May extend a maximum of six (6)) feet from the façade of a building.
    - B. Shall not extend more than six (6) feet above a building wall.
  - iii. Design
    - A. Shall maintain a minimum ground clearance of eight (8) feet above the lowest portion of the sign and sidewalk when sign is constructed above a sidewalk.

4. Screen Wall Directional Signs (Sign “E”), which shall be designed and constructed in general conformance with Exhibit C-5, and the location shown on Exhibit “B”, subject to the following:
  - i. Maximum copy area
    - A. Twelve (12) square feet per panel section.
  - ii. Design
    - A. Copy area shall be individual letters and shall either be internally lit with white neon or exterior lighted with down light fixtures.
    - C. Signs shall be secure and may not swing, sway or move in any manner or contain any moving devices.
    - D. Shall not obstruct the vision of traffic on public streets or be constructed so as to interfere with sight lines within a triangular area formed by the intersection of adjacent curb line from a point on each curb line twenty (20) feet from the intersection.
    - E. Shall be designed, constructed and attached to withstand a wind pressure of not less than thirty (30) pounds per square foot.

**ENTRY GATE FEATURE SIGN**



FABRICATED ALUMINUM BLACK CHANNEL LETTERS w/ BLACK TRIMCAP & WHITE ACRYLIC FACES ON FRONT AND BACK

LETTERS MOUNTED WITH RIGID CONDUIT SUPPORTS FROM TOP OF TOPPER - PT.M. TOPPER COLOR

INTERNALLY ILLUMINATED w/ WHITE LED's POWERED BY REMOTE LED POWER SUPPLIES MOUNTED TO TOP OF C-CHANNEL AND RACEWAY - SEE SECTION A

"r" - TO HAVE 1ST SURFACE RED VINYL EACH SIDE

I-BEAM CROSS MEMBERS & SUPPORTS PAINTED DARK GRAY (EXACT COLOR T.B.D.)

WHITE LED UP LIGHTING MOUNTED @ BASE OF FRAME TO LIGHT MESH

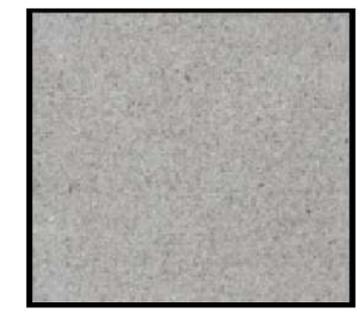
CONCRETE PYLONS ( VERIFY EXACT COLOR ) WITH NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER WITH 1" PITCH FROM CENTER - PAINTED TO MATCH COLUMN COLOR T.B.D. NOTE - TOP OF CONCRETE TO BE SCORED TO ACCEPT LIP OF TOPPER AND SEALED

6" DEEP TENANT SIGNS - ALL 4 SIDES FABRICATED ALUMINUM PAN BACKGROUND WITH #7328 WHITE ACRYLIC FACES & RETURNS

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S



COLOR DETAIL - CONCRETE COLUMNS

**SIDE VIEW**

**D/F ENTRY GATE FEATURE**

SCALE: 1/8" = 1'-0"

(1) REQUIRED - MANUFACTURE & INSTALL

<b>Design #</b>	11-1939r11
<b>Sheet</b>	3 of 7
<b>Client</b>	RICHARDSON RESTAURANT PARK
<b>Address</b>	Hwy. 75 @ JAMES/FLOYD RICHARDSON, TEXAS
<b>Account Rep.</b>	MSW / MAW
<b>Designer</b>	RMS
<b>Date</b>	10-26-11

Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision / Date	
r1-MAB/11-17-11: Full re-do per architect spec's	
r2-SDM/11-22-11	
r3-MAB/12-13-11: Open mesh	
r4 RMS 12-18-13: add designs	
R5 RFF 01.07.14 update site plan	
R6 WAS NOT LISTED	
R7 PC 03FEB2014 REV. A,B,C,D, & E, DELETE "D"	
R8 PC 04FEB2014 REV. B	
R9 RFF 03.13.14 update	
R10-BR/3-18-14: Update art.	
r11 RMS 4-11-14 - notes / 3 side mon	

**Chandler Signs**  
www.chandlersigns.com

3201 Manor Way Dallas, TX 75235  
214-902-2000 Fax 214-902-2044

12106 Valiant Drive  
San Antonio, TX 78216  
210-349-3804 Fax 210-349-8724

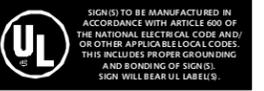
1335 Park Center Drive, Unit C  
Vista, CA 92081  
760-967-7003 Fax 760-967-7033

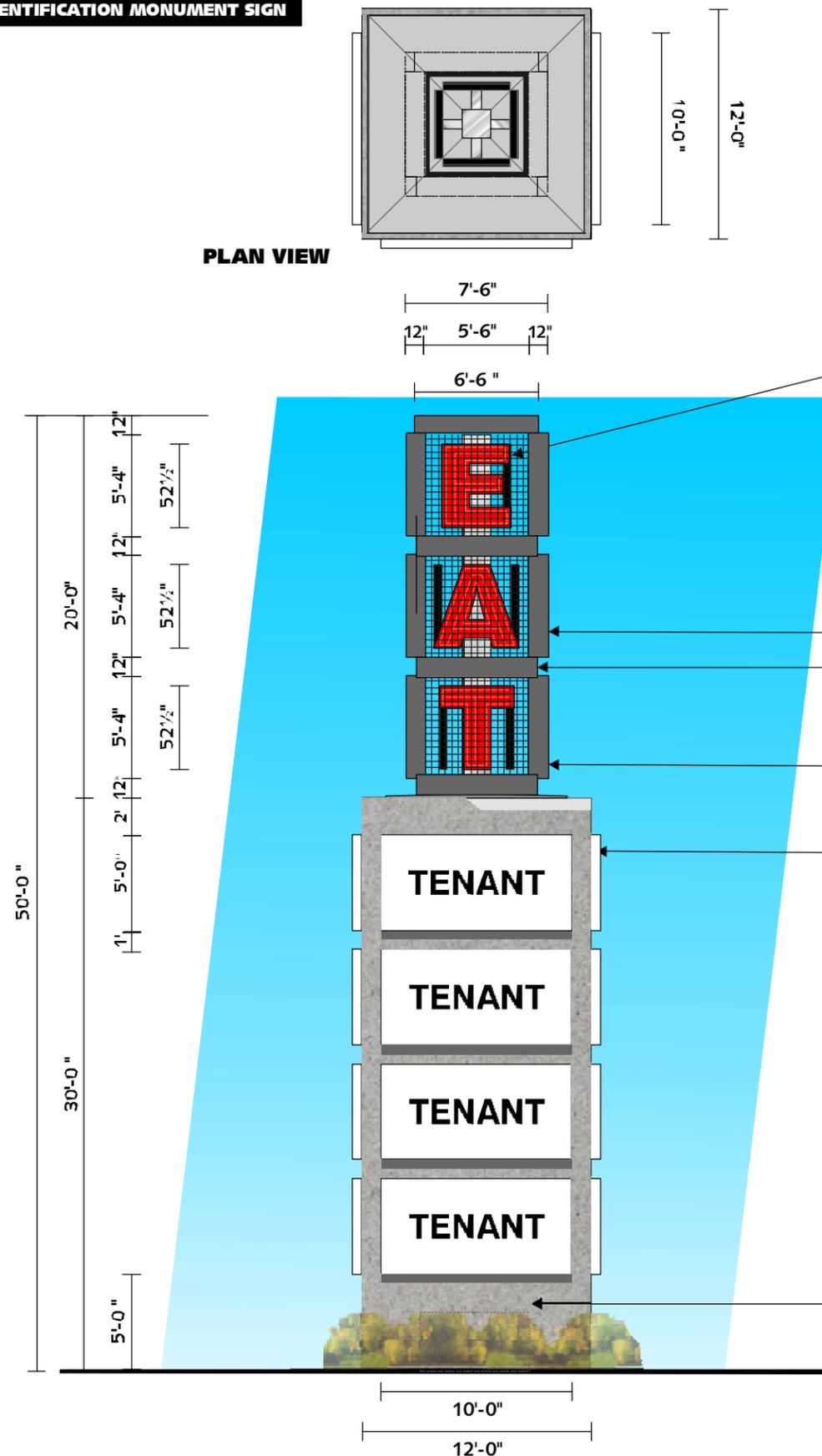
400 Banner Trail  
Florissant, CO 80816  
719-687-2507 Fax 719-687-2506

325 West Main Street, Suite 1012  
Louisville, KY 40202  
502-582-3557 Fax 502-583-2646

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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**





FABRICATED ALUMINUM OPEN FACE CHANNEL LETTERS  
 BLACK FILLER AND TRIMCAP  
 INTERIOR OF LETTERS PAINTED RED ( T.B.D. )  
 CLEAR ACRYLIC FACES  
 INTERNALLY ILLUMINATED w/ 04 CLEAR RED NEON  
 POWERED BY REMOTE POWER SUPPLIES LOCATED  
 INSIDE STRUCTURE

INTERNAL LETTERS MOUNTED TO SQUARE  
 TUBE VERTICAL SUPPORT STRUCTURE

STEEL I-BEAM (MITERED CORNERS)  
 WIRE MESHED FACES- PAINT DARK GRAY (T.B.D.)

STEEL I-BEAMS CHAMFERED AT CORNERS

STEEL VERTICAL ANGLES

6" DEEP TENANT SIGNS WRAPPING BASE & ALL 4 SIDES  
 FABRICATED ALUMINUM PAN BACKGROUND  
 WITH #7328 WHITE ACRYLIC FACES & RETURNS

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED  
 COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S

CONCRETE PYLONS ( VERIFY EXACT COLOR ) WITH  
 NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER  
 WITH 1" PITCH FROM CENTER  
 - PAINTED TO MATCH COLUMN COLOR T.B.D.  
 NOTE - TOP OF CONCRETE TO BE SCORED TO  
 ACCEPT LIP OF TOPPER AND SEALED

**NOTE - TENANT PANELS ALLOWED ON THREE SIDES ONLY**

ACCESS PANEL ON REAR



COLOR DETAIL - CONCRETE COLUMNS

**B** 4 SIDED CORNER PYLON Scale = 1/8"=1'-0"  
 (1) REQUIRED - MANUFACTURE & INSTALL

Design #	11-1939r11
Sheet	4 of 7
Client	RICHARDSON RESTAURANT PARK
Address	Hwy. 75 @ JAMES/FLOYD RICHARDSON, TEXAS
Account Rep.	MSW / MAW
Designer	RMS
Date	10-26-11

Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision / Date	
r1-MAB/11-17-11: Full re-do per architect spec's	
r2-SDM/11-22-11	
r3-MAB/12-13-11: Open mesh	
r4 RMS 12-18-13: add designs	
R5 RFF 01.07.14 update site plan	
R6 WAS NOT LISTED	
R7 PC 03FEB2014 REV. A,B,C,D, & E, DELETE "D"	
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1335 Park Center Drive, Unit C  
 Vista, CA 92081  
 760-967-7003 Fax 760-967-7033

400 Banner Trail  
 Florissant, CO 80816  
 719-687-2507 Fax 719-687-2506

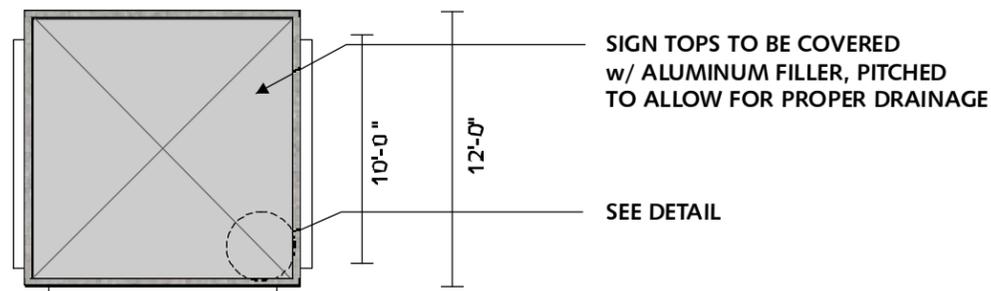
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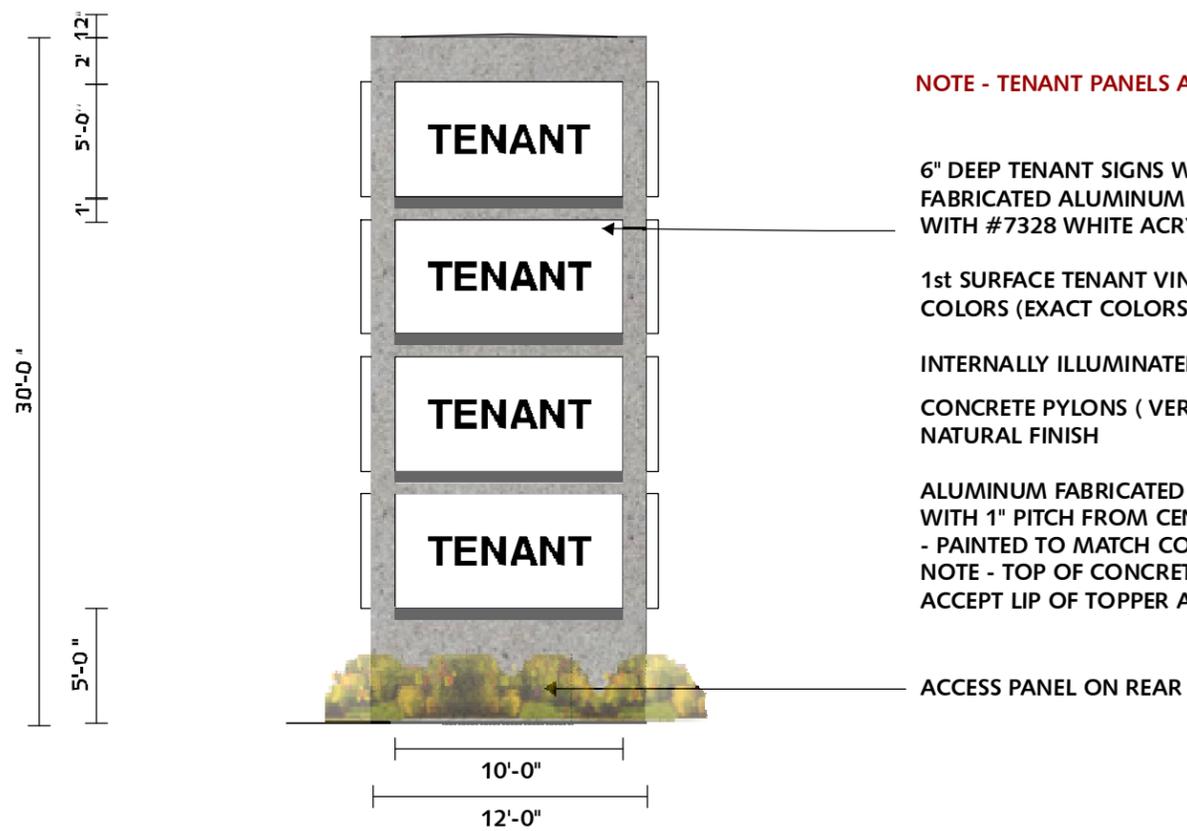
**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

UL

SIGN(S) TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN(S). SIGN WILL BEAR UL LABEL(S).



PLAN VIEW



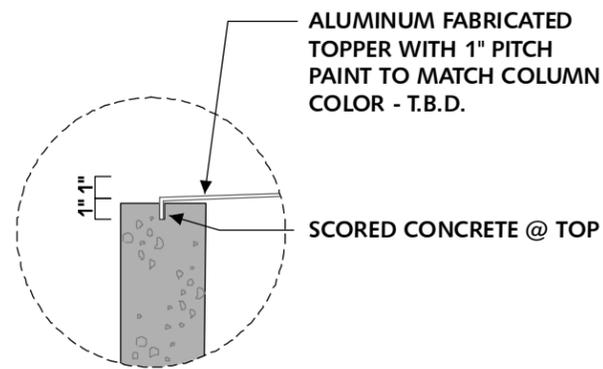
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INTERNALLY ILLUMINATED WITH WHITE LED'S  
CONCRETE PYLONS ( VERIFY EXACT COLOR ) WITH NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER WITH 1" PITCH FROM CENTER  
- PAINTED TO MATCH COLUMN COLOR T.B.D.  
NOTE - TOP OF CONCRETE TO BE SCORED TO ACCEPT LIP OF TOPPER AND SEALED



DETAIL

**SECONDARY PROJECT PYLON** Scale = 1/8"=1'-0"  
(1) REQUIRED - MANUFACTURE & INSTALL

Design #	11-1939r11
Sheet	5 of 7
Client	RICHARDSON RESTAURANT PARK
Address	Hwy. 75 @ JAMES/FLOYD RICHARDSON, TEXAS
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R5 RFF 01.07.14 update site plan	
R6 WAS NOT LISTED	
R7 PC 03FEB2014 REV. A,B,C,D, & E, DELETE "D"	
R8 PC 04FEB2014 REV. B	
R9 RFF 03.13.14 update	
R10-BR/3-18-14: Update art.	
r11 RMS 4-11-14 - notes / 3 side mon	



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3201 Manor Way Dallas, TX 75235  
214-902-2000 Fax 214-902-2044

1206 Valliant Drive  
San Antonio, TX 78216  
210-349-3804 Fax 210-349-8724

1335 Park Center Drive, Unit C  
Vista, CA 92081  
760-967-7003 Fax 760-967-7033

400 Banner Trail  
Florissant, CO 80816  
719-687-2507 Fax 719-687-2506

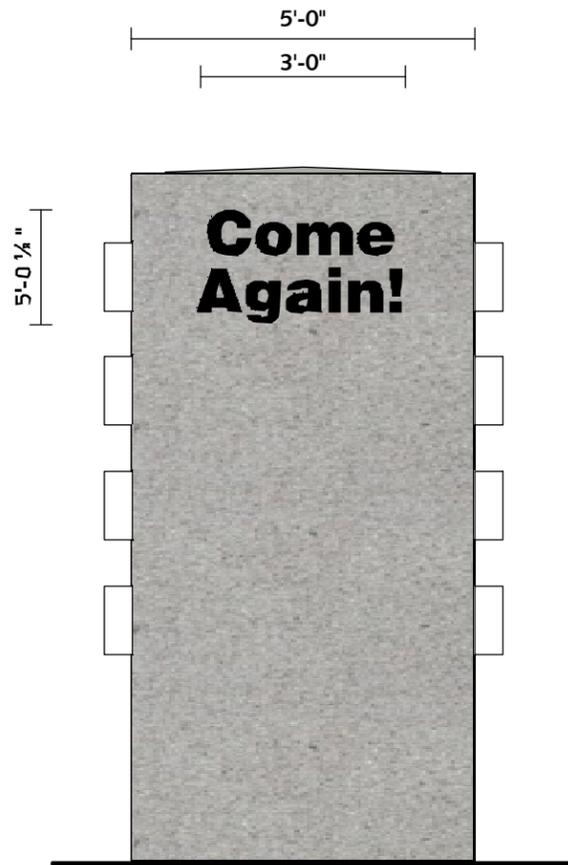
325 West Main Street, Suite 1012  
Louisville, KY 40202  
502-582-3557 Fax 502-583-2646

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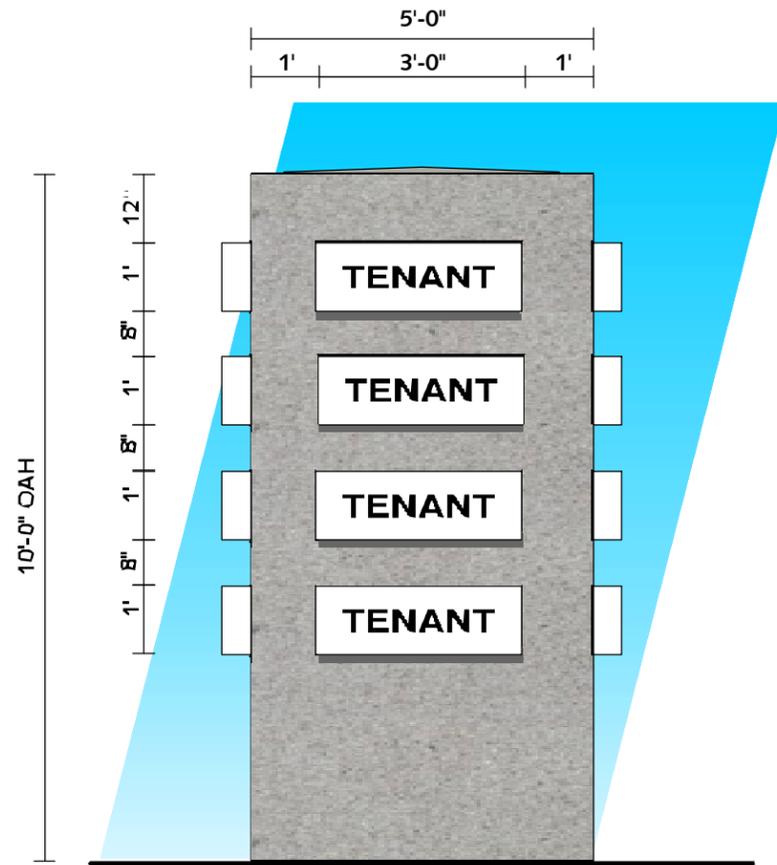
**FINAL ELECTRICAL CONNECTION BY CUSTOMER**



**MINOR TENANT DIRECTIONAL SIGN**



BACK



THREE SIDES

CONCRETE PYLONS ( VERIFY EXACT COLOR )  
WITH NATURAL FINISH

5" DEEP TENANT SIGNS WRAPPING BASE & ALL 4 SIDES  
FABRICATED ALUMINUM PAN BACKGROUND  
WITH #7328 WHITE ACRYLIC FACES & RETURNS

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED  
COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S

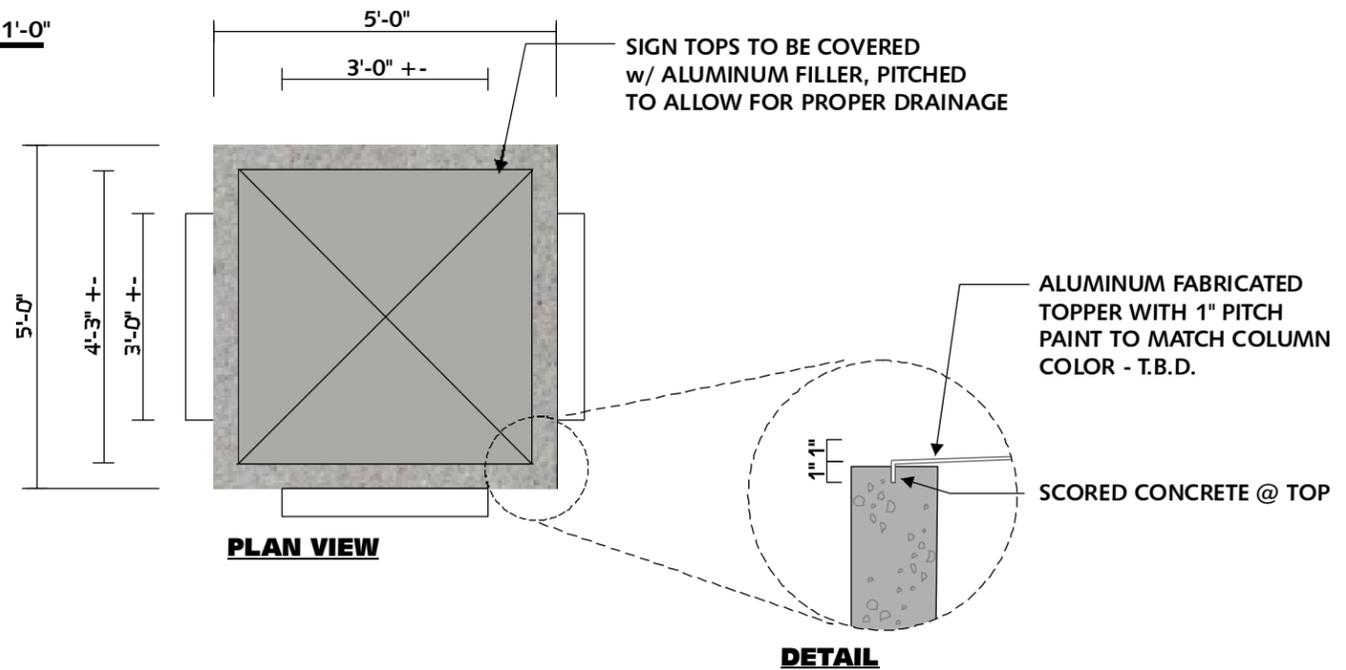
CONCRETE PYLONS ( VERIFY EXACT COLOR ) WITH  
NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER  
WITH 1" PITCH FROM CENTER  
- PAINTED TO MATCH COLUMN COLOR T.B.D.  
NOTE - TOP OF CONCRETE TO BE SCORED TO  
ACCEPT LIP OF TOPPER AND SEALED

REAR TO HAVE 1/4" ALUM. FLAT CUT OUT  
COPY READING "COMING SOON!"  
PAINTED BLACK AND PIN MOUNTED 2" OFF BASE

**NOTE - TENANT PANELS ALLOWED ON THREE SIDES ONLY**

**D MINOR TENANT PYLON** SCALE: 3/8" = 1'-0"  
(1) REQUIRED - MANUFACTURE & INSTALL



PLAN VIEW

DETAIL

Design #  
11-1939r11

Sheet 6 of 7

Client

RICHARDSON RESTAURANT PARK

Address

Hwy. 75 @ JAMES/FLOYD  
RICHARDSON, TEXAS

Account Rep. MSW / MAW

Designer RMS

Date 10-26-11

Approval / Date

Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision / Date

r1-MAB/11-17-11: Full re-do per architect spec's
r2-SDM/11-22-11
r3-MAB/12-13-11: Open mesh
r4 RMS 12-18-13: add designs
R5 RFF 01.07.14 update site plan
R6 WAS NOT LISTED
R7 PC 03FEB2014 REV. A,B,C,D, & E, DELETE "D"
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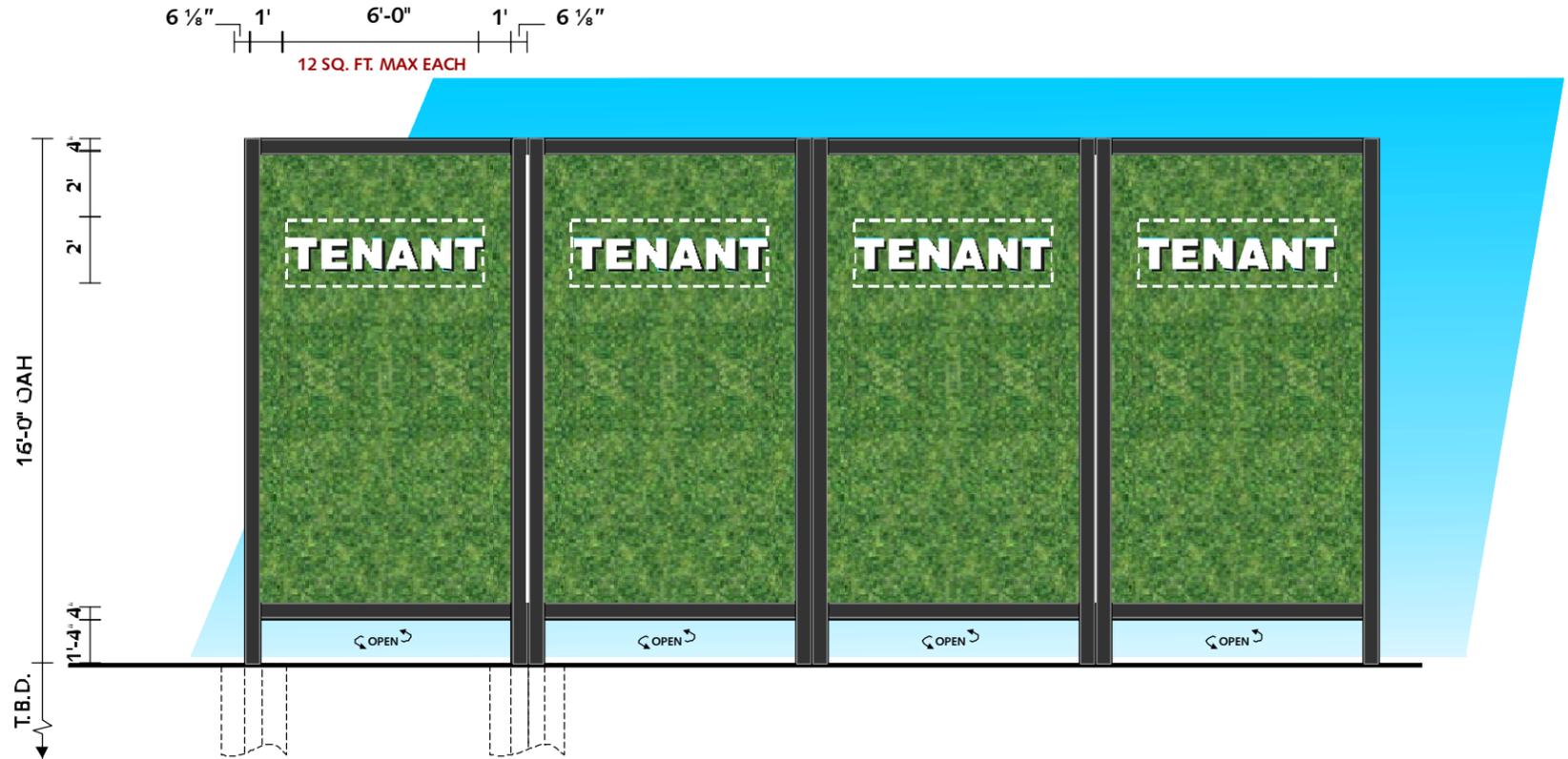
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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**



SIGN(S) TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN(S). SIGN WILL BEAR UL LABEL(S).

**SCREEN PANEL DIRECTIONAL SIGN**



**E S/F SREEN PANEL(S)** SCALE: 3/16" = 1'-0"  
 (4) REQUIRED WITH S/F SIGN PANELS  
 (7) REQUIRED WITHOUT S/F SIGN

**NOTE - 11 PANELS TOTAL = 99'-2 3/4 " TOTAL LENGTH SIDE BY SIDE**

I-BEAM STRUCTURE w/ FLAT ALUMINUM  
 INSERT PANEL - ALL PAINTED DARK GRAY ( T.B.D. )

ARTIFICIAL GRASS SCREEN WALL

INDIVIDUAL LETTERS -  
 EITHER EXTERIOR LIT WITH GOSSENECK LAMPS ( SLEEK )  
 OR INTERIOR LIT WITH WHITE NEON

TENANT GRAPHICS TO BE DETERMINED

CONCRETE PIER TYPE FOUNDATION(S)  
 ENGINEERING TO DETERMINE SIZE & DEPTH  
 FOR LOCAL CODES & CONDITIONS

UNDERGROUND ELECTRICAL SERVICE TO SIGN  
 BY CUSTOMER'S ELECTRICIAN - COORDINATE W/  
 CHANDLER SIGNS AS TO REQUIREMENTS

**NOTE - SIGN PANELS A MAXIMUM OF 12 SQ. FT. EACH**

Design #  
 11-1939r11

Sheet 7 of 7

Client

RICHARDSON RESTAURANT PARK

Address

Hwy. 75 @ JAMES/FLOYD  
 RICHARDSON, TEXAS

Account Rep. MSW / MAW

Designer RMS

Date 10-26-11

Approval / Date

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Estimating	
Art	
Engineering	
Landlord	

Revision / Date

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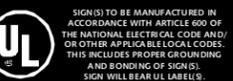
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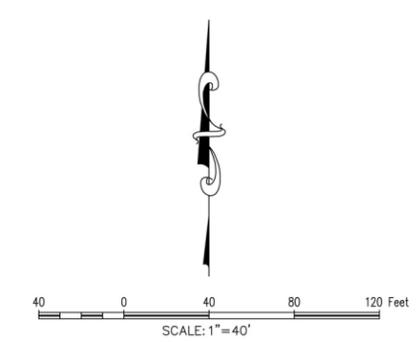
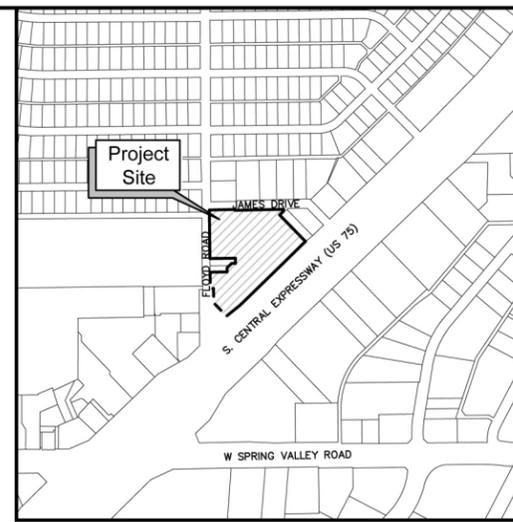
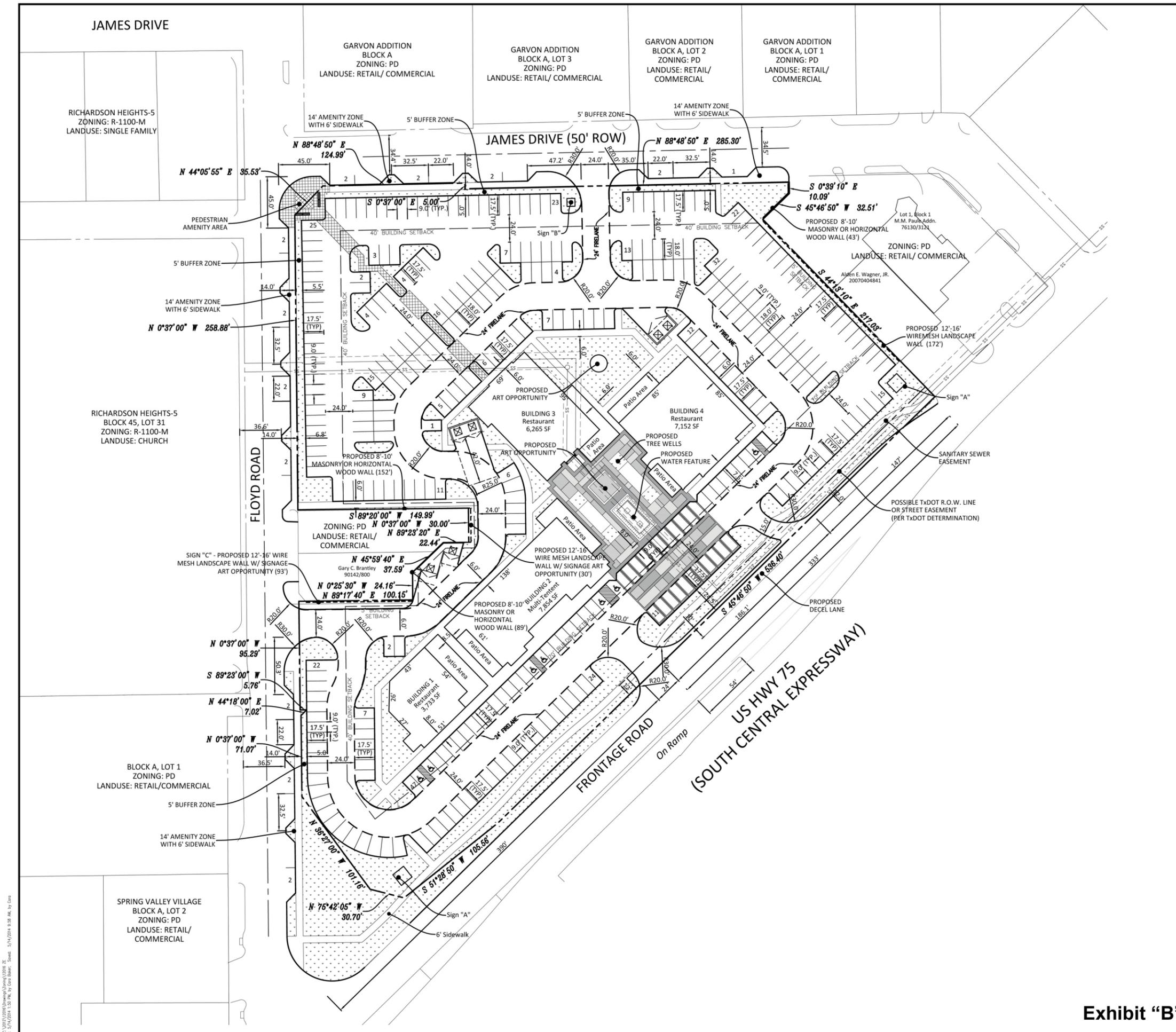
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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**





LEGEND			
C.R.F.	Capped Rebar Found	Overhead Power Lines	
C.R.S.	Capped Rebar Set	Down Guy Wire	
C.M.	Control Monument	443	Existing Contours
Mon.	Monument	445	Proposed Contours
BM	Benchmark	4"	Concrete Pavement
FH	Fire Hydrant	Asphalt Pavement	
WM	Water Meter	Wood Fence	
WV	Water Valve	Chain Link Fence	
W/L	Water Line	Wire Fence	
ICV	Irrigation Control Valve	Masonry Wall	
SSMH	Sanitary Sewer Manhole	Existing Tree	
CO	Sanitary Sewer Cleanout	(FL) Flowline	
UP	Utility Pole	Centerline of Creek, Swale, or Waterway	
LP	Light Pole	Creek, Swale, or Waterway Embankment	
TC	Top of Curb		
TP	Top of Pavement		
TW	Top of Wall		
FG	Finished Grade		
U.E.	Utility Easement		
D.E.	Drainage Easement		
B.L.	Building Line		
R.O.W.	Right-of-Way		
D.R.	Deed Records		
P.R.	Plat Records		

Project Summary		
Existing Zoning:	PD (W. Spring Valley)	
Setbacks	70' Front Yard / 40' Side Yard (James & Floyd)	
Lot Area	5.078 Acres	221,192 Square Feet
Building Square Footage		25,004 Square Feet
Parking Ratio	10 Space for Every 1,000 Square Feet	
Parking (Onsite)	364	
Onstreet Parking (Floyd & James)	23	
Total Parking Required	245	
Landscape	1.11	21.86%
Required Floor Area Ratio:	0.4:1 Max per PD	
Provided Floor Area Ratio:	0.1:1	
Building Height	Max. 40'	

SITE PLANNING CIVIL ENGINEERING PLANNING  
**CONSULTANTS, LLC**  
 LAND SURVEYING LANDSCAPE ARCHITECTURE  
 111 Hillside Drive - Lewisville, TX 76057 • P: 972.536.8712 • F: 972.536.8715  
 611 Dallas Drive, Suite 114 • Rowlett, TX 75081 • P: 682.831.9712 • F: 817.896.4043  
 TBPE Firm No. 1798

**RICHARDSON RESTAURANT PARK**  
 5.085 Acres  
 in the  
 LAVINIA MCCOMMAS SURVEY, ABSTRACT NO. 927  
 CITY OF RICHARDSON  
 DALLAS COUNTY, TEXAS

**ZONING EXHIBIT  
 (CONCEPT PLAN)**

**PRELIMINARY PLANS**  
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
 G&A CONSULTANTS, F-1798  
 ROBERT JOHN DOLLAH, JR., P.E. #86898  
 DATE 5/14/2014

Drawn By: CMB  
 Date: 1/6/2014  
 Scale: 1" = 40'  
 Revisions:  
 1/21/2014  
 3/06/2014  
 3/19/2014  
 4/9/2014  
 5/13/2014

**12016**

**ZE**

**Exhibit "B" - Revised**

OWNER/DEVELOPER  
 RICHARDSON RESTAURANT PARK INVESTMENTS LLC  
 5944 LUTHER LANE, SUITE #725  
 DALLAS, TEXAS 75225  
 Ph: (214) 373-4202  
 Fax: (214) 373-0737  
 Contact: KIRK HERMANSEN

**RICHARDSON RESTAURANT PARK**

File: Z:\2014\2014 Richardson Restaurant Park\2014 ZE.dwg  
 Printed: 5/14/2014 1:58 PM by Cons Biber, Sheet: 5/14/2014 8:38 AM by Cons

# Exhibit “B-1” REVISED

## RESTAURANT PARK

### General

- A. **PURPOSE.** The purpose of this development is to permit a comprehensive high quality, master planned restaurant development (the “Restaurant Park”), for the operation of a variety of reputable restaurants, that will include a pedestrian-friendly environment, distinctive restaurant architecture and unique project sign identification. The Restaurant Park is intended to become a new neighborhood destination for the use and enjoyment of Richardson residents and visitors. The project will endeavor to provide a safe and friendly environment by removing the blighted properties and to update and optimize the potential of the property given its unique site characteristics and proximity to the North Central Expressway corridor.
- B. **CONCEPT PLAN.** Development of the Property shall be in general conformance with the Concept Plan attached hereto as Exhibit “B” (the “Concept Plan”). The Concept Plan, the Development Standards (Exhibit “B-1”) and Sign Standards (Exhibit “C”), constitute Major Modifications to the development standards of the West Spring Valley Corridor Planned Development District with regard to Sections C and D of Chapter III General District Standards, Sections B and D of Chapter IV Buildings, Section A of Chapter V Parking and Accessibility, Chapter VI Lighting, Mechanical, Service Areas and Utilities, Chapter VII Landscape and Chapter VIII Sign Standards.
- C. **DEVELOPMENT STANDARDS.** For the purpose of determining landscaping and parking regulations within the development, the entire Property shall be considered one (1) lot, regardless of how the property may be subdivided. In the event a development standard is not expressly set forth or meet the intent of the development standards contained within or the approved Concept Plan, then the development standards set forth on the Comprehensive Zoning Ordinance shall control.
- D. **DEFINITIONS.** For purposes of this development, the following words have the following meanings:
- a. *Ventilated façade system* means a high-performance façade solution that consists of a rain screen and decorative façade (manufactured of type 304, 316 or 430 architectural grade stainless steel, zinc alloy, titanium or other metal material of comparable or greater quality that is approved by the City Manager), cavity depth and ventilation, insulation and sub-frame. Systems may include colorized, patterned and textured stainless steel sheet cladding systems; insulated core metal wall panel systems; metal composite wall panel systems, rear ventilated phenolic rain screen wall panel systems; titanium zinc alloy sheet metal roofing façade cladding and roof drainage components systems.

- E. MINOR MODIFICATIONS. The City Manager or designee shall have the authority to approve a request for minor modifications to approved concept plans and development plans. For purposes of this development, a minor modification shall be defined as (i) a change to a footprint of a building in which the proposed footprint complies with all development standards set forth herein, and (ii) except as otherwise provided in (i), a change which does not (a) exceed the building coverage or floor-to-area ratio of the planned development, (b) decrease any of the specified area regulations or minimum parking ratios, nor (c) substantially changes the access or circulation on or adjacent to the site.
- F. US 75 AMENITIES PLANNING GUIDELINES. This development shall not be required to comply with the US 75 Amenities Planning Guidelines.
- G. SIGNAGE. Proposed signage shall be in general conformance with the Sign Standards attached hereto as Exhibit “C” (the “Sign Standards”).

#### DEVELOPMENT STANDARDS –Major Modifications

- 1. USE REGULATIONS. No land shall be used and no building shall be erected for, or converted to any use other than:
  - a. Stand alone restaurants and in-line restaurants without drive-through services.
  - b. Outdoor dining and/or patios (accessory to the principle use) subject to:
    - i. Outdoor seating for eating and drinking shall be limited to 35% of the establishment's building area.
    - ii. Outdoor dining seating areas may incorporate music or sound systems providing the decibel level does not exceed 90 dB.
- 2. BUILDING REGULATIONS. The architecture for all structures should be well proportioned, and shall be designed with an emphasis on the street-side of buildings with a continuation of materials, colors and trim on the balance. The scale, massing, articulation and proportions of facades should enhance the vehicular and pedestrian experience, emphasizing the human scale.
  - a. Each building facade elevation, excluding doors, windows, or other openings, shall be clad with a minimum of seventy-five (75%) percent masonry material, defined as brick, stone, plaster stucco utilizing a 3-step process, cast stone, rock, marble, granite, curtain glass, glass block, ventilated facade systems (see definition above), and concrete tilt wall panels. A maximum of twenty-five (25%) percent of the building facade area may be clad with materials other than those previously listed and shall be of non-combustible material, including factory installation of commercial grade Class PB Exterior Insulation and Finish Systems (EIFS). Said EIFS materials must be installed above a height of eight (8) feet.

- b. Individual and unique trade dress is encouraged and any materials not specifically allowed herein shall be considered for approval by the City Manager or designee. Trade Dress is defined as those items included in a building design or décor which distinguishes the appearance or image of one brand from another in the eyes of its consumers and the general public.
- c. The following exterior materials are prohibited:
  - i. Aluminum siding
  - ii. Galvanized metal siding
  - iii. Exposed aggregate
  - iv. Plastic
  - v. Unfinished (non-plastered or unpainted) concrete block
  - vi. Reflective glass
- d. All façade walls on a building shall be articulated to provide visual interest with any of the following elements:
  - i. Brick pilasters
  - ii. Corbels
  - iii. Windows treatments on in-filled windows
  - iv. Projected ribs, offsets, recesses, pediments or reveals
  - v. Overhangs or awnings
  - vi. Cornices
  - vii. Varied roof heights for pitched, peaked, sloped or flat roof styles
  - viii. Display windows, faux windows or decorative windows
  - ix. Integrated water features
- e. Entryway Features. With the exception of loading areas or rear door access for employees, all primary ground floor entrances for the public shall be covered or inset. Primary building entrances are to be defined and articulated with architectural elements such as pediments, columns, porticos, porches, and overhangs.
- f. Roofs. Flat roofs, hip roofs, gabled roof and green roofs are permitted. Pitched roofs shall have a minimum pitch of 6:12. Architectural elements that add visual interest to the roof, such as dormers and masonry chimneys are encouraged.
  - i. The following materials are allowed:
    - A. Architectural shingles (minimum 30-year warranty),
    - B. Industry approved synthetic shingles or composition shingle
    - C. Factory finished standing seam metal
    - D. Tile roofs
    - E. Slate roofs

- F. Cooper roofs
  - G. TPO Membrane (flat roof only).
- ii. The following materials are prohibited:
- A. Galvanized steel or other bright metal
  - B. Wood roof shingles

### 3. AREA REGULATIONS.

#### a. Height Regulations.

- i. The maximum building height shall not exceed forty (40) feet for a two (2) story structure, and twenty-four (24) feet for a single story, subject to the following:
  - A. Single story structures may include architectural features up thirty-two (32) feet in height from the finished floor elevation for up to twenty-five (25%) percent of the length of any building elevation.
  - B. Two (2) stories structures may include architectural features up forty-eight (48) in height from the finished floor elevation for up to twenty-five (25%) percent of the length of any building elevation
- ii. Balconies and roof terraces shall be allowed. Any roof terrace shall not be counted as an additional story.

#### b. Building Setbacks.

- i. US 75 Frontage Road – Seventy (70) feet
- ii. Floyd Road – Forty (40) feet
- iii. James Drive – Forty (40) feet.
- iv. Interior Setbacks. No building setback shall be required from interior lot lines, except as may be required by the City of Richardson Building Code.
- v. A fireplace, windowsill, box or bay window, or other architectural features not more than ten (10) feet in width may extend a maximum of two (2) feet into the required setback.
- vi. The ordinary projections of a roof eave or cornice may extend into the required front setback a maximum of two (2) feet.

#### c. DENSITY.

- i. The maximum Floor Area Ratio (FAR) shall not exceed 0.4:1.

### 4. PARKING REGULATIONS.

- a. The parking ratio shall be a minimum of ten (10) spaces per one-thousand (1,000) square feet of building area.

- b. A maximum of two (2) rows of parking shall be allowed between the buildings and the US 75 frontage road as shown on “Exhibit B”.
- c. Parallel on-street parking along James Drive and Floyd Road shall be allowed as shown on “Exhibit B”, but shall not count towards meeting the minimum parking requirement for the site.

## 5. LANDSCAPE REQUIREMENTS.

### a. General

- i. Existing trees six (6) inch or greater diameter at breast height shall be inventoried and indicated on the landscape plans submitted for review by the City. Any trees to be removed must be indicated both graphically and in tabular format on the landscape plan, with the reason for removal clearly indicated.
- ii. Foundation plantings shall be provided adjacent to the buildings and/or other structures on the site.
- iii. Visibility triangles shall be maintained at all street, alley, or private drive intersections in accordance with the City’s sight triangle guidelines. Within the required visibility triangle, no obstruction shall exceed thirty (30) inches in height, measured from the driving surface; however trees are permitted within the visibility triangle provided that the lowest limbs are trimmed to a minimum height of seven (7) feet at the time of planting, measured from the top of the curb.
- iv. The property owner or its tenants shall be responsible for maintaining the landscape in accordance with the approved landscape plan.
- v. Dead plant material, as determined by the City, shall be replaced in accordance with the approved landscape plan.
- vi. All landscape material shall be irrigated by a mechanical underground system with operating rain and freeze sensors.

### b. Minimum Landscape Area Requirements

- i. The minimum landscape area shall be ten (10%) percent of the gross land area. Of the required minimum landscaped area, twenty (20%) percent shall be provided internal to parking areas (landscaped islands, etc.). Minimum landscape calculations shall include decorative hardscape areas

### c. Parking Lot Landscaping

- i. Minimum ten (10) foot wide landscaped islands and eight (8) foot wide (average) for irregularly shaped landscape islands, shall be required at the ends of each row of parking spaces, and shall include the following:
  - A. Minimum one (1), three (3) inch caliper tree, ground cover, and an 18” – 24” wide strip (paved or decomposed granite) adjacent to the parking stall.

### d. Perimeter Landscaping- US 75 Frontage Road

- i. The minimum landscape buffer width shall be ten (10) feet, and shall include the following:
  - A. A minimum six (6) foot wide meandering sidewalk. A pedestrian easement shall be dedicated where the sidewalk is not located within the street right-of-way.
  - B. One (1), three (3) inch caliper canopy tree or one (1) ornamental tree for each fifty (50) lineal feet of street frontage. Trees may be planted in “natural” groupings to provide view corridors into the development.
  - C. Evergreen shrubs planted to create an opaque screen at a minimum height of thirty (30) inches above the grade of the parking lot or drought tolerant plant material to create a semi-opaque screen at a minimum height of eighteen (18) inches above the grade of the parking lot. Approved drought tolerant plant material includes material such as Whales Tongue Agave, Gulf Muhley and Giant Liriope.
  - D. A concrete, pavestone, grass or mulch strip the width of the vehicle overhang (2'-7") for parking spaces adjacent to the required landscape buffer. This strip shall be measured from the face of curb to the edge of the landscaped bed.

6. Streetscape - James Drive and Floyd Road

- a. Beginning at the face-of-curb of street bulb-outs, a minimum nineteen (19) foot wide Streetscape Zone shall be provided along James Drive and Floyd Road as shown on “Exhibit B”. Said Streetscape Zone shall include a fourteen (14) foot wide Amenity Zone and a five (5) foot wide Buffer Zone, which shall be composed of the following:
  - i. Amenity Zone
    - A. With the exception of the required street tree wells, specialty paving per City details.
    - B. Minimum three (3) inch caliper canopy trees in 8-foot x 8-foot tree wells covered with a 6-foot x 6-foot tree grate in accordance with City details.
    - C. Tree wells shall include underground bubbler irrigation set on a zone separate from other landscape areas, tree well drainage, and up lighting and electrical outlets in accordance with City details.
      - (1) Tree branches shall be maintained at no less than eight (8) feet above the adjacent Pedestrian Zone and no less than fourteen (14) feet above on-street parking spaces or traffic lanes, after three (3) years from planting. Otherwise, tree branches shall be maintained a no less than six (6) feet above the adjacent Pedestrian Zone and no less than ten (10) feet above on-street parking space or traffic lane.
    - D. A minimum six (6) foot wide unobstructed continuous sidewalk constructed of scored concrete.

ii. Buffer Zone

- A. Minimum three (3) inch canopy trees or ornamental trees, planted off-set to the canopy trees planted in the Amenity Zone.
- B. Evergreen shrubs or native grasses planted to create an opaque screen at a minimum height of thirty (30) inches above the grade of the parking lot.
- C. A concrete, pavestone, decomposed granite, grass or mulch strip the width of the vehicle overhang (2') for parking spaces adjacent to the required landscape buffer. This strip shall be measured from the face of curb to the edge of the landscaped bed.

7. SCREENING

- a. All roof mounted equipment, including fans, vents, cooling towers and HVAC units shall be screened to eliminate the view from the ground level of adjacent properties. The overall screening height shall be the height of the tallest element of roof-mounted equipment. The inside and outside of the screening device should be finished in a similar color to the building façade, trim or roof surface to minimize visibility of the equipment.
- b. All ground level equipment, including fans, HVAC units, cooling towers, generators, utility conduits, electric transformers, electric meters, wire ways and conduit shall be screened from the view of Floyd Road, James Drive and Central Expressway and adjoining properties by means of an architectural screen which shall be coordinated and compatible with the building architecture and color, or a living screen. Said screening shall not be less than the height of the tallest element of the equipment.
- c. Other than the walls shown on “Exhibit B” which shall be permitted, no other screening wall shall be required along James Drive or Floyd Road.
  - i. A maximum ten (10) foot tall wood (horizontal or woven, but not vertical) or masonry wall (including hardi board planks – horizontal or woven, but not vertical) may be allowed in the required setback in accordance with “Exhibit B”. Said wall shall be depicted on the landscape plan during the development plan review process.
  - ii. A maximum sixteen (16) foot tall non-opaque wire mesh landscape wall is permitted as shown in “Exhibit B” and shall include vine-like plants or synthetic equivalent to cover the wall to create a landscaped wall. Said wall shall be depicted on the landscape plan during the development plan review process.
- d. Trash enclosure. Trash enclosures may be located within required setbacks and shall be screened with a minimum six (6) foot high masonry enclosure compatible in material and color with the main structure.

8. LIGHTING. Site lighting, display window lights, architectural lighting, and general area lighting are encouraged to advertise the business, highlight building features and entries, and to illuminate dark corners of the property or street. Specific landscape materials should be highlighted via landscape lighting, where possible.
  - a. All parking lot lights and free standing pedestrian lights shall be from the same family of lights, which shall be submitted and approved by staff prior to installation.
  - b. Sconce and similar attached building lighting shall be allowed if the fixtures are in keeping with the architectural style of the building.
  - c. Indirect lighting should be provided whenever possible, for display and architectural lighting. Direct glare to vehicular traffic shall be avoided.
  - d. Outdoor dining seating areas shall be properly lit (maximum 1 fc) with lighting and in keeping with the balance of the building architectural style.
  - e. The use of colored lighting shall not be allowed for use unless otherwise approved by the City Manager or designee
  - f. The use of pulsating or flashing lighting is prohibited.

## Exhibit “C” - REVISED

GENERAL. For the purpose of determining sign regulations within the development, the entire Property shall be considered one (1) lot, regardless of how the property may be subdivided. All signage shall conform with the City of Richardson’s Sign Code, except as amended below:

### SIGN STANDARDS

#### 1. Prohibited Sign Types:

- a. Pole signs
- b. Single-use monuments signs

#### 2. Multiple-use Monument Sign Types Allowed

- a. Project Identification Monument Sign (Sign “A”). A maximum of two (2) signs shall be allowed, and shall be designed and constructed in general conformance with Exhibit C-1, and the location shown on Exhibit “B”, subject to the following:

- i. Minimum Setbacks

- A. Property lines: ten (10) feet

- ii. Height and Area

- A. Maximum height shall be thirty (30) feet.

- B. Tenant copy area is limited to three (3) sides of the pylon. The maximum cumulative copy area per side shall be two-hundred (200) square feet.

- b. Minor Tenant Directional Sign (Sign “B”). A maximum of one (1) sign shall be allowed, and shall be designed and constructed in general conformance with Exhibit C-2, and the location shown on Exhibit “B”, subject to the following:

- i. Minimum Setbacks

- A. North property line: ten (10) feet

- ii. Height and Area

- A. Maximum height shall be ten (10) feet.

- B. Tenant copy area is limited to three (3) sides of the pylon. The maximum cumulative copy area per side shall be twelve (12) square feet. The south side of the pylon sign shall be limited to a maximum copy area of sixteen (16) square feet.

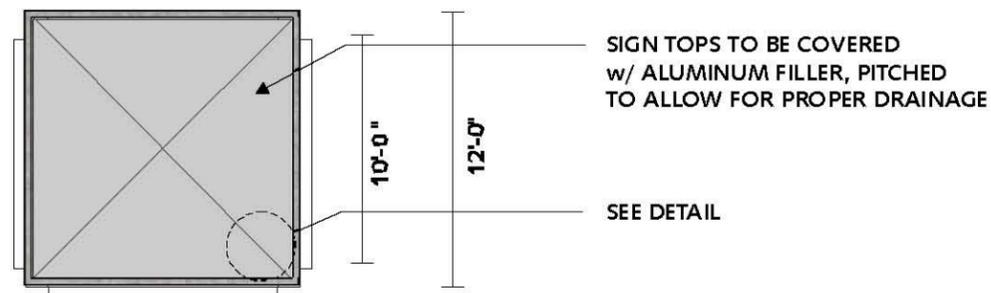
#### 3. Attached Sign Types Allowed

- a. Tenant Wall Signs (Channel Letter, Sign Cabinet, Painted Wall Mural Sign, Awning Sign, Awning Attached Sign, Vertical and Horizontal Blade Signs), subject to the following:
  - i. Maximum copy area
    - A. Total copy area for the above listed signs requiring a permit shall not exceed 6% of the total area of the ground floor façade (maximum façade height for calculating ground floor façade shall be 24 feet) of each elevation. The total sign area may be divided into any combination of individual signs among any of the building facades.
    - B. Exposed border neon, awning graphics that do not include copy or border LED tubing are all permitted and shall not count towards the total allowable signage. .
  - ii. Location
    - A. Signs shall not extend above the roof line of a mansard-type roof.
    - B. Signs shall not extend more than six (6) feet above the roof line on buildings with non-mansard roof structures. Said signs shall be directly affixed to and not shall extending above or beyond an integral part of the structure of the building other than a roof.
  - iii. Design
    - A. When projections on the wall face prevent the erection of the sign flat against the wall face, the space between the back of the sign and the wall shall be closed at the top, bottom and ends with incombustible materials.
    - B. Attached signs shall be construction only of materials that are noncombustible or slow burning in case of plastic inserts and faces.
    - C. Combustible materials may be used, providing the sign is attached to a wall with a minimum of two-hour, fire-resistive rating.
    - D. Attached sign play on heavy wood construction may be of combustible materials, but in no case shall they be internally illuminated.
    - E. Sign extending more than four (4) feet above the roof line shall be attached without the use of supporting poles, towers, guys or braces of any type. Such signs shall be designed, constructed and attached to withstand a wind pressure of not less than thirty (30) pounds per square foot.
    - F. Signs must provide eight (8) foot clearance above any walkway.
    - G. Flexible material sign are permissible if installed and supported by a cabinet, frame or other approved device approved by the director of community services.
    - H. Signs may be internally or externally lit.
- b. Awning Signs, subject to the following:

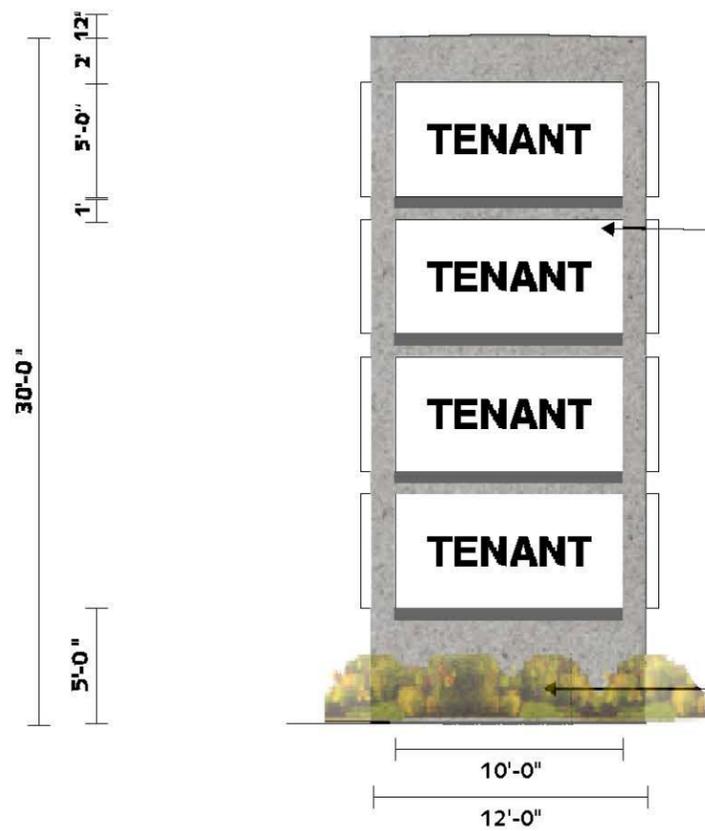
- i. Maximum copy area
    - A. The copy area shall not exceed seventy-five (75%) percent in length of any leading edge of an awning.
  - ii. Location
    - A. The copy area shall only be located on leading edges of awnings.
    - B. No building shall have both a wall sign with a tenant's trade name and an awning sign with a tenants trade name on the same building elevation.
  - iii. Design
    - A. Back-lighting is permitted and may be lighted internally or by exterior spotlights.
    - B. An awning sign and awning sign attachments shall be secure and may not swing, sway or move in any manner or contain any moving devices.
- c. Awning Attached Sign, subject to the following:
- i. Maximum copy area
    - A. The copy area shall not exceed seventy-five (75%) percent in length of any awning.
    - B. The maximum sign height shall be twelve (12) inches.
  - ii. Location
    - A. No building shall have both a wall sign with a tenant trade name and an awning attached sign with a tenant trade name on the same building elevation.
    - B. The sign shall only be suspend from or extend above the edge of the awning and shall be centered.
    - C. An awning attached sign shall not be used in conjunction with an awning sign.
  - iii. Design
    - A. An awning sign and awning sign attachments shall be secure and may not swing, sway or move in any manner or contain any moving devices.
    - B. Shall maintain a minimum ground clearance of eight (8) foot above a sidewalk.
- d. Vertical Blade Signs and Horizontal Blade Signs, subject to the following:
- i. Maximum copy area
    - A. Vertical blade sign (two story structure only) - Thirty-six (36) square feet, which shall count towards the total allowable sign area as indicated in Section 3. a. i. A. above.
    - B. Horizontal blade sign – twenty two (22) square feet, which shall count towards the total allowable sign area as indicated in Section 3. a. i. A. above.

- C. Exposed border neon or border LED tubing is permitted and shall not count towards the total allowable signage.
- ii. Location
  - A. May extend a maximum of six (6) feet from the façade of a building.
  - B. Shall not extend more than six (6) feet above a building wall.
- iii. Design
  - A. Shall maintain a minimum ground clearance of eight (8) feet above the lowest portion of the sign and sidewalk when sign is constructed above a sidewalk.
- 4. Screen Wall Directional Signs (Sign “C”), which shall be designed and constructed in general conformance with Exhibit C-3, and the location shown on Exhibit “B”, subject to the following:
  - i. Maximum copy area
    - A. Twelve (12) square feet per panel section.
  - ii. Design
    - A. Copy area shall be individual letters and shall either be internally lit with white neon or exterior lighted with down light fixtures.
    - B. Signs shall be secure and may not swing, sway or move in any manner or contain any moving devices.
    - C. Shall not obstruct the vision of traffic on public streets or be constructed so as to interfere with sight lines within a triangular area formed by the intersection of adjacent curb line from a point on each curb line twenty (20) feet from the intersection.
    - D. Shall be designed, constructed and attached to withstand a wind pressure of not less than thirty (30) pounds per square foot.

**SECONDARY PROJECT IDENTIFICATION SIGN**



**PLAN VIEW**



**NOTE - TENANT PANELS ALLOWED ON THREE SIDES ONLY**

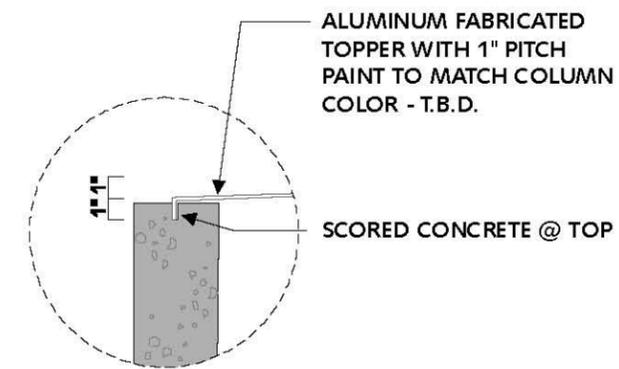
6" DEEP TENANT SIGNS WRAPPING BASE & ALL 4 SIDES FABRICATED ALUMINUM PAN BACKGROUND WITH #7328 WHITE ACRYLIC FACES & RETURNS

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S  
CONCRETE PYLONS ( VERIFY EXACT COLOR ) WITH NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER WITH 1" PITCH FROM CENTER  
- PAINTED TO MATCH COLUMN COLOR T.B.D.  
NOTE - TOP OF CONCRETE TO BE SCORED TO ACCEPT LIP OF TOPPER AND SEALED

ACCESS PANEL ON REAR



**DETAIL**

**A SECONDARY PROJECT PYLON** Scale = 1/8" = 1'-0"  
(1) REQUIRED - MANUFACTURE & INSTALL

Design #	11-1939r11
Sheet	5 of 7
Client	RICHARDSON RESTAURANT PARK
Address	Hwy. 75 @ JAMES/FLOYD RICHARDSON, TEXAS
Account Rep.	MSW / MAW
Designer	RMS
Date	10-26-11

Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision / Date	
r1-MAB/11-17-11: Full re-do per architect specs	
r2-SDM/11-22-11	
r3-MAB/12-13-11: Open mesh	
r4-RMS 12-18-13: add designs	
R5 RFF 01.07.14 update site plan	
R6 WAS NOT LISTED	
R7 PC 03FEB2014 REV. A,B,C,D, & E, DELETE "D"	
R8 PC 04FEB2014 REV. B	
R9 RFF 03.13.14 update	
R10-BR/3-18-14: Update art.	
r11-RMS 4-11-14 - notes / 3 side mon	

**Chandler Signs**  
www.chandler-signs.com

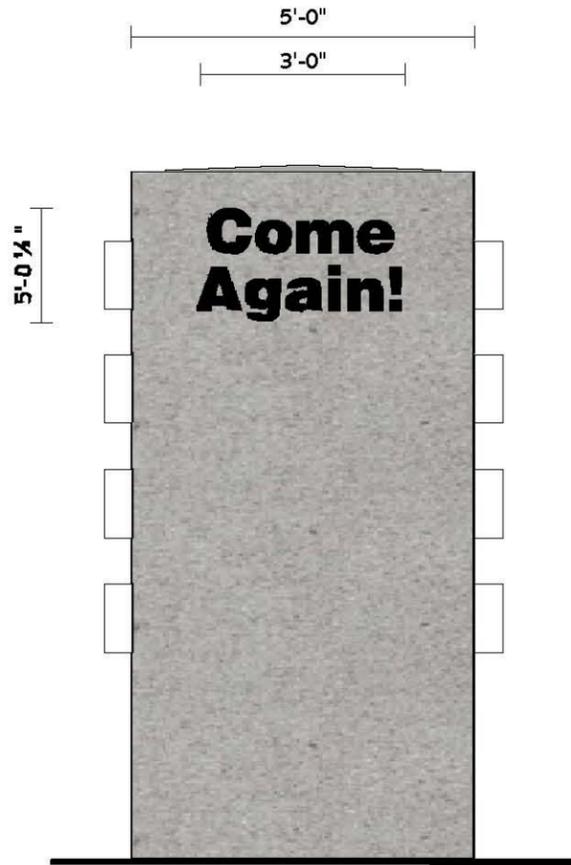
- 3201 Manor Way Dallas, TX 75235  
214-902-2000 Fax 214-902-2044
- 12106 Valliant Drive San Antonio, TX 78216  
210-349-3804 Fax 210-349-8724
- 1335 Park Center Drive, Unit C Vista, CA 92081  
760-967-7003 Fax 760-967-7033
- 400 Banner Trail Florissant, CO 80816  
719-687-2507 Fax 719-687-2506
- 325 West Main Street, Suite 102 Louisville, KY 40202  
502-582-3557 Fax 502-583-2646

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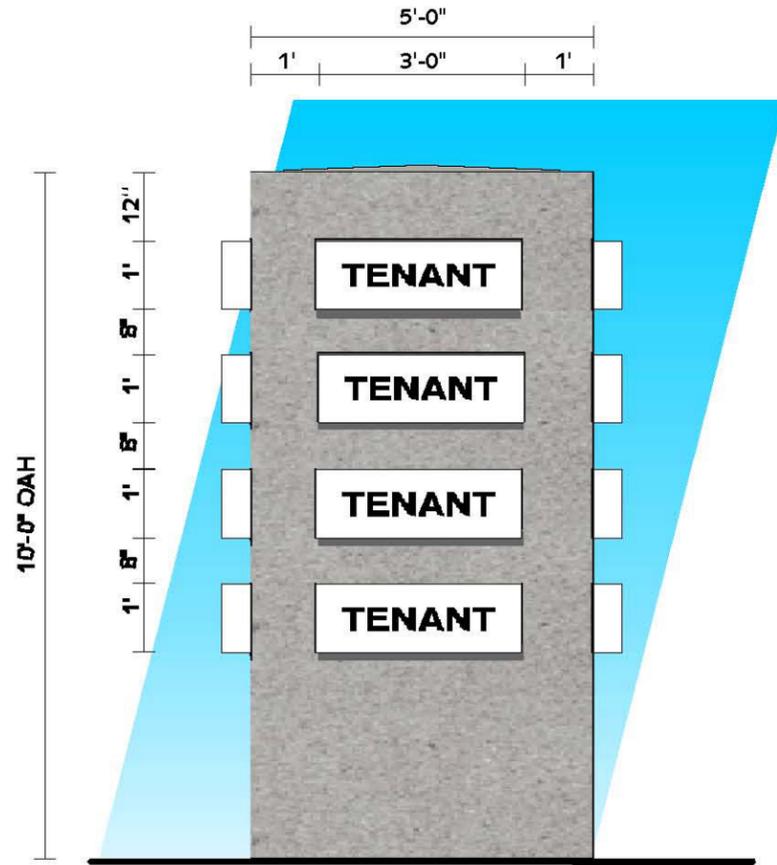
**FINAL ELECTRICAL CONNECTION BY CUSTOMER**



**MINOR TENANT DIRECTIONAL SIGN**



BACK



THREE SIDES

CONCRETE PYLONS ( VERIFY EXACT COLOR )  
WITH NATURAL FINISH

5" DEEP TENANT SIGNS WRAPPING BASE & ALL 4 SIDES  
FABRICATED ALUMINUM PAN BACKGROUND  
WITH #7328 WHITE ACRYLIC FACES & RETURNS

1st SURFACE TENANT VINYL GRAPHICS IN ASSORTED  
COLORS (EXACT COLORS T.B.D.)

INTERNALLY ILLUMINATED WITH WHITE LED'S

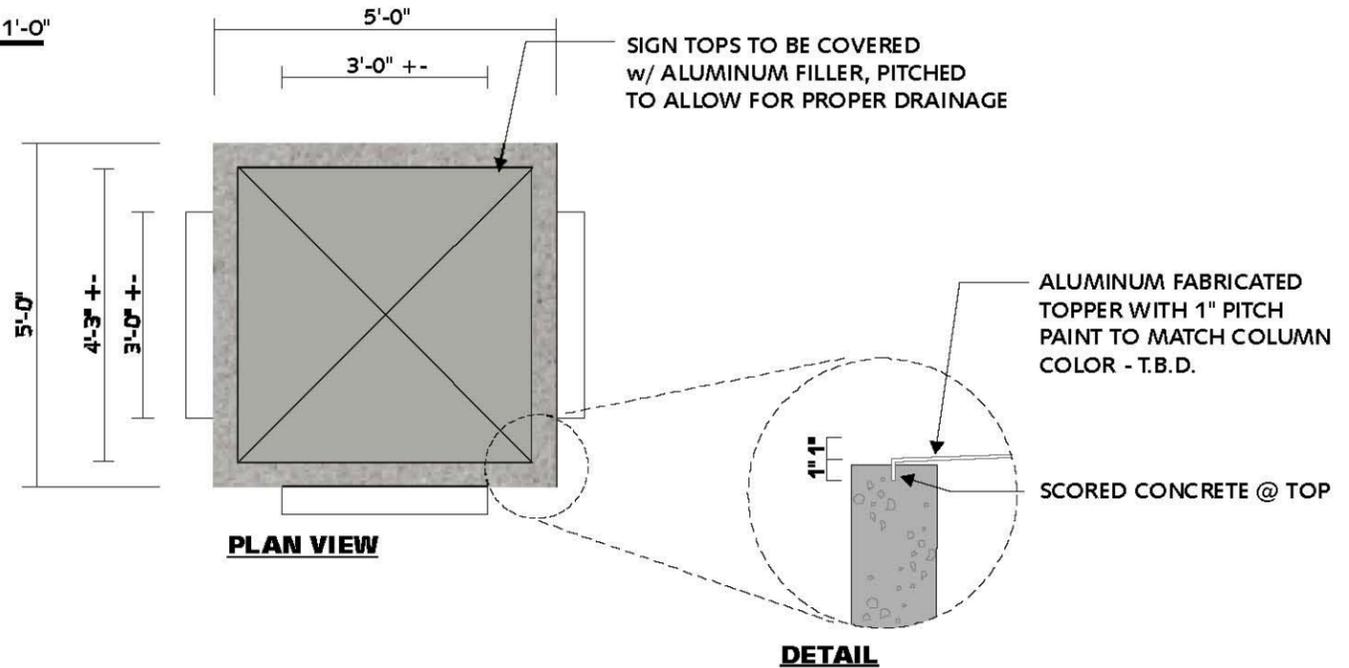
CONCRETE PYLONS ( VERIFY EXACT COLOR ) WITH  
NATURAL FINISH

ALUMINUM FABRICATED COLUMN TOPPER  
WITH 1" PITCH FROM CENTER  
- PAINTED TO MATCH COLUMN COLOR T.B.D.  
NOTE - TOP OF CONCRETE TO BE SCORED TO  
ACCEPT LIP OF TOPPER AND SEALED

REAR TO HAVE 1/4" ALUM. FLAT CUT OUT  
COPY READING "COMING SOON!"  
PAINTED BLACK AND PIN MOUNTED 2" OFF BASE

**NOTE - TENANT PANELS ALLOWED ON THREE SIDES ONLY**

**B MINOR TENANT PYLON** SCALE: 3/8" = 1'-0"  
(1) REQUIRED - MANUFACTURE & INSTALL



Design #	
11-1939r11	
Sheet	6 of 7
Client	
RICHARDSON RESTAURANT PARK	
Address	
HWY. 75 @ JAMES/FLOYD	
RICHARDSON, TEXAS	
Account Rep.	MSW / MAW
Designer	RMS
Date	10-26-11
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision / Date	
r1-MAB/11-17-11: Full re-do per architect specs	
r2-SDM/11-22-11	
r3-MAB/12-13-11: Open mesh	
r4 RMS 12-18-13: add designs	
R5 RFF 01.07.14 update site plan	
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R7 PC 03FEB2014 REV. A,B,C,D, & E, DELETE "D"	
R8 PC 04FEB2014 REV. B	
R9 RFF 03.13.14 update	
R10-BR/3-18-14: Update art.	
r11 RMS 4-11-14 - notes / 3 side mon	

**Chandler Signs**  
www.chandler-signs.com

3201 Manor Way Dallas, TX 75235  
214-902-2000 Fax 214-902-2044

12106 Valliant Drive  
San Antonio, TX 78216  
210-349-3804 Fax 210-349-8724

1335 Park Center Drive, Unit C  
Vista, CA 92081  
760-967-7003 Fax 760-967-7033

400 Banner Trail  
Florissant, CO 80816  
719-687-2507 Fax 719-687-2506

325 West Main Street, Suite 102  
Louisville, KY 40202  
502-582-3557 Fax 502-583-2646

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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

UL

SIGNS TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROFESSIONAL ENGINEERING AND BONDING OF SIGN(S). SIGN WILL BEAR UL LABEL(S).

SCREEN PANEL DIRECTIONAL SIGN



**C S/F SCREEN PANEL(S)** SCALE: 3/16" = 1'-0"  
 (4) REQUIRED WITH S/F SIGN PANELS  
 (7) REQUIRED WITHOUT S/F SIGN

NOTE - 11 PANELS TOTAL = 99'-2 3/4" TOTAL LENGTH SIDE BY SIDE

I-BEAM STRUCTURE w/ FLAT ALUMINUM  
 INSERT PANEL - ALL PAINTED DARK GRAY ( T.B.D. )

ARTIFICIAL GRASS SCREEN WALL

INDIVIDUAL LETTERS -  
 EITHER EXTERIOR LIT WITH GOSSENECK LAMPS ( SLEEK )  
 OR INTERIOR LIT WITH WHITE NEON

TENANT GRAPHICS TO BE DETERMINED

CONCRETE PIER TYPE FOUNDATION(S)  
 ENGINEERING TO DETERMINE SIZE & DEPTH  
 FOR LOCAL CODES & CONDITIONS

UNDERGROUND ELECTRICAL SERVICE TO SIGN  
 BY CUSTOMER'S ELECTRICIAN - COORDINATE W/  
 CHANDLER SIGNS AS TO REQUIREMENTS

NOTE - SIGN PANELS A MAXIMUM OF 12 SQ. FT. EACH

<b>Design #</b>	
11-1939r11	
<b>Sheet</b> 7 of 7	
<b>Client</b>	
RICHARDSON RESTAURANT PARK	
<b>Address</b>	
HWY. 75 @ JAMES/FLOYD RICHARDSON, TEXAS	
<b>Account Rep.</b> MSW / MAW	
<b>Designer</b> RMS	
<b>Date</b> 10-26-11	
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Art	
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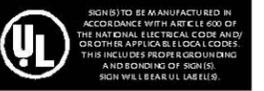
1335 Park Center Drive, Unit C  
 Vista, CA 92081  
 760-967-7003 Fax 760-967-7033

400 Banner Trail  
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325 West Main Street, Suite 102  
 Louisville, KY 40202  
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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**





OD FOR ALL

TACO  
REPUBLIC

TACO  
REPUBLIC

WONG  
WAY

WONG  
WAY

(1)

Looking North  
along US-75



TEXAS  
CAR TITLE &  
PAYDAY LOAN  
THE CASH YOU NEED...FAST!

Looking South  
along US-75



(3)

Looking North  
along Floyd Road



Looking East  
along James Drive

(4)

## Explanation and Description of Request

Richardson Restaurant Park is a proposed redevelopment project on approximately five acres of land along US75, between Floyd Road and James Drive. It is a comprehensive high quality, master planned restaurant development for the operation of a variety of reputable restaurants with outdoor dining areas that will include a pedestrian-friendly environment, distinctive restaurant architecture and unique project sign identification. The Restaurant Park is intended to become a new neighborhood destination for the use and enjoyment of Richardson residents and visitors. The project will endeavor to provide a safe and friendly environment by removing the blighted properties and to update and optimize the potential of the property given its unique site characteristics and proximity to the US75 corridor. The site was previously used for commercial purposes consisting of a motel, which has been demolished, auto repair uses, and a fast food restaurant. There are three existing buildings that were not incorporated in the proposed site layout. In 2012, there was a plan to include these buildings within the site so the whole block would be redeveloped. However, these property owners are not interested in selling their property or relocating their businesses. Therefore, the proposed plan had to work around the buildings that will remain and took into consideration certain design elements to provide the appropriate screening.

The property is currently part of the West Spring Valley Corridor PD with retail and commercial land uses. We are proposing to create a new PD with detailed development standards unique to this project. The standards include extensive architectural requirements for the building façade, horizontal and vertical articulation, and roof design. Additional requirements include specific landscaping, site lighting standards, enhanced pavement, and outdoor sound systems.



# Notice of Public Hearing

## City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

### PLANNED DEVELOPMENT

**File No./Name:** ZF 14-03 / Restaurant Park  
**Property Owners:** City of Richardson, 760 10233 CE LTD, CPC Sing Trust, Floyd Central LTD, and Alan Garonzik  
**Applicant:** Kirk Hermansen / Richardson Restaurant Park Investments, LLC  
**Location:** Southwest corner of US-75 & James Drive  
(See map on reverse side)  
**Current Zoning:** PD Planned Development  
**Request:** A request for a change in zoning for approximately 5.1 acres of land from PD Planned Development (West Spring Valley Corridor PD) to PD Planned Development/Major Modification to accommodate the development of multiple restaurant pad sites.

The City Plan Commission will consider this request at a public hearing on:

**TUESDAY, APRIL 15, 2014**  
**7:00 p.m.**  
**City Council Chambers**  
**Richardson City Hall, 411 W. Arapaho Road**  
**Richardson, Texas**

*This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.*

**Process for Public Input:** A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

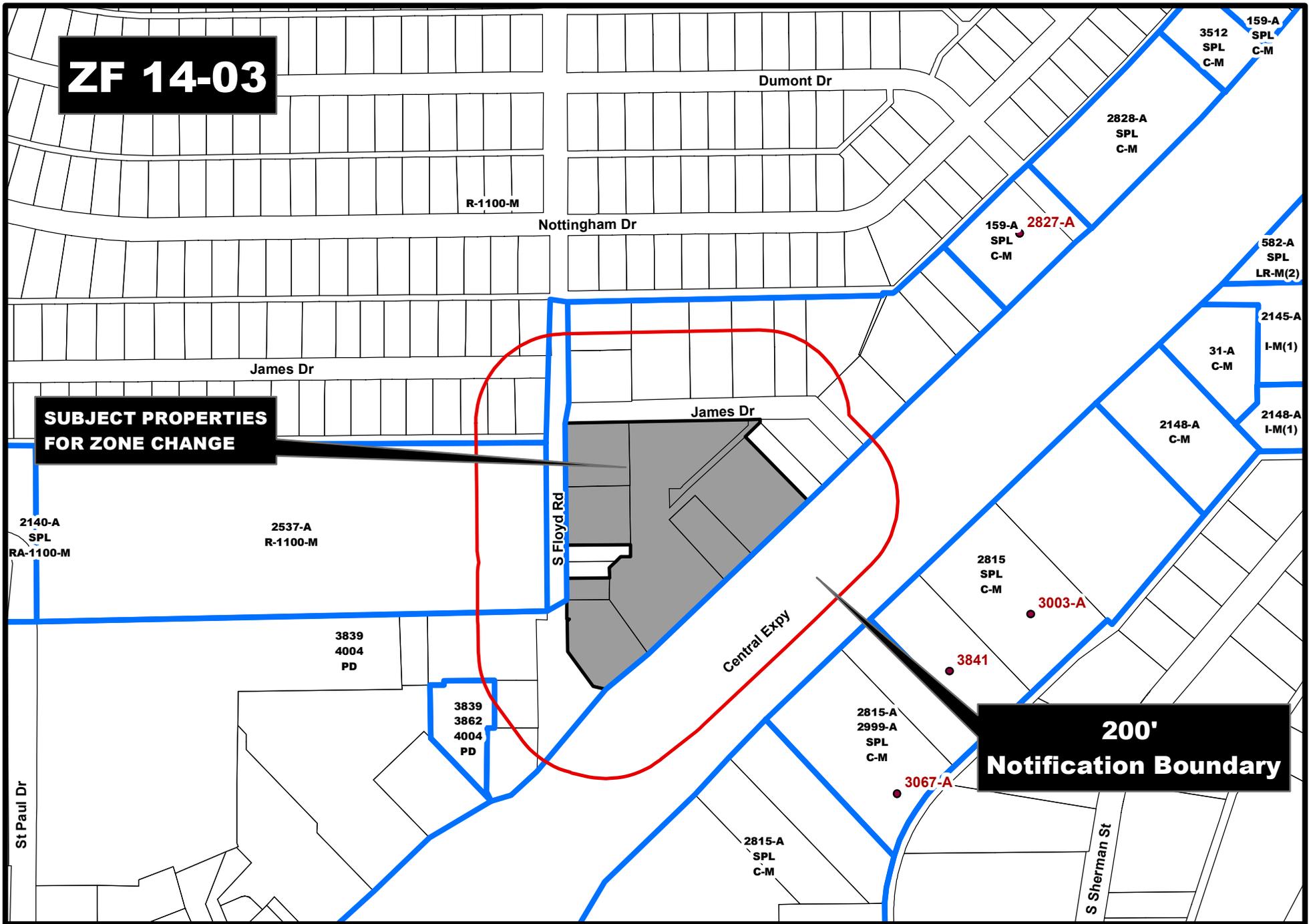
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

*The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.*

**Agenda:** The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 14-03.

Date Posted and Mailed: 04/04/2014



## ZF 14-03 Notification Map

Updated By: shacklett, Update Date: April 1, 2014  
 File: DSI\Mapping\Cases\Z\2014\ZF1403\ZF1403 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



MZLS ENTERPRISES LP  
4600 MEADOW RIDGE DR  
PLANO, TX 75093-3396

BHARUCHA MANECK J  
1705 APOLLO RD  
RICHARDSON, TX 75081-3825

MUNGIOLI PHILIP  
6928 WINDY RIDGE DR  
DALLAS, TX 75248-2229

PIT STOP TRIO, LP,  
620 JAMES DR  
RICHARDSON, TX 75080-7407

WEBB DON H & VICTORIA WEBB  
4325 POMONA RD  
DALLAS, TX 75209-2821

BESFKI & TAMAR INC  
1104 COLLEGE PARK BLVD  
RICHARDSON, TX 75081-5206

FREMONT CAPITAL LLC  
705 S FLOYD RD STE 100  
RICHARDSON, TX 75080-7404

AUTOMOTIVE INC  
9319 LBJ FWY STE 220  
DALLAS, TX 75243-3453

ORTIZ DAMIAN  
700 JAMES DR  
RICHARDSON, TX 75080-6027

PATAK BERNARD A  
703 JAMES DR  
RICHARDSON, TX 75080-6028

MCCOY KEVIN  
705 JAMES DR  
RICHARDSON, TX 75080-6028

MORTAZAVI MARYAM  
640 S CENTRAL EXPY  
RICHARDSON, TX 75080-7401

BEDFORD GOLD & SILVER EXCHAN  
3809 AIRPORT FWY  
BEDFORD, TX 76021-6110

HARRIS R GAIL & PAULA R  
701 JAMES DR  
RICHARDSON, TX 75080-6028

WAGNER ALDEN E JR  
5159 YOLANDA LN  
DALLAS, TX 75229-6433

ST PAUL THE APOSTLE  
CATHOLIC CHURCH  
3915 LEMMON AVE  
DALLAS, TX 75219-3735

**ALLAN GARONZIK  
7190 FM 1830  
ARGYLE, TX 76226-5069**

**FLOYD CENTRAL LTD  
7005 CHASE OAKS BLVD # 20  
PLANO, TX 75025-5943**

BRANTLEY GARY C  
6 SHADYWOOD PL  
RICHARDSON, TX 75080-4927

**CPC SING TRUST  
7005 CHASE OAKS BLVD # 20  
PLANO, TX 75025-5943**

**760 10233 CE LTD  
% LOUIS H LEBOWITZ  
4311 W LOVERS LN # 200  
DALLAS, TX 75209-2803**

BARGER JOHN EDWARD  
780 S FLOYD RD  
RICHARDSON, TX 75080-7403

SWEITZER ALAN & LEAH SWEITZER  
3309 INDIAN TRL  
ROWLETT, TX 75088-1593

JBZ ASSET MANAGEMENT LP  
788 S FLOYD RD  
RICHARDSON, TX 75080-7403

NOWAK JAMES E & CHERYL J  
800 S CENTRAL EXPY  
RICHARDSON, TX 75080-7413

**CITY OF RICHARDSON  
P O BOX 830309  
RICHARDSON, TX 75083-0309**

**KIRK HERMANSEN  
RICHARDSON RESTAURANT  
INVESTMENTS, LLC  
5944 LUTHER LANE STE 725  
DALLAS, TX 75225**

ZF 14-03  
Notification List

# Letters in Favor

ZF 14-03, Restaurant Park



FW: South Floyd at Central Development

kirk hermansen

to:

david.morgan@cor.gov, Sam.Chavez@cor.gov

04/15/2014 02:32 PM

Cc:

"Lou Lebowitz (llebowitz@msn.com)"

Hide Details

From: kirk hermansen <kirk@Hermansenlanddevelopment.com>

To: "david.morgan@cor.gov" <david.morgan@cor.gov>, "Sam.Chavez@cor.gov"

<Sam.Chavez@cor.gov>,

Cc: "Lou Lebowitz (llebowitz@msn.com)" <llebowitz@msn.com>

**From:** woody berry <boethia@hotmail.com>

**Date:** April 15, 2014 at 1:11:38 PM CDT

**To:** laura maczka <lauramaczka@sbcglobal.net>

**Subject:** South Floyd at Central Development

Mrs. Mayor,

It has come to my attention that there is some "push back" on the proposed restaurant development at Floyd and Central. While I'll readily admit I'm not certain of the exact specifics of said push back, I just wanted to voice my support for the developer and the plans that I've seen, assuming they are accurate. I can't understand why any right thinking person would oppose leveling what is one of the most unsightly pieces of real estate in our city and replacing it with tax revenue generating products and services that our city always needs and supports.

Perhaps you could enlighten me, but don't feel the need to respond. It has also come to my attention that you are a tad busy lately.

With warm regards,

Woody Berry

Owner/Operator

Woody B's BBQ



Rezoning for Restaurant Park

Don Bouvier

to:

Sam Chavez

04/15/2014 04:36 PM

Cc:

Kathy Welp

Hide Details

From: Don Bouvier <donbouvier@sbcglobal.net>

To: Sam Chavez <Sam.Chavez@cor.gov>,

Cc: Kathy Welp <Kathy.Welp@cor.gov>

Please respond to Don Bouvier <donbouvier@sbcglobal.net>

Sam:

I hope this message finds you well and that it is not too late to slip-sheet this into tonight's CPC agenda packet. I just wanted to send you a note in support (in favor) of the Rezoning for Restaurant Park. I was proud to be a part of the entirety of the Spring Valley rezoning project. Although there are a few areas of this rezoning proposal that are inconsistent with the Spring Valley plan I feel that this is a much needed catalyst for redevelopment of this area and will have a positive downstream affect on the overall Hwy 75 corridor. I believe a plan such as the one being proposed can co-exist as part of the ultimate plan for the surrounding area. I also like the unified signage plan that will serve to brand the area. The size and scale are appropriate given the freeway location and will be a significant contributor to its success. Thank you for the opportunity to pledge my support in favor of this project plan.

Don Bouvier

3102 Canyon Creek Dr.

Richardson

RE: Support for Richardson Restaurant Park

Dear City Council and Planning Members,

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In addition, I believe that the redevelopment is a much better use of the property and will provide a safer and friendlier environment. Further the removal of the blighted properties will allow for a much needed update and revitalization to the area.

As a resident of Richardson, I believe Richardson Restaurant Park will be an asset to our community and offer a one of a kind dining destination. I urge you to support the proposed project and approve the request as submitted to make this project a reality. Thank you.

Sincerely,

 4/14/14  
Name: AZAM BHAM / AFFORDABLE INSURANCE  
Address: 777 S. CENTRAL EXPWY OF TEXA  
RICHARDSON  
TX 75080

RE: Support for Richardson Restaurant Park

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Sincerely,

Name: SYED ALI - AMERICAN COMPUTER TECH

Address: 777 S. Central Expy.

Richardson, TX

[Signature]

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Sincerely,

Name: Israr Ahmed

Address: 411 E Buckingham Rd #1626  
Richardson, TX 75081

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Sincerely,

Name: W. O. Park / T. Hemmick  
Address: 777 S Central Expressway  
Richardson, TX

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Sincerely,

Name: Paul Henderson

Address: 777 S Central

Richardson, TX  
Donna Under Cherry 5pp/1

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Sincerely,

*Boonky Sasi Polace*  
Name: Rakesh Patel

Address: 113. S. Central Expy  
Richardson TX 75080

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Sincerely,

Bombay Boutique

Name: Nita Patel

Address: 119 S. Central Expwy.

Richardson, Tx: 75080.

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Sincerely,

Name: Akshay Bhatt - GORAL.ROSA

Address: 125 S. Combs St Way  
Richardson TX 75080

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Sincerely,

Name: Mahmood ASHRAF

Address: 415. N. Greenville Ave  
Richardson TX. 75081

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Sincerely,



Name: TAJMAHAL IMPORTS

Address: 102, So. C. Expway  
Richardson #26-C

TX 75080  
972-614-1328

RE: Support for Richardson Restaurant Park

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Sincerely,

Name: Buy sell Electronics

Address: 777 S Central Expy

Richardson TX 75081

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Sincerely,

Name: Iyed Husain A&M TAX SVC.

Address: 777 S. central Expy Ste 1-0  
Richardson Tx 75080

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Sincerely,

Name: MARWAN Sulaiman (Sulaiman + wife, (1P))  
Address: 811 S. Central Exp 1232  
Richardson Tx 75080

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RE: Support for Richardson Restaurant Park

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Sincerely,

Name: D.S. Travels

Address: 888 South

Greenville Avenue

Suite 130 - Richardson, 75081



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Sincerely,

Name: Issam Tabbakha (MAX Tech)

Address: 888 S. Greenville Ave  
Richardson, TX

---

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Sincerely,

Name: WIQARA QAZI  
Address: 218A EAST SPONGUE LN  
RICHARDSON TX 75081  
SILVER SPOON RESTAURANT

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Sincerely,

DIRE TAILORE

Name: ABDI mohamed

Address: 888 S. Green Valley AVE

#104 Richardson TX 75081

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Sincerely,

Name: SYED SHAHZAIB  
Address: 236 E SPRING VALLEY RD  
75081  
ROYAL CHEVERON

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Sincerely,

Name: ZYKA INDIAN RESTAURANT

Address: 100 S. Central Expressway #21

Richardson, TX - 75080

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Sincerely,

Name: Expert Staffing  
Address: 811 S. Central Expressway  
Richardson Tx 75080

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Sincerely,

Name: Murphy

Address: 524 West Bethline Road

Richardson

TX 75080

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Sincerely,

Name: Bollywood Groceries

Address: 520 Lockwood Dr

Richardson TX 75080

Joginder Singh Deo

972-671-1717

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Sincerely,

Name: Sheryl Ellis

Address: 333 Melrose Dr.

Condo #13A

Richardson, TX 75080

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Sincerely,

Name: WARREN PINTO

Address: 333 MELROSE DR.

UNIT # 12D

RICHARDSON, TX 75080

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Sincerely,



Name: Pacific Century Investments

Address: 222 Municipal Dr #136

Richardson TX 75080

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Sincerely,



Name: Michael Walters

Address: 7014 McKamy Blvd  
Dallas, TX 75248

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Sincerely,

*Jenny Walters*

Name: Jenny Walters

Address: 7019 McKamy  
Dallas, TX 75248

\_\_\_\_\_

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Sincerely,

Name: Dan Lewellen

Address: 15742 Havenlock Cir  
Dallas TX 75248

---

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Sincerely,

Name: Lynita Elkin

Address: 15742 Harenlock Cir  
Dallas TX 75248

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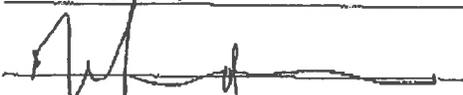
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Sincerely,

Name: Central Autohaus

Address: 640 S. Central Expy

Richardson, Texas



Maryam Madjidi

4/15/14

ppRE: Support for Richardson Restaurant Park

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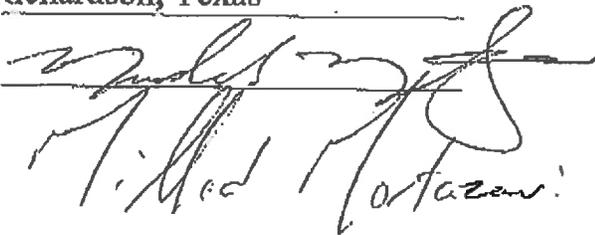
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Sincerely,

Name: Automotive, Inc.

Address: 707 S. Floyd.

Richardson, Texas

  
M. H. Hartman

4/15/14

RE: Support for Richardson Restaurant Park

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Sincerely,

Name: Shelbi Elkin

Address: 15742 Havenrock Cir

Dallas TX 75248

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Sincerely,

Name: Heather Faemer  
Address: 15742 Haven Rock Cir.  
Dallas TX  
75248

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Sincerely,

Name: Tim Farmer

Address: 15742 Havenrock Cir

Dallas TX 75248

---

RE: Support for Richardson Restaurant Park

Dear City Council and Planning Members,

I wish to express my support for above referenced development –Richardson Restaurant Park. I am aware that the proposed project will include reputable brand restaurants that will include a pedestrian-friendly environment, distinctive restaurant architecture and unique project sign identification. I believe the Restaurant Park will become a new neighborhood destination for the use and enjoyment of Richardson residents and visitors.

In addition, I believe that the redevelopment is a much better use of the property and will provide a safer and friendlier environment. Further the removal of the blighted properties will allow for a much needed update and revitalization to the area.

As a resident of Richardson, I believe Richardson Restaurant Park will be an asset to our community and offer a one of a kind dining destination. I urge you to support the proposed project and approve the request as submitted to make this project a reality. Thank you.

Sincerely,

Name: Melinda Turner

Address: 7126 FERN MEADOW CR.

DALLAS, TX 75248

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Sincerely,

Name: Amy Wilson

Address: 3019 warm springs Ln.  
richardson, TX 75082

---

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Sincerely,

Name: *Dell Smith*  
Address: *600 W ARAPAHO RD.  
RICHARDSON TEXAS 75080*

RE: Support for Richardson Restaurant Park

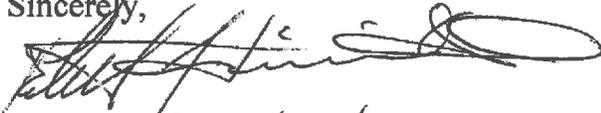
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Sincerely,



Name: Patrick J Laurin

Address: 419 Ridgewood Dr

Richardson TX 75080

(469) 569 8413

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Sincerely,

Name: Ben Howell

Address: 2120 Trellis Place

Richardson, TX 78081

---

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Sincerely,



Name: MATT BERRY

Address: 7 BUNKER HILL

RICHARDSON, TX

75080

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Sincerely,



Name: KELLY NORWOOD

Address: 104 N. DOROTHY  
RICHARDSON TX 75081

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4/15/14

RE: Support for Richardson Restaurant Park

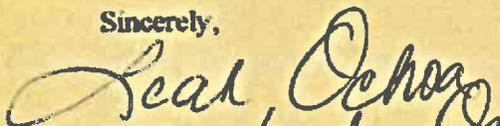
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Sincerely,

  
Name: Leah Ochoa  
Address: 630 Stardust Ln  
Richardson TX  
75080

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Sincerely,

Name: Sally Soames  
Address: 6616 Stardust Ln.  
Richardson, TX 75080

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Sincerely,

Name: Ronald W. Howell

Address: 2120 Trellis Place

Richardson, TX 78081

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Sincerely,

Name: Joni Howell

Address: 2120 Trellis Place

Richardson, TX 78081

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Sincerely,

Name:

Anne Bradley - Stender

Address:

419 Ridgewood Dr.  
Richardson, TX 75080

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Sincerely,

Emie R. Scott  
920 CHADWICK DR  
RICHARDSON TEXAS 75080

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Sincerely,

Name: Garrett Kimzey

Address: 1129 Eaton Dr

Richardson TX 75080

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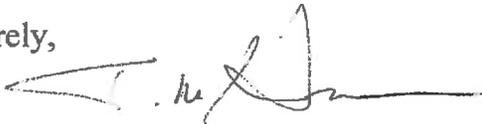
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Sincerely,



Name: TORRENCE M HANLON

Address: 2116 Brandeis Dr.

RICHARDSON, TX

75082

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Sincerely,

Name: Shelley Taylor

Address: 1205 Northlake Dr.

Richardson, Tx 75080

\_\_\_\_\_

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Sincerely,

Name: Brian K. Burtch

Address: 1203 Northlake Dr

Richardson Texas 75080

Brian K. Burtch

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Name: Denny Russ  
Address: 1203 Northlake Dr.  
Richardson, TX  
75080

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Name: Linda Rutterfield

Address: 1208 Northlake Dr.

Richardson, Tx 75080

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Name: James Ross

Address: 1203 Northlake Dr.

Richardson, TX

75080

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Sincerely,

Name: Wei Weizhang  
Address: 3908 Sharp Ln  
Richardson Tx 75082

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Name: Minki Shao

Address: 3615 Elmwood Dr  
Richardson TX 75082

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Name: Veronica Billingsly

Address: \_\_\_\_\_

917 Pinecrest

Richardson, TX 75080

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Name: Katherine Hunzel

Address: 1124 EATON DR.

Richardson, TX 75080

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Name: JEREMY FAN

Address: 3019 WARM SPRINGS LN.

RICHARDSON, TX 75082

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Sincerely,

Name: Ana Valdez

Address: \_\_\_\_\_

2665 Daffodil dr.

Richardson, TX. 75082

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Name: Michelle Kemzef

Address: 1129 Eaton Dr.

Richardson, TX 75080

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Carol Norton

Address:

2665 Daffodil Dr.

Richardson, TX 75082

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Sincerely,

Name: Fred Cassiker

Address: 909 Edgewood Dr.

Richardson, TX 75081

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Name: CODY CARREKER

Address: 909 EDGEWOOD DR.

RICHARDSON TX 75081

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Name: Rhonda Carraker

Address: 909 Edgewood Dr.

Richardson, TX 75081

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Name: IMRAN Suleman

Address: 602 Killarney

Richardson Tx 75081

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Sincerely,

Name: Haseeb Agha  
Address: 3101 Pond View  
Drive, Richardson, Tx  
75082

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Sincerely,

Name: Jonathan Rosas

Address: 333 Prestonwood Dr

Richardson TX 75081

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RE: Support for Richardson Restaurant Park

Dear City Council and Planning Members,

I wish to express my support for above referenced development –Richardson Restaurant Park. I am aware that the proposed project will include reputable brand restaurants that will include a pedestrian-friendly environment, distinctive restaurant architecture and unique project sign identification. I believe the Restaurant Park will become a new neighborhood destination for the use and enjoyment of Richardson residents and visitors.

In addition, I believe that the redevelopment is a much better use of the property and will provide a safer and friendlier environment. Further the removal of the blighted properties will allow for a much needed update and revitalization to the area.

As a resident of Richardson, I believe Richardson Restaurant Park will be an asset to our community and offer a one of a kind dining destination. I urge you to support the proposed project and approve the request as submitted to make this project a reality. Thank you.

Sincerely,

Name: Khawaja Waqar Ahmed

Address: 633 St George

Richardson, Tx, 75081

---

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Sincerely,

Name: WAGAS HAFEEZ

Address: 332 E Popk  
Street Apt. 505  
Richardson TX, 75081

RE: Support for Richardson Restaurant Park

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As a resident of Richardson, I believe Richardson Restaurant Park will be an asset to our community and offer a one of a kind dining destination. I urge you to support the proposed project and approve the request as submitted to make this project a reality. Thank you.

Sincerely,

Name: AZIM AKHTAR  
Address: 510 Arrowhead Dr  
Richardson Tx 75080

---

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Sincerely,

Name: Akshay Reel Hoyle.

Address: 3018. Metairie Ln  
Richardson TX 75080

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In addition, I believe that the redevelopment is a much better use of the property and will provide a safer and friendlier environment. Further the removal of the blighted properties will allow for a much needed update and revitalization to the area.

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Sincerely,



Name: Yedida Assa

Address: 1135 Bull Run

Richardson TX 75080

---

RE: Support for Richardson Restaurant Park

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As a resident of Richardson, I believe Richardson Restaurant Park will be an asset to our community and offer a one of a kind dining destination. I urge you to support the proposed project and approve the request as submitted to make this project a reality. Thank you.

Sincerely,

Name: Kerry Assa

Address: 1135 Bull Run

Richardson, TX 75080

Kerry Assa

RE: Support for Richardson Restaurant Park

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As a resident of Richardson, I believe Richardson Restaurant Park will be an asset to our community and offer a one of a kind dining destination. I urge you to support the proposed project and approve the request as submitted to make this project a reality. Thank you.

Sincerely,



Name: JOSEPH A. BERIZU

Address: 807 Dumont

Richardson TX 75080

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# Letters in Opposition

ZF 14-03, Restaurant Park



To: sam.chavez@cor.gov,  
Cc:  
Bcc:  
Subject: Opposition to Continental Inn Rezoning Request  
From: Greg Brown <gbrown888@gmail.com> - Monday 04/14/2014 07:26 PM

To the Members of the Plan Commission, City of Richardson:

I regret not being able to attend the meeting on Tuesday night, but I have a previous work commitment. In lieu of being there in person, **I am writing you to strongly oppose the proposed rezoning for the site previously occupied by the Continental Inn.** I have lived in Richardson Heights for almost 13 years—just blocks from this site which I drive by at least once every day. I love my neighborhood, love my neighbors, and love my city—very proud to be here. That's why I was so excited by the process through which Richardson adopted the Spring Valley Redevelopment Plan. It was collaborative, visionary (not to mention award-winning) and gave me even more excitement about what could happen right here where I live.

That is why I am so frustratingly disappointed with the rezoning request before the Plan Commission to turn an important gateway/catalyst site into a run-of-the-mill uninspired restaurant park. It seems as if the thousands of hours and enormous resources put into the redevelopment plan are now being tossed aside in favor of the first mediocre idea to come along.

I oppose the request for these specific reasons:

- First and foremost, it does not conform in any way to the well-thought out Spring Valley Redevelopment Plan, a plan which provides a clear road map for future development of this site and others in the corridor.
- The 50 foot sign requested is far too large and intrusive to the neighborhood.
- The site calls for more intense uses than a few restaurants and enormous parking lots.

I want to make it clear that I am not opposed to restaurants per se. But I cannot support a short-term and half-hearted measure that abandons the Spring Valley plan. This particular proposal does not have the best interests of the surrounding neighborhoods in mind.

Perhaps just as (or more) importantly, it does not have the best long-term interests of the city in mind. This is the first proposal for the first catalyst site in the first of what seems to be a series of redevelopment plans for the entire city. I said it to City Council members at our neighborhood association meeting more than a year ago and say it again...if we waste this opportunity, it portends for more mediocrity as we move forward with other sites and other plans. Where would that put us in ten years?

I am willing to wait for the right use of that site. This is not that right use. The vacant land there does not signal inertia. Instead, it signals that the city and its leadership, in partnership with its citizens and neighborhoods, intends to raise the bar and make Richardson not only a great place to live now, but an even greater place in the future.

**I ask you to deny the request.**

Sincerely,

Greg Brown, 755 James Dr., [gbrown888@gmail.com](mailto:gbrown888@gmail.com)



**West Spring Valley Redevelopment Plan**  
**Chris Torres** to: sam.chavez

04/15/2014 08:28 AM

Hello Mr. Chavez,

I'm writing you to express my interest in the current course of the Spring Valley Redevelopment Plan. I feel that the proposed development is a significant deviation from the redevelopment plan that was initially discussed. As a resident of the Cottonwood Heights Neighborhood, I feel inclined to wait for the right opportunity that favors the long term interest of the area and city. I feel that the current proposal does not adequately address the efforts to reduce blight within the Spring Valley corridor, and seems to abandon the grassroots plan that was initially approved by the city council. I'm not opposed to business development, but again, I feel the current proposal is a significant deviation from what was agreed upon by neighbors of the community who will be directly affected by the proposed restaurant park. I oppose the rezoning request and hope that you will take these thoughts into consideration.

Sincerely,  
Chris Torres  
705 Cliffside Drive  
Richardson, TX



City Plan Commission Meeting - Rezoning of the former Continental Inn Site

jesnokes

to:

sam.chavez

04/15/2014 08:43 AM

Hide Details

From: jesnokes <jesnokes@gmail.com>

To: sam.chavez@cor.gov,

Dear Richardson City Council,

I resided in Richardson for the majority of my childhood and when my husband and I chose to start a family, I believed that Richardson would be the best place to do that. We arrived just as the Spring Valley Redevelopment Plan was becoming a reality, which was very exciting!

I have become aware that there has been a rezoning request for the former Continental Inn site. I am opposed to the plan for this restaurant park for a number of reasons, the most important of which is that it does not follow the previously laid out Spring Valley Redevelopment Plan, which covers that area. I am in support of a redevelopment process and plan that is **STRONG** and will look at the long-term interest of not only the surrounding neighborhoods, but of our city as well.

As a long-term resident, I am well-aware that the Continental Inn was a problem for many, many years. I am ready and willing to wait for *great* development, something better than what the current rezoning plan is encouraging. It is important to me that we rely on the strong plan that was created with the Spring Valley Redevelopment Plan and leave the area bare as we wait for something better.

Sincerely,

Jessica Stanford Nokes



Opposed to rezoning for restaurant park

Hilary Palmer

to:

sam.chavez@cor.gov

04/15/2014 08:43 AM

Hide Details

From: Hilary Palmer <hpalmer@cvglobal.com>

To: "sam.chavez@cor.gov" <sam.chavez@cor.gov>,

Hi Sam,

I was a big advocate of the Spring Valley Redevelopment Plan, and I would hate for Richardson to have the same suburban pad restaurants that plague so many other suburbs. Our neighborhood is unique, and we support businesses and restaurants that reflect how our neighborhood is different. Please, no cookie cutter restaurant parks and huge signs that blight the neighborhood.

Hilary Palmer  
807 Downing Drive  
Richardson, TX 75080

I am OPPOSED to the rezoning request and plan for the restaurant park. The request does not conform to the Spring Valley Redevelopment Plan, which covers that area.

I am FOR strong redevelopment that looks at the long term interests of the area and the entire city.

I AM WILLING to wait on good development. The Continental Inn was a problem for at least 20 years. Blank land for a few years is just a step to something better.

(If applicable) I participated in the West Spring Valley planning.



Richardson Heights Rezoning  
Whorton Julie

to:

sam.chavez@cor.gov

04/15/2014 08:54 AM

Hide Details

From: Whorton Julie <Julie.Whorton@irs.gov>

To: "sam.chavez@cor.gov" <sam.chavez@cor.gov>,

Please distribute my comments regarding the restaurants to the City Plan Commission.

I am **OPPOSED** to the rezoning request and plan for the restaurant park.

I am not against restaurants. I am **pro-redevelopment** and **pro-business**. I am against the extreme deviation from the current zoning and plan. I am especially opposed to a 50 foot sign. This sign, visible from the neighborhood, proves the developer does not have the best interests of the neighborhood in mind.

I have lived in this neighborhood for 20 years. I am willing to wait on good development. The Continental Inn was a problem for at least 20 years. The current proposal does not have the best long term interests of myself, the neighborhood or the entire city in mind.

The Spring Valley Redevelopment Plan is strongly supported in the community and has my support.

*Julie Whorton*

Resident of Richardson Heights

714 James Drive

Richardson, TX 75080

972-644-0216



Former Continental Inn Site Proposal

Chloe Hancock

to:

sam.chavez

04/15/2014 08:55 AM

Hide Details

From: Chloe Hancock <[chloe@d-51.com](mailto:chloe@d-51.com)>

To: [sam.chavez@cor.gov](mailto:sam.chavez@cor.gov),

Dear Mr. Chavez,

I am OPPOSED to the rezoning request & plan for the restaurant park. The request does not conform to the Spring Valley Redevelopment Plan, which covers that area. We believe in strong redevelopment that looks at the long term interests of the area & the entire city. We are willing to wait on good development; that space was occupied by the Continental Inn for 20 years, we can wait for good development that fulfills the agreement of the Spring Valley Redevelopment Plan.

Thank you for your time.

Chloe Esakoff | Design 51 Creative Group | office 972.335.5103 | [chloe@d-51.com](mailto:chloe@d-51.com) | [www.d-51.com](http://www.d-51.com)



Continental Inn  
Malinda

to:  
sam.chavez@cor.gov  
04/15/2014 10:19 AM

Hide Details

From: Malinda <leonard.malinda@rocketmail.com>

To: "sam.chavez@cor.gov" <sam.chavez@cor.gov>,

Please respond to Malinda <leonard.malinda@rocketmail.com>

I am opposed to the rezoning request and plan for the restaurant park. The request does not conform to the Spring Valley Redevelopment Plan, which covers that area.

I am for strong redevelopment that looks at the long term interests of the area and the entire city.

I am willing to wait on good development. The Continental Inn was a problem for at least 20 years. Blank land for a few years is just a step to something better.

Malinda Leonard



Former Continental Inn rezoning  
Blake Fadem

to:

'sam.chavez@cor.gov'

04/15/2014 10:28 AM

Hide Details

From: Blake Fadem <bfadem@weitzmangroup.com>

To: "'sam.chavez@cor.gov'" <sam.chavez@cor.gov>,

As ten year residents of Richardson Heights my wife and I are extremely interested in and development that affects the City and especially our immediate area.

We have been supporters of the cities steps to hopefully revitalize the 75 & Spring Valley corridors. This proposed restaurant park however we feel is not in line with the overall goals as we understand them. Much like when QT proposed a second site at Spring Valley & Weatherred we would rather wait until an opportunity that would spur a greater redevelopment comes up than to take these restaurant pads now.

Please don't allow this rezoning for a "restaurant row" to occur.

Blake & Christa Fadem  
633 Scottsdale Dr

The Weitzman Group is the brokerage division of Weitzman Management Corporation, a regional realty corporation that also does business through its management and development division, Cencor Realty Services.



City Plan Commission Meeting on the Continental Inn Site  
Cannon, Lisa G.

to:

[sam.chavez@cor.gov](mailto:sam.chavez@cor.gov)

04/15/2014 10:59 AM

Hide Details

From: "Cannon, Lisa G." <[Lisa.Cannon@baylorhealth.edu](mailto:Lisa.Cannon@baylorhealth.edu)>

To: "sam.chavez@cor.gov" <[sam.chavez@cor.gov](mailto:sam.chavez@cor.gov)>,

Mr. Chavez,

I understand the City Plan Commission is meeting tonight regarding the old Continental Inn Site. Unfortunately, I am unable to attend this meeting, but would like my voice to be heard via this email. I am OPPOSED to the rezoning request and plan for the restaurant park. The request does not conform to the Spring Valley Redevelopment Plan, which covers that area.

I moved to Richardson about 5 years ago and was very happy to see the Spring Valley Redevelopment Plan, but unfortunately it seems as though that plan is being pushed aside. Please consider reviewing the Spring Valley Redevelopment Plan again as this is what I'd love to see for Richardson.

Thank you for your time. Lisa Cannon

**Lisa Cannon, B.S.**

Office Manager, Reward Staffing



2001 Bryan St. | Suite 600 | Dallas, TX 75201

214-820-6458 Office | 214-818-9639 Fax

[BaylorScottandWhite.com](http://BaylorScottandWhite.com)

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Rezoning Hearing - Continental Inn property  
Suzanne Kirklin

to:

[sam.chavez@cor.gov](mailto:sam.chavez@cor.gov)

04/15/2014 11:49 AM

Hide Details

From: Suzanne Kirklin <[su3mk13@sbcglobal.net](mailto:su3mk13@sbcglobal.net)>

To: "sam.chavez@cor.gov" <[sam.chavez@cor.gov](mailto:sam.chavez@cor.gov)>,

Please respond to Suzanne Kirklin <[su3mk13@sbcglobal.net](mailto:su3mk13@sbcglobal.net)>

Dear Mr. Chavez,

I will be unable to attend the rezoning hearing tonight but wanted to let you know of my disapproval of rezoning the Continental Inn property on I-75 & James Dr./Floyd Rd. for pad restaurants.

This is not in keeping with the West Spring Valley redevelopment plan the Richardson City Council and our neighborhood associations have worked so hard on for the last several years. It was my understanding this property would be developed as a mixed use environment with a distinctive architectural presence that would integrate the neighborhood with the development. A strip of generic pad restaurants with a "Richardson Restaurant Park" sign does not meet that vision.

I participated in the West Spring Valley vision process and am willing to wait for the right kind of development project that will really enhance our neighborhood & city long-term, rather than a quick,easy installment of pad restaurants that will undoubtedly bring in tax revenue for the city, but do nothing to correct the declining appearance & character of our city.

Respectfully,

**Suzanne Kirklin**

**751 James Dr.**

[su3mk13@sbcglobal.net](mailto:su3mk13@sbcglobal.net)



**Comments from a Richardson Height residence**  
**Dawn Bolton** to: sam.chavez@cor.gov

04/15/2014 11:59 AM

Dear Mr. Chavez ,  
I live in the Richardson Heights community at 611 Devonshire Drive. I am concerned and opposed at this time to the rezoning request and plans for a restaurant park. I AM for strong redevelopment that looks at long term interests of the area as well as the City of Richardson. I believe it's well worth waiting for to come up with a good development plan that strives to create "a distinctive people oriented urban character" that connects Richardson's past with its sustainable future.  
I regret that I am unable to attend tonight's meeting to discuss the subject further, I have prior plans, but please consider my opinion .  
Kindest Regards, Dawn Bolton



City Plan Commission Meeting on the Continental Inn Site

CORY MORRISON

to:

sam.chavez

04/15/2014 12:10 PM

Hide Details

From: CORY MORRISON <corymorrison@mac.com>

To: sam.chavez@cor.gov,

Dear Mr. Chavez,

My partner and I participated in the West Spring Valley planning sessions and unfortunately, we are unable to attend tonight's City Planning Commission Meeting. However we wanted to voice our strong OPPOSITION to the rezoning request and plan for the restaurant park. The request does NOT conform to the Spring Valley Redevelopment Plan, which covers that area.

We are FOR strong redevelopment that looks at the long term interests of the area and the entire city and we are willing to wait on good development. The Continental Inn was a problem for at least 20 years and having a blank parcel of land for a few years, is acceptable for now and just a step to something better.

We URGE you to consider the long term plan and deny this request for zoning change!

Respectfully,

Cory Morrison and Joe Torres  
628 Nottingham Drive  
Richardson, TX 75080  
(214-542-9365)



Zoning File Number ZF 14-03

Claire James

to:

[sam.chavez@cor.gov](mailto:sam.chavez@cor.gov)

04/15/2014 01:24 PM

Hide Details

From: Claire James <[cjames@bfsnlaw.com](mailto:cjames@bfsnlaw.com)>

To: "sam.chavez@cor.gov" <[sam.chavez@cor.gov](mailto:sam.chavez@cor.gov)>,

Dear Sir or Madam:

I am a resident of Richardson Heights. My husband, our five year old son, and I moved to the neighborhood in February 2014. I am also an attorney who works for a firm that is located at the corner of Spring Valley and Sherman. I **oppose** the rezoning request and plan for the restaurant park.

First, I oppose the request because it does not conform to the Spring Valley Redevelopment Plan, which covers that area. I am for strong redevelopment that looks at the **long term** interests of the area and the city.

I am willing to wait for good development. I ask the Plan Commission to refuse to approve the request and restaurant park.

Sincerely,

**Claire E. James**

BLUME, FAULKNER, SKEEN & NORTHAM, PLLC

111 W. Spring Valley Rd.

Suite 250

Richardson, Texas 75081

P (214) 373-7788

F (214) 373-7783

E: [cjames@bfsnlaw.com](mailto:cjames@bfsnlaw.com)

W: [www.bfsnlaw.com](http://www.bfsnlaw.com)

[LinkedIn](#)

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City Plan Commission Meeting re: Continental Inn Site

Julie Stone

to:

sam.chavez

04/15/2014 03:00 PM

Hide Details

From: Julie Stone <julie.s.stone@gmail.com>

To: sam.chavez@cor.gov,

April 15, 2014

To Whom It May Concern:

My family recently moved to Richardson Heights in July of 2013 and joined the Richardson Heights Neighborhood Association. We love our new community and supporting local businesses, however, we are OPPOSED to the rezoning request and plan for the restaurant park. The request does not conform to the Spring Valley Redevelopment Plan, which covers that area. We are in support of strong redevelopment that looks at the long term interests of the area and the entire city. This development is right in our "back yard" so we are willing to wait on good development. We understand that the Continental Inn was a problem for at least 20 years. We would rather the land stay undeveloped for a few years if it means something better in the future that will add, rather than detract from our community.

Sincerely,

Dr. James C., Julie, & Sasha Stone

706 Dumont Dr.

Richardson, TX 75080



Continental Inn Proposal  
ecsheuer

to:

sam.chavez

04/15/2014 03:02 PM

Hide Details

From: ecsheuer <ecscheuer@gmail.com>

To: sam.chavez@cor.gov,

Mr. Chavez,

I cannot attend tonight's City Plan Commission meeting on the Continental Inn Site. However, as a resident of Richardson Heights, I want to publicly declare my opposition to the zoning change proposal for the former Continental Inn site.

I am OPPOSED to the rezoning request and plan for the restaurant park. The request does not conform to the Spring Valley Redevelopment Plan, which covers that area.

I am FOR strong redevelopment that looks at the long term interests of the area and the entire city.

I AM WILLING to wait on good development. The Continental Inn was a problem for at least 20 years. Blank land for a few years is just a step to something better.

I SUPPORT the Richardson Heights and Cottonwood Heights neighborhood associations in opposing this proposal.

Sincerely,

Erin Scheuermann

721 Devonshire Drive



PROPOSED RESTAURANT PARK updated

Marcos Fernandez

to:

sam.chavez

04/15/2014 03:22 PM

Hide Details

From: Marcos Fernandez <mimich@icloud.com>

To: sam.chavez@cor.gov,

Dear Sam,

Thank you for your past contributions to successful projects in Richardson. However, today I am expressing my deep opposition to the change in zoning proposed in item #9 on tonight's plan commission agenda.

The restaurant park is a major deviation from our vision of the future, developed in detail in the West Spring Valley Reinvestment Study. The US economy is beginning to show strength, so this is not the time to "desperately" agree to a bad development deal like a restaurant park.

We must act wisely and with patience to reach our future vision, so please convey this concern to our decision makers. Say NO to the restaurant park revised zoning.

Sincerely,

Marcos Fernandez  
616 Devonshire Dr.



## Opposition to Agenda Item 9

Gwen Walraven

to:

sam.chavez

04/15/2014 04:15 PM

Hide Details

From: "Gwen Walraven" <GwenW@BELLNUNNALLY.com>

To: <sam.chavez@cor.gov>,

### 2 Attachments



image001.jpg image002.gif

To whom it may concern,

My name is Gwen Walraven and I live in Cottonwood Heights. My particular street, Cliffside Drive, is in very close proximity to the location of the proposed Richardson Restaurant Park. Unfortunately, I am unable to attend tonight's hearing regarding the proposed park; however, I wish to voice my concerns with the proposal currently before the City Plan Commission – Agenda Item 9.

I support the Spring Valley Redevelopment Plan that was approved in 2011. I was overjoyed by our city and city leaders when I witnessed the demolition of the Continental Inn. I was encouraged by that bold first step in implementing the redevelopment plan and am excited for what the future holds. I support the redevelopment plan and intend to remain patient as the city implements the plan going forward. I simply believe that Item 9 before the Commission does not further the vision behind the plan.

Sincerely,

Gwen Walraven



ABOUT US

V-CARD

**Gwen I. Walraven** | Partner

[gwenw@bellnunnally.com](mailto:gwenw@bellnunnally.com)

Tel 214-740-1484 | Fax 214-740-5784

3232 McKinney Ave. Suite 1400 Dallas, Texas 75204

[www.bellnunnally.com](http://www.bellnunnally.com)



**Oppose Spring Valley Redevelopment Plan**  
Patricia McMillan to: sam.chavez@cor.gov

04/15/2014 04:47 PM

Hi Sam,

I am unable to attend this meeting at city hall, but wanted to voice my opposition to this issue.

1. I am OPPOSED to the re-zoning and plan for the restaurant park! This request does not conform to the Spring Valley Redevelopment Plan which covers that area.
2. I am FOR strong redevelopment that looks at the long term interests of the area the residents and the city as a whole.
3. I am WILLING to WAIT on good development options taking our residential needs into better consideration. The Continental Inn was a problem issue in our area for many years. Blank land is a small step to take for the opportunity for much better options to present themselves.

Very sincerely,

Patricia McMillan  
809 James Drive  
Richardson TX 75080

Sent from my iPhone

4/15/2014

Reference: Final Prep for the CFC Public Hearing on Richardson Restaurant Park

Dear Department of Development Service, Council Members:

As a member of the Cottonwood Heights Neighborhood and resident of 706 Laguna Dr., I oppose the current development proposal, currently titled Richardson Restaurant Park, with a proposed location at State Highway 75 at Spring Valley/Floyd Road, approximately. The Richardson Restaurant Park development project does not seem to fulfil the long term propositions agreed upon several years ago in the Spring Valley Redevelopment Plan. Specific alternatives are a development plan that incorporates ideas from the mixed use projects such as Brick Row and/or Eastside Commons off of Campbell. These projects better serve the long term growth, stability and aesthetics of Richardson. With a current and foreseeable shortage of lot inventory for single family construction in DFW, many developers and homebuilders are looking for alternative land positions in the DFW metroplex to construct 'central/urban living' projects which include condos, attached townhomes and multi-family units that incorporate commercial options. The current market conditions give Richardson an opportunity to seek different alternatives to better fit the long term propositions agreed upon in the Spring Valley Redevelopment plan. It is imperative that the community, as a whole, make wise development decisions going forward to prevent commercial tenant turnover and abandonment, future and recurring blight within specific land positions as well as attract stable and active homeowners for all communities in Richardson.

Sincerely,



Will Gray

706 Laguna Dr., Richardson, TX 75080

210.365.1817 | [williamwadegray@gmail.com](mailto:williamwadegray@gmail.com)



CPC Public Hearing for Richardson Restaurant Park

suzanne juliussen

to:

sam.chavez

04/15/2014 05:09 PM

Cc:

Jason.lemons, president, jdepuy

Hide Details

From: "suzanne juliussen" &lt;italia@sbcglobal.net&gt;

To: &lt;sam.chavez@cor.gov&gt;,

Cc: &lt;Jason.lemons@cottonwoodhna.org&gt;, &lt;president@richardsonheights.org&gt;, &lt;jdepuy@tx.rr.com&gt;

Neighborhood presidents: Please forward this e-mail to your board. Thank you. Suzanne Juliussen

**To: The City Plan Commission  
Department of Development services**

**Copy: Cottonwood Heights Neighborhood Association board**  
Jason Lemons, Anne Bienfang; Barry Hand; Bob Hinsley; Chris D.; Cynthia Armstrong; Dave Knepper; David Chenoweth; David Clark; Joe Stephenson; Karen Leach Tanker; Larry Breazeale; Stephen Kinnane; Suzanne Juliussen; Thomas Norman; Chris Davis, Barry Hand

**Richardson Heights Neighborhood Association board**  
Richard Dotson & Andrew Laska

**Heights Park Neighborhood Association board**  
Janet DePuy

**From:** Suzanne Juliussen, 908 Dumont Drive, Richardson, TX 75080  
972-234-4545, italia@sbcglobal.net

**Date:** April 14, 2014

**Subject: CPC Public Hearing for Richardson Restaurant Park**

My name is Suzanne Juliussen and I have lived at 908 Dumont Drive for 40 years. During this time I have seen many changes in our community. I am a charter member of my neighborhood association and currently serve as Secretary of the CHNA.

From square one, I attended numerous planning sessions concerning the West Spring Valley Corridor Redevelopment Plan. I was involved in the original meetings with the consultant hired by the City of Richardson. I want to see the high standards that were voted on by the City Council in 2011 kept in place. I am against a zoning change that would destroy the integrity of the City's original plan.

I am very concerned about "the new ideas" for the Richardson Restaurant Park. As a member of the Cottonwood Heights Neighborhood Association, I was involved in the plan for this area zoned "PD Planned Development" which came under the W. Spring Valley Corridor Redevelopment Plan. Three neighborhoods put too much thought and planning into this project to see it go down hill. I am in favor of smart, forward-looking redevelopment that looks at the long term interests of the area and the city. I am willing to wait for the right development. Vacant land is preferable to the wrong plan.

I and others are in disagreement with the developer's request for a zoning change to "Planned Development/Major Modification". The developer's proposed deviation from the original plan that the City Council approved three years ago is significant. We do not want a change in zoning which lowers standards for our neighborhood.

We have spent many hours in focus groups and planning sessions to get rid of blight risk in our community and will continue to lobby to cultivate a strategically planned revitalization. Again, three neighborhoods collaborated on the plan that the city council approved. We live here! We care about our neighborhood. Please . . . . **NO ZONING CHANGE !**

**Carl Youngberg**  
309 North Waterview Drive  
Richardson, Texas 75080 U.S.A.  
[Carl@Concepts3Inc.com](mailto:Carl@Concepts3Inc.com)

Department of Development Services  
City of Richardson, Texas

Re: Opposition to the developer's rezoning request on Agenda Item #9

Two years ago, I sat down with our City Manager for a discussion that included the Continental Inn property and the aggressive plans to turn that piece of land into a lynchpin for the Spring Valley redevelopment plan.

The plans then discussed included multi-family housing, commercial and even a high-rise office building. All of which would serve as a splendid gateway to a rethought Spring Valley revitalization.

Now I hear actions for that property which are 180 from that vision. Semi-fast food operations and the ilk, plus possibly including a Corner Bakery. Now why would a resident on far-off Waterview Drive be concerned? Because every guest we have that uses 75 passes the current dismal parade of aging office buildings, restaurants, cash advance stores and motorcycle dealers. I did not move to Garland to get this aging mix.

I have learned that half-measures avail us nothing. All of us in our small city need to cherry pick what we place on the map here. And then stick to it.

I hope that our Department of Development Services gets attuned to the greater needs of Richardson that includes long term visioning for the businesses we engage. I feel that some of our property decisions are more often developer led than recognizing the wishes of Richardson.

For these and other reasons, I wanted to register my concerns.

Sincerely,

X

---

Carl D. Youngberg  
President

972-783-8228



Department of Development Services

My husband and I have reviewed your plan to rezone the area west of highway 75. We are opposed to the rezoning in Agenda Item # 9. We have found that this plan completely changes the plan we supported to revitalize Spring Valley. We would really like to see something more than just restaurant pads. This plan would only add to traffic and doesn't bring much else to the community.

Please do not rezone...stick with the original plans.

Leisha Robbins



**West spring valley**  
Allison Case to: sam.chavez@cor.gov  
Cc: "dotson733@gmail.com"

04/15/2014 09:28 PM

Sam,

My name is Allison Case and I live and work here in Richardson. My family and I live on Scottsdale Dr. close to the freeway and I am a member of the bioengineering faculty at UT Dallas. I am contacting you tonight to express my support for the upholding of the west spring valley zoning plan. First of all, let me thank you for your time I reading and responding to this email. I am sure you are getting many emails for and against zoning changes, and your participation in this dialogue is evidence that we are pulling in the same direction- towards a lasting and distinct Richardson.

As a long time resident, I am thankful for all things distinctly Richardson and I was glad when the old continental hotel was replaced by fresh opportunity for my neighborhood and my city. Toward protecting the future of Richardson and how spaces like the old continental hotel would be used, many of my neighbors and co-residents took decisive action to draft a plan that would ensure Richardson was able to grow in a way that would add long term value to the community. By proposing and successfully passing the west spring valley zoning restrictions, my neighbors spoke and their voice was heard. At the time, passing these restrictions communicated that the city understood the values of its residents and that we were united in our vision for the future. Now, I understand that a potentially non-compliant project that directly opposes the west spring valley corridor plan is under consideration. Allowing such a project is in direct opposition to the values and vision communicated by Richardson residents and supported by the city at the time. Furthermore, it disregards the research and strategic planning require to draft the plan.

While new businesses will always be of value to our city, adding the right kind of businesses and property will add long term value. By upholding the zoning restrictions drafted by city of Richardson residents, you will be demonstrating the value of both the residents and businesses to our community. The current zoning restrictions reflect the values of our community and by backing these, you are backing the residents. Please, partner with us in support of the hard work, vision, and bright future for Richardson reflected in the west spring valley zoning restrictions, both as a business and residential area. In doing so, you will preserve and ensure a future for all that is distinctly Richardson.

Thanks so much,  
Allison Case

Sent from my iPad



75/Floyd Rd. Development  
Hudspeth, Jim

to:

[sam.chavez@cor.gov](mailto:sam.chavez@cor.gov)

04/16/2014 04:05 PM

Hide Details

From: "Hudspeth, Jim" <[jim.hudspeth@tylertech.com](mailto:jim.hudspeth@tylertech.com)>

To: "sam.chavez@cor.gov" <[sam.chavez@cor.gov](mailto:sam.chavez@cor.gov)>,

Mr. Chavez,

I am OPPOSED to the rezoning request and plan for the restaurant park. The request does not conform to the Spring Valley Redevelopment Plan, which covers that area.

I am FOR strong redevelopment that looks at the long term interests of the area and the entire city.

I AM WILLING to wait on good development. The Continental Inn was a problem for at least 20 years. Blank land for a few years is just a step to something better.

Jim Hudspeth  
729 Scottsdale Dr.  
Richardson TX 75080

Richardson Heights

**Jim Hudspeth**  
Internal Services Manager  
Tyler Technologies, Inc.

C: 469.323.9441  
F: 972.713.3777  
[www.tylertech.com](http://www.tylertech.com)



Empowering people who serve the public®



Continental Inn property  
Margie Rainey

to:  
sam.chavez@cor.gov  
04/18/2014 09:51 AM  
Hide Details  
From: Margie Rainey <margie@erainey.com>  
To: "sam.chavez@cor.gov" <sam.chavez@cor.gov>,

Dear Mr. Chavez,

I was unable to attend the meeting at City Hall this past Tuesday night; however, I wanted to express my thought on the Continental Inn property.

The leveling of the Inn removed the transient residents from the area which was a good thing. It wouldn't be a bad idea to have a green area at that location, but I imagine that the site is too valuable for a park. Because of its nearness to our Richardson Heights neighborhood, I am concerned about the flow of traffic and the parking overflow if the site is used for multiple restaurant businesses.

I am OPPOSED to the rezoning request and plan for the restaurant park. The request does not conform to the Spring Valley Redevelopment Plan, which covers that area.

I am FOR strong redevelopment that looks at the long term interests of the area and the entire city.

I AM WILLING to wait on good development. The Continental Inn was a problem for at least 20 years. Blank land for a few years is just a step to something better.

Thank you.

Margie Rainey  
714 Dumont Drive  
Richardson, TX 75080

Sent from Windows Mail



# MEMO

**DATE:** May 15, 2014  
**TO:** Honorable Mayor and City Council  
**FROM:** Sam Chavez, Assistant Director of Development Services SC  
**SUBJECT:** Zoning File 14-12 – Villas of Nantucket

## REQUEST

Harry Purdom, representing H. Purdom, Inc., is requesting to rezone approximately 1.8 acres of land from LR-M(2) Local Retail and O-M Office to PD Planned Development to accommodate the development of thirteen (13) patio-home residential lots located at the northeast corner of Old Campbell Road and Nantucket Drive which is designated as Neighborhood Service of the Comprehensive Plan.

## BACKGROUND

The 1.8-acre site was rezoned from R-1100-M Residential to O-M Office in 1967 and includes an approximate 30' x 15' portion of land along the north property boundary, which was zoned to Local Retail in 1962 as part of a larger tract to the north.

The applicant intends to create thirteen (13) patio-home residential lots under the RP-1500-M Patio Home District with modified development standards. The development features 2-story patio homes on minimum 3,600-square foot lots with front entry garages and with modified standards that increase density, lot coverage, and reduce the setbacks and lot width. The proposed development includes a masonry screening wall along the northern and eastern property lines, buffering/landscaping along the street, and garage door design criteria. In addition, the section of Old Campbell Road adjacent to the subject site will be improved in conjunction with the future development of the subject site.

At its May 6, 2014 meeting, the City Plan Commission discussed issues related to the residential exterior construction requirements, adjacency of residential development to non-residential uses, and screening along the northern and eastern boundaries of the site. The owner of an adjacent non-residential property spoke in opposition, stating concerns regarding the introduction of residential development adjacent to land intended for non-residential use.

## PLAN COMMISSION RECOMMENDATION

On May 6, 2014, the City Plan Commission recommended approval of the request on a vote of 6-1 (Commissioner Maxwell opposed) subject to modified conditions to require a minimum 8-foot high masonry wall along the northern and eastern property lines and to allow a minimum of seventy (70) percent masonry in lieu of seventy-five (75) percent masonry.

The attached PD Development Standards and Regulations (Exhibit "C") have been amended in accordance with the Commission's recommendations.

## ATTACHMENTS

CC Public Hearing Notice	Proposed PD Standards and Regulations (Exhibit "C")
Draft CPC Minutes 05-06-2014	Color Rendering of Residential Homes
Staff Report	Site Photos
Zoning Map	Applicant's Statement
Aerial Map	Notice of Public Hearing
Oblique Aerial Looking North	Notification List
Zoning Exhibit (Exhibit "B")	Correspondence in Opposition



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Attn. Lynda Black  
Publication for Dallas Morning News – Legals  
Submitted on: April 30, 2014  
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office  
P.O. Box 830309  
Richardson, TX 75083-0309

FOR PUBLICATION ON: May 2, 2014

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**City of Richardson  
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:30 p.m. on Monday, May 19, 2014, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

**ZF 14-12**

A request by Harry Purdom, representing H. Purdom, Inc., for a change in zoning from O-M Office and LR-M(2) Local Retail to PD Planned Development for the development of a 13-lot patio home development on approximately 1.8 acres. The property is located on the north side of Old Campbell Road at the intersection of Nantucket Drive and is currently zoned O-M Office and LR-M(2) Local Retail.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

**The City of Richardson**  
/s/ Aimee Nemer, City Secretary

**DRAFT EXCERPT  
CITY OF RICHARDSON  
CITY PLAN COMMISSION MINUTES –MAY 6, 2014**

**PUBLIC HEARING**

**ZF 14-12 – Villas of Nantucket:** Consider and take necessary action on a request for approval of a change in zoning from LR-M(2) Local Retail and O-M Office to PD Planned Development for the development of thirteen (13) patio-home residential lots on approximately 1.8 acres. The property is located at the northeast corner of Old Campbell Road and Nantucket Drive.

Mr. Bireima stated the applicant was requesting to rezone 1.8 acres from local retail and office districts to Planned Development (PD) with base regulations of RP-1500-M Patio Home District with modified development standards for the purpose of developing thirteen (13) patio home lots. He added that the subject property was undeveloped and located at the northeast corner of Old Campbell Road and Nantucket Drive.

Mr. Bireima pointed out that the property was designated for Neighborhood Services on the City's Future Land Use plan; however, the property was behind an already developed retail center and surrounded by an elder day care, office, and a junior high school. In addition, the character of the site (lack of depth and visibility) would not accommodate most uses allowed under the current zoning.

Mr. Bireima reviewed the proposed layout of the 3,600 square foot lots as well as the proposed design of the patio homes. He added that the layout proposed a 6-foot screening wall for the north and east boundaries of the district and a shared common drive connected to the public street via multiple points of access.

Mr. Bireima noted that Old Campbell Road was currently a substandard street, but the applicant would be improving the section of street adjacent to the project during development of the site. He also presented a rendering of the proposed homes showing two stories, front entry driveways, and shaker style garage door with either anodized metal or glass panels.

Mr. Bireima reported that one piece of correspondence in support of the request had been received from the adjacent elder day care facility.

Vice Chair Bright asked where the junior high school was located in relation to the property.

Mr. Bireima indicated the junior high school was west of subject property.

Commissioner Frederick asked for the location of the easement mentioned in the correspondence.

Mr. Bireima replied the easement was along the north property line and currently served the existing elder day care center, but was owned by the developer of the subject property.

Commissioner DePuy pointed out that because of the lack of frontage on a main road, the property would not be conducive for Neighborhood Services as listed under the current zoning. She also wanted to know if the property had been for sale for a long time.

Mr. Bireima stated the applicant agreed and thought the property was not favorable for commercial/retail development, which was most likely the reason it sat vacant for so many years. He did not know how long it had been for sale.

Mr. Chavez added that there had been several conversations over the last few years with individuals interested in developing the property for non-residential use, but the problem of the property not being deep enough to accommodate a building pad and the required parking prevented that type of development.

Commissioner Linn asked why the rezoning request was a PD as opposed to a straight rezoning request.

Mr. Bireima said that if the regular zoning was applied, it would affect the number of lots allowed under the base patio home zoning.

Mr. Chavez pointed out that a PD would provide the relief needed by the applicant in regard to setbacks and lot area through development regulations designed specifically for the site.

Commissioner Roland asked if the City would improve the portion of Old Campbell Road that was not adjacent to the proposed development.

Mr. Bireima replied that as far as he knew there were no plans for further improvement along that road.

Commissioner Springs asked about the rationale for on-street parking on Old Campbell Road as opposed to including that in the common driveway.

Mr. Bireima said the applicant felt the area within the common drive was limited and would not accommodate visitor parking, therefore, visitors would have to park on Old Campbell Road.

With no further questions for staff, Vice Chair Bright opened the public hearing.

Ms. Cheryl Williams, Williams Consulting Group, 2611 Forrest Grove Drive, Richardson, Texas, stated there was a significant demand for new housing in the City, particularly as Richardson continues to add jobs to the local economy. Williams acknowledged that although the development would be small, it would help meet the growing demand for detached housing with limited yard maintenance.

Ms. Williams pointed out that the cities of Carrollton, Plano and Richardson commissioned a study of under-performing and vacant retail areas that showed there was an excess of retail

zoning with many of the properties in the wrong location. She added that most retailers were moving away from neighborhood centers to larger retail centers located on major corridors and the proposed site did not meet this demand.

Ms. Williams concluded her presentation stating that it was her understanding after discussions with executives from the City that Old Campbell Road was slated to be repaired and the portion adjacent to the proposed development would be done in conjunction with that effort.

Commissioner Frederick asked if the common drive would be maintained by the homeowners association.

Ms. Williams replied the common drive was a separate lot owned by the homeowners association and would be maintained by the association.

Commissioner DePuy asked if the developer had plans to bury the overhead utility lines. She also wanted to know where the 6-foot fence would be located.

Mr. Harry Purdom, H Purdom, Inc., 309 Meadowcrest, Richardson, Texas, said that only the service lines to the homes will be buried, and the fence would be along the northern and eastern boundaries. He added that the fence would actually be a 6 to 8-foot masonry wall with intricate iron railing details along the top.

Commissioner Springs asked if the applicant had been provided with a copy of the correspondence and did he have any objections to the statements in the letter.

Mr. Purdom replied that the piece of land did not fit into the proposed development plans for the homes, and it was originally part of elder day care property and used as part of their entrance, so it was decided to deed the property over to the day care.

Commissioner DePuy asked about the spacing between the proposed homes, and for additional information on the glass panel garage doors.

Mr. Purdom said the homes would be six feet apart, which was typical for zero lot line/patio homes, and the garage doors would be more of a commercial grade with the option of having metal panels along the bottom and opaque glass on the upper panels.

Commissioner Linn noted that it was common practice to have conversations with neighboring homeowners associations and asked if there had been any with the association to the south of the subject property.

Mr. Purdom said they had not spoken with that association and Ms. Williams pointed out that no correspondence had been received from that group.

Commissioner Frederick asked what the setback was for the start of the garage.

Mr. Purdom replied the common drive would be 20 feet wide and the individual driveways would be 7 feet, which would be 27 feet to the start of the garage.

Commissioner Maxwell asked if the applicant had any concerns about the viability of the project especially with the retail center located directly behind the proposed development.

Mr. Purdom said he felt the product would be successful because the masters would all be on the first floor making the homes more appealing to individuals who were looking to downsize from their larger homes and at the same time stay in Richardson. He also thought the influx of new resident would be beneficial for the retail center.

Commissioner Maxwell said he did not think it was the applicant's intent to build 100 percent stucco, but the way the PD was written it appeared to allow that percentage. He suggested rewriting the percentage of stucco allowed in the PD.

Mr. Purdom replied that they were asking for the stucco to be counted as masonry, but they were not planning on doing a 100 percent stucco home.

Commissioner Maxwell suggested the applicant change the PD to allow a certain percentage of stucco on the homes.

Commissioner DePuy asked for the price point on the homes and the square footage.

Mr. Purdom stated the price point would be \$350,000.00 and the homes would be 2,400 square feet.

Commissioner Springs asked the applicant to clarify their statement of rebuilding Old Campbell Road in concert with the City, and if the project would be done in phases.

Mr. Purdom replied they were involved in discussions with the City Manager's Office regarding the rebuilding of the road, but as far as the phasing, construction would most likely taking place from the east to west with the common drive built to a certain point during the first phase of construction.

Commissioner Roland asked if the common drive would be one-way.

Mr. Purdom said that was correct and Mr. Chavez added that the common driveway would be poured at the same time a section of the lots was being developed to allow access.

No other comments were made in favor and Vice Chair Bright called for any comments in opposition.

Mr. Michael Moreno, 6901 Northwood Road, Richardson, Texas, owner of the car wash at 1962 Nantucket Drive, had three concerns: 1) impact of residential community coming into a commercial community; 2) property values for commercial property owners; 3) future

objections to any redevelopment of the commercial property by the residents. He asked the Commission to deny the rezoning request.

No other comments in opposition were received and Vice Chair Bright asked if the applicant had any comments in rebuttal.

Ms. Williams stated that residential properties were never used for comps for commercial property, and as far as introducing residential into a commercial area, the proposed development was on the periphery and it was outlined in the performance standards that the development would not be considered a residential zoning district, which would hold harmless the adjacent commercial property owners from light or noise performance standards.

Ms. Williams concluded her comments by saying that she felt almost any future redevelopment would be more welcome and less objectionable to the residents than a car wash.

Commissioner Roland asked about the hold harmless comment and if the residents would have any say in changes to the commercial businesses.

Ms. Williams confirmed residences inside a commercial district would not have any ground to stand to object to any changes to the commercial area.

Mr. Greg Cooney, H Purdom, Inc., 319 Overcreek Drive, Richardson, Texas, asked to add to Ms. Williams' statement by noting the planned 8-foot masonry wall would add definition and be an additional buffer between the residential and commercial properties. In addition, the current property owner was maintaining another property adjacent to the proposed development and viewed the project in a positive light.

With no other comments in favor or opposed, Vice Chair Bright closed the public hearing.

Commissioner Maxwell asked staff to further expound on the hold harmless section of the performance standards.

Mr. Bireima replied the development would be held to non-residential performance standards as opposed to residential standards.

Mr. Chavez added that a similar situation occurred when the GreenVue multi-family project was being developed. Due to the close proximity of commercial/industrial businesses the standards for both were treated as non-residential.

Vice Chair Bright asked if staff knew the status of the discussions for repairing Old Campbell Road and Mr. Chavez said they were still in the preliminary discussion stage.

Commissioner Roland asked for an example of wording for the development standards that would allow the use of stucco, but only as an accent to brick and/or stone.

Mr. Chavez replied the language could be very specific as to the percentage allowed; possibly only on the second story. He added that the applicant wanted to have the ability to mix stucco with stone or brick, but felt the applicant might be better able to provide a level or percentage that would work for their product.

Vice Chair Bright asked if the design standards, as worded, would allow the applicant to construct the homes of 100 percent stucco.

Mr. Chavez replied the design standards would allow 75 to 100 percent as currently written.

Commissioner Springs stated that using the rendering as a guide, it appeared the applicant was proposing to use either stone or brick on the first floor and stucco on the second. He suggested using the term “traditional masonry” for products to be used on the first floor.

Mr. Purdom suggested removing the separate definition of a masonry wall in the design standards, using the City’s current definition of a masonry wall, and making the requirement 70 percent.

Commissioner Maxwell asked if the applicant was proposing a 6-foot or an 8-foot fence.

Mr. Bireima replied the design standards called for a wall that was from 6 to 8 feet, but if the Commission wanted to require an 8-foot fence, the applicant was open to that change.

Commissioner Maxwell said he understood the applicant’s proposed changes, but still felt the development was strange and asked the two real estate professionals on the Commission for their thoughts on the proposed development.

Commissioner Frederick said she appreciated the concerns expressed in opposition, and the placement of residential on the border of a commercial area may seem awkward, but the Commission has positively reviewed many cases of mixed-use developments within the last 18 months.

Commissioner DePuy concurred with Ms. Frederick and noted that the property in question was not visible from the main thoroughfare in the area – Campbell Road, making it highly unlikely retail businesses would be successful in the area. She added that if the project had master bedrooms on the first floor, an 8-foot fence, and was priced right it would work well.

Commissioner Linn also concurred with Ms. Frederick’s comments and felt the residential would help the commercial properties to north and enhance the existing neighborhood to the south.

Vice Chair Bright also acknowledged the concerns presented in opposition, but was in favor of the proposed development and suggested the motion contain conditions to insure the

masonry would be at 70 percent and the fence at 8-foot. He also wanted to know if staff had any concerns about the piece of property to be deeded to the elder day care center.

Mr. Cooney replied the piece of property being deeded to the elder day care was of no value to their development plans, plus it was part of the day care's entrance so it made sense to deed it to them.

Ms. Williams asked if the motion could contain 70 percent traditional masonry and remove stucco from the definition.

**Motion:** Commissioner DePuy made a motion to recommend approval of Zoning File 14-12 with the additional conditions to require an 8-foot fence in-lieu-of a 6-foot fence; the reference to stucco would be deleted; and the masonry requirement would be reduced from 75 percent to 70 percent; second by Commissioner Springs.

Commissioner Maxwell said he still had some reservations about the project and stated he would not be voting in favor.

Motion approved 6-1 with Maxwell opposed.



## Staff Report

**TO:** City Council  
**FROM:** Sam Chavez, Assistant Director – Development Services **SC**  
**DATE:** May 15, 2014  
**RE:** **Zoning File 14-12:** Villas of Nantucket

### REQUEST:

Rezone approximately 1.8 acres from LR-M(2) Local Retail and O-M Office to PD Planned Development to accommodate the development of thirteen (13) patio-home residential lots located at the northeast corner of Old Campbell Road and Nantucket Drive.

### APPLICANT / PROPERTY OWNER:

Harry Purdom, H. Purdom, Inc. / Barbara and Larry J. Ward

### EXISTING DEVELOPMENT:

The subject property is undeveloped.

### ADJACENT ROADWAYS:

**Old Campbell Road:** Two-lane, undivided Local Street; no traffic counts available.

**Nantucket Drive:** Two-lane, undivided Local Street; no traffic counts available.

### SURROUNDING LAND USE AND ZONING:

**North:** Retail center and adult daycare; LR-M(2) Local Retail District

**East:** Office development; O-M Office District

**South:** Church; R-1100-M Residential District

**West:** Richardson North Junior High and a vacant parcel; R-1100-M Residential District

### FUTURE LAND USE PLAN:

#### Neighborhood Service

*Neighborhood Service includes service-related uses such as retail sales; personal services such as cleaners, barbers and beauty shops; entertainment; recreation; and office uses oriented to the immediate area. Retail centers often contain a major or junior anchor, but may not. Office uses in this category are usually integrated into retail centers, but may include small freestanding office buildings that provide services for the surrounding neighborhood. Some Neighborhood Service districts may include senior housing.*

**Future Land Uses of Surrounding Area:**

North: Neighborhood Service  
East: Neighborhood Service  
South: Neighborhood Residential  
West: Neighborhood Residential and School

**EXISTING ZONING:**

LR-M(2) Local Retail (Ordinance Number 2009) and O-M Office (Ordinances Numbers 517 and 2724).

**TRAFFIC/ INFRASTRUCTURE IMPACTS:**

The proposed development will not have significant impacts on the existing utility infrastructure or traffic.

Old Campbell Road, which will serve the proposed development, is currently sub-standard. The applicant indicated that the section of the roadway adjacent to the subject site will be improved in conjunction with the future development of the subject site.

The existing sanitary and storm sewer systems that currently bisect the property from north to south will remain; however, the underlying easement will be reconfigured to properly accommodate these systems. The existing power poles along the north property line will be relocated.

**APPLICANT'S STATEMENT**

Please refer to the complete Applicant's Statement.

**STAFF COMMENTS:**

**Background:**

The 1.8 acres site, located at the northeast corner of Old Campbell Road and Nantucket Drive, was rezoned from R-1100-M Residential to O-M Office in 1967. In addition, the subject site encompasses a small area (approximately 30' × 15') along the north property boundary, which was zoned to Local Retail in 1962 as part of a larger tract to the north.

In 1989 the subject site received a special permit for the development of a nursing home and an adult day care facility; however, no development occurred on the site.

The subject site is designated as *Neighborhood Service* on the Future Land Use Plan. The characteristics of the site, which features a shallow lot depth (average between 120-150 feet), adjacency to residential areas and lack of street frontage, may have inhibited the development of the site for non-residential uses.

**Request:**

The applicant's request is to rezone the subject site to a PD Planned Development under the base zoning regulations of RP-1500-M Patio Home District with modified development standards to accommodate the development of thirteen (13) patio home residential lots.

The applicant states that the characteristics of the site (e.g. lack of depth and visibility) are unaccommodating to most uses allowed by the current zoning. In addition, the applicant has indicated that this infill development is driven by the strong demand for housing in the City, and offers an attractive option especially for niche markets.

The proposed development allows for patio homes on minimum 3,600-square foot lots, and features two-story residential homes with front entry garages. The proposed garage doors will be shaker style doors constructed of anodized metal finished in either clear anodized or dark bronze with either anodized metal or glass panels.

As shown on the attached zoning exhibit (Exhibit “B”), a shared common drive connected to the public street via multiple points of access provides vehicular access to the individual garages. In addition, a minimum six (6) foot high masonry screening wall will be constructed along the northern and eastern property lines by the developer to screen the proposed residential development from the adjacent non-residential development to the north.

### Proposed Development Standards

The table below compares the proposed development standards with those of the RP-1500-M Patio Home District (increases to base zoning regulation in **bold**; reductions to base zoning *italicized*).

	<b>RP-1500-M Patio Home District Development Regulations</b>	<b>ZF 14-12 Proposed Development Regulations</b>
<b>Density</b>	Maximum 5.5 dwelling unit / acre	<b>Maximum 7.5 dwelling unit / acre</b>
<b>Building Materials</b>	Minimum 75% masonry construction	<i>Minimum 75% masonry construction, except that three-coat cementitious stucco shall count as masonry.</i>
<b>Building Height</b>	Minimum 40 feet / 2 stories	Maximum 40 feet / 2 stories
<b>Area Regulations</b>	Lot Area: Minimum 5,000 s.f.  Lot Width: Minimum 50 feet  Lot Depth: Minimum 100 feet  Max. Lot Coverage: 50%  Setbacks:  Front Setback: 15 feet  Side Setback: 10 feet on one side of the lot, zero setback on the other side.  Rear Setback: 20 feet	<i>Lot Area: Minimum 3,600 s.f.</i>  <i>Lot Width: Minimum 36 feet</i>  <i>Lot Depth: Minimum 100 feet; however, Lot 13 may have a depth of less than 100.</i>  <b>Max. Lot Coverage: 90%</b>  <i>Front Setback: 5 feet, 7 feet for garages. (creates a 2 foot off-set between the front of the garage and front of main structure)</i>  <i>Side Setback: 5 feet on one side of the lot, zero setback on the other side.</i>  <i>Rear Setback: 5 feet</i>

The applicant's request includes the following additional modified standards:

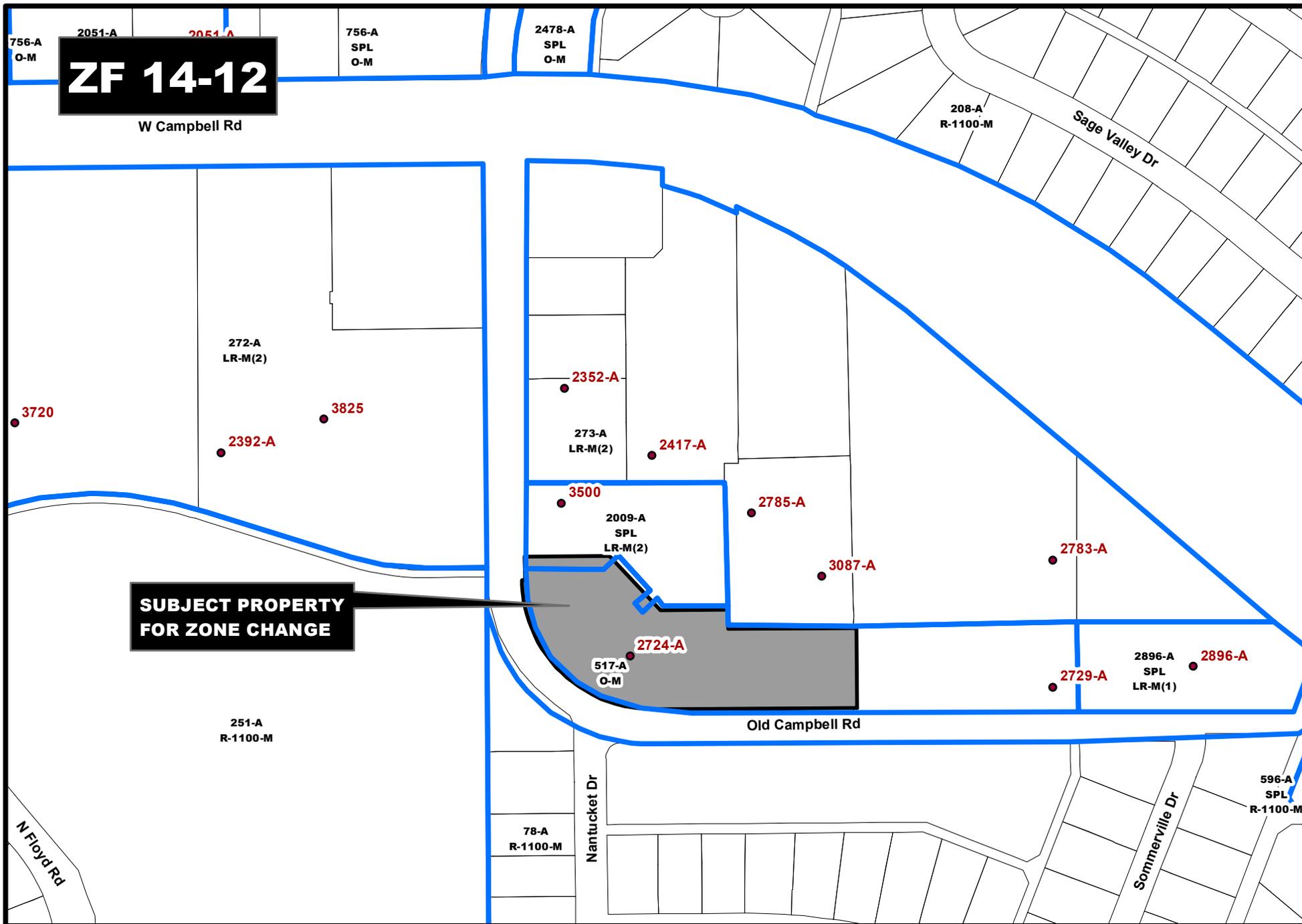
1. *Fences.* Where an individual privacy fence is perpendicular to any required screening wall, the fence may not be taller than the screening wall at the point of intersection between the fence and the screening wall. No privacy fence shall be constructed parallel to any required screening wall.
2. *Accessory Buildings.* Lots containing dwelling units may not contain any accessory building(s) other than stained cedar arbors, pergolas, or trellises. Said structures may be either attached or detached and may have rear and side setbacks of zero (0) inches provided, however, that no such structure is located within any maintenance easement adjacent to the rear or side setbacks.
3. *Sidewalks.* Other than public sidewalk along the street, sidewalks shall not be required within the District.
4. *Alleys.* Alleys shall not be required within the District.
5. *Perimeter Screening Wall.* Any screening wall located along the perimeter of the District shall be maintained by the Homeowner's Association. A masonry wall no less than eight (8) feet in height shall be required along the north and east property lines of the District as indicated on the Concept Plan ("Exhibit B").
6. *Homeowners Association.* There shall be a mandatory Homeowner's Association (HOA) established and incorporated that shall be responsible for maintaining all common planting areas, private drives, entry features, perimeter landscaping, screening walls, and fencing. Provisions for the maintenance shall be included in the homeowner's association documents, which shall be presented for review by the city attorney as part of the submittal for the final plat of the subdivision. The HOA shall annually prepare a reserve budget for maintenance of the private drives and other improvements to the common properties that takes into account the number and nature of any replaceable assets the association owns or for which it is otherwise responsible, the expected life of each asset, and the expected repair or replacement cost. The HOA shall set the required capital contribution, if any, in an amount sufficient to permit meeting the projected needs of the association, as shown on the budget, with respect both to amount and timing by annual review to be performed by a CPA firm to verify the amount in the reserve fund and shall provide a copy of the review to the City of Richardson. If at any time the private drive is dedicated to the City of Richardson, the city shall be entitled to that portion of monies in the reserve fund allocated to maintenance, repair, and replacement of the drives dedicated.
7. *Combined Lots.* At no time shall more than two (2) adjacent lots, as shown on the Concept Plan "Exhibit B" be combined into a single lot.
8. *Non-radial Lot Lines.* Non-radial lot lines shall be permitted within the District.
9. *Performance Standards.* For purposes of this Planned Development District and performance standards in the City of Richardson's Comprehensive Zoning Ordinance, the District shall not be considered a residential zoning district.

10. *Lot Frontage.* Lots within the District need not front on a public street, but shall front on the common access drive.

**Correspondence:** As of this date, one (1) letter in opposition has been received regarding this request (attached).

**Motion:** On May 6, 2014, the City Plan Commission recommended approval of the request on a vote of 6-1 (Commissioner Maxwell opposed) subject to the proposed PD Standards and Regulations (attached), and including the following modified conditions.

1. A minimum eight (8) foot high masonry wall shall be constructed along the northern and eastern property lines to screen the proposed development from the nonresidential uses to the north and the east. **The attached Concept Plan (Exhibit “B”) and PD Standards and Regulations (Exhibit “C”) have been amended to reflect the eight (8) foot high masonry wall.**
2. A minimum seventy (70) percent masonry construction shall be allowed within the district in lieu of the seventy-five (75) percent required by the Comprehensive Zoning Ordinance. **The proposed PD Standards and Regulations (Exhibit “C”) has been amended to reflect the Commission’s action.**



## ZF 14-12 Zoning Map

Updated By: shacklett, Update Date: April 21, 2014  
 File: DSI\Mapping\Cases\Z\2014\ZF1412\ZF1412 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





**ZF 14-12**

W Campbell Rd

Sage Valley Dr

**SUBJECT PROPERTY  
FOR ZONE CHANGE**

Old Campbell Rd

Nantucket Dr

N Floyd Rd

Sommerville Dr

## ZF 14-12 Aerial Map

Updated By: shacklett, Update Date: April 21, 2014  
File: DSI\Mapping\Cases\Z\2014\ZF1412\ZF1412 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



Nantucket Drive

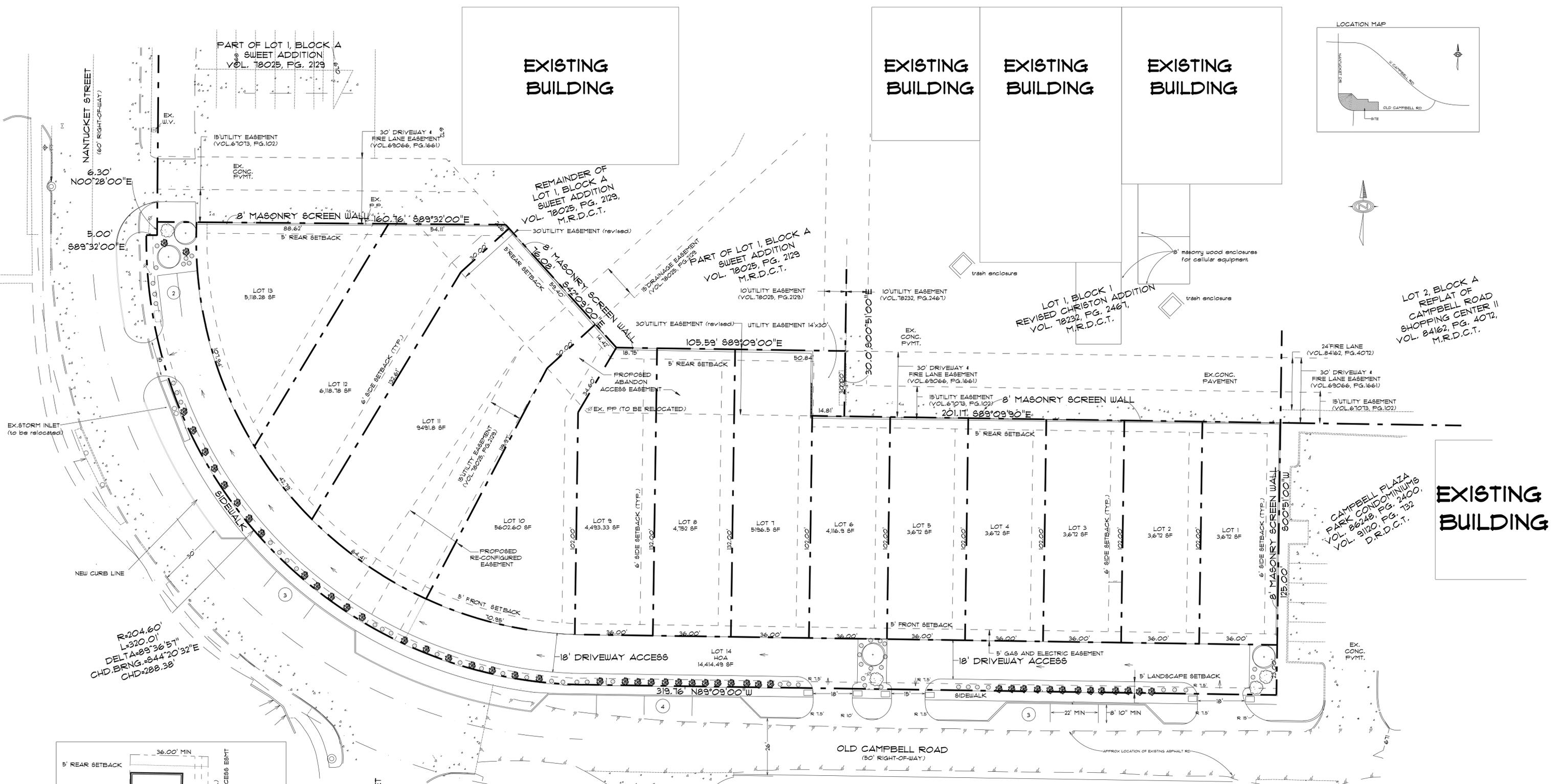
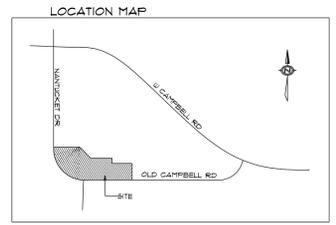
Nantucket Drive

Old Campbell Road

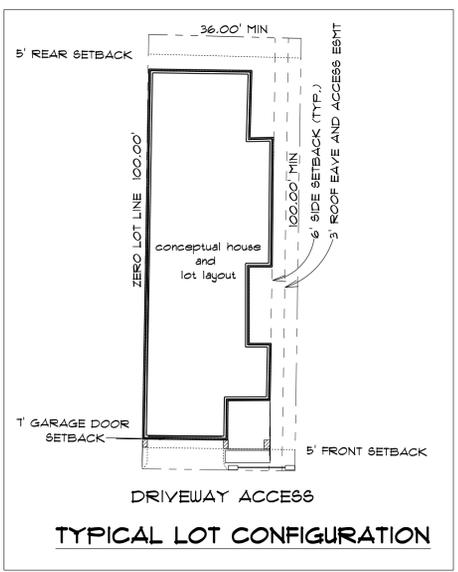
Subject Property

Oblique Aerial  
Looking North





R=204.60'  
L=320.01'  
DELTA=89°36'57"  
CHD.BRNG.=844°20'32"E  
CHD=288.38'



**LANDSCAPE LEDGEND**

	SOUTHERN LIVE OAK		BRODIE JUNIPER		TEXAS SAGE
	GULF COAST MUHLY GRASS		VITEX		

**VILLAS OF NANTUCKET**  
 13 PATIO HOME RESIDENTIAL LOTS  
 ZONING EXHIBIT  
 SCALE 1:20  
 4/28/14  
 rev: 5/9/14 per Commission mtg notes 5/6/14

1.76 Acres  
 John Edmonds Survey,  
 Abstract No. 429  
 City of Richardson,  
 Dallas County, Texas

**PROJECT SUMMARY**

AREA : TOTAL AREA 1.76 ACRES

ZONING :  
 EXISTING ZONING LR-M(2) LOCAL RETAIL AND OFFICE  
 PROP. ZONING PD-PLANNED DEVELOPEMNT FOR RP-1500-M

MAX DENSITY	1.5 DWELLING UNITS PER ACRE
MAX RESIDENTIAL LOTS	13 RESIDENTIAL LOTS / 14 SHOWN
MIN LOT AREA	3600 SQ FT
MIN LOT WIDTH	36 FEET MEASURED AT THE FRONT SETBACK
MIN LOT DEPTH	100 FEET, EXCEPT LOTS AT THE TERMINUS ALONG STREET ELBOWS/EYEBROWS, WHICH MAY HAVE A WIDTH OF XX FEET
MIN FRONT SETBACK	5 FEET
MIN SIDE SETBACK	6 FEET ON THE NON ZERO SIDE
MIN REAR SETBACK	5 FEET
FENCES	MIN 6' FENCE
ACCESSORY BUILDINGS	ARE NOT ALLOWED
SIDEWALKS	SIDEWALK ALONG FRONT PROPERTY LINE
SCREEN WALL	MASONRY WALL
COMBINED LOTS	NO MORE THAN TWO ADJACENT LOTS MAY BE COMBINED
HOME OWNERS ASSOCIATION	MANDATORY HOA

OWNER:  
 BARBARA AND LARRY WARD  
 4641 FM 1768  
 OLNEY, TX 76214  
 940 813 8318

APPLICANT:  
 HARRY FURDOM  
 H FURDOM INC.  
 101 N CENTRAL EXPRESSWAY #3-400  
 RICHARDSON, TEXAS 75080  
 214 808 4114

(Exhibit “C”)

Villas of Nantucket  
Planned Development District Standards and Regulations

**I. DISTRICT STANDARDS**

**Sec. 1. Overall Intent and Purpose.** The purpose of this Planned Development District (the “District”) is to allow for the development of a small, vacant parcel for residential uses. Residential development will take place generally in accordance with the Concept Plan (attached hereto as “Exhibit B”).

**Sec. 2. General Provisions.** The district will accommodate the development of no more than thirteen (13) patio home residential lots. Except as otherwise provided expressly herein, the property shall be developed in accordance with Article XII-B of the Comprehensive Zoning Ordinance (RP-1500-M Patio Home District Regulations) and Chapter 21, the Subdivision and Development Ordinance, of the City of Richardson Code of Ordinances.

**II. DISTRICT REGULATIONS**

**Sec. 2. Building Regulations.**

(b) *Types of Materials.*

(1) *Principal Buildings.* Principal buildings shall be constructed in accordance with Article XXII-F of the Comprehensive Zoning Ordinance (Residential Exterior Construction Standards), except that a minimum seventy (70) percent masonry construction for the exterior walls of residential structures shall be required within the district. Garage doors shall be shaker style doors constructed of anodized metal finished in either clear anodized or dark bronze with either anodized metal or glass panels.

**Sec. 3. Height Regulations.**

(a) *Principal Buildings.* Principal buildings shall not exceed two (2) stories in height. The first floor shall not exceed twenty-five (25) feet in height. The second story shall not exceed fifteen (15) feet in height.

**Sec. 4. Area Regulations.**

(a) *Lot Area.* The minimum area of each lot shall be no less than 3600 square feet.

(b) *Lot Width.* All lots shall have a minimum width of thirty-six (36) feet at the front building line.

(c) *Lot Depth.* Except as otherwise provided herein, all lots shall have a minimum depth of one hundred (100) feet. Lot 13 may have a minimum depth of less than one hundred (100) feet, but shall be no less than 115 feet deep along the interior lot line.

(d) *Lot Coverage.* The lot coverage of all buildings shall not exceed ninety (90) percent of the area of the lot, estate, or other land on which the same is situated.

(e) *Front Setback.* Except as otherwise provided herein, there shall be a front setback of no less than five (5) feet. Garage doors shall have a minimum setback of seven (7) feet as measured from front property line to the center of the garage door face.

(f) *Side Setback.*

(1) Except as otherwise provided herein, one side of each lot shall be setback no less than 6 feet. The ordinary projections of a roof eave or cornice may extend into the required six (6) foot setback no more than eighteen (18) inches.

(2) Except as otherwise provided herein, one side of each lot shall have a setback of zero (0) inches (the “zero side”) for no less than sixty (60) percent of the lot length. Lot 13 need not have a zero side. There shall be a minimum separation of six (6) feet between all buildings. The horizontal distance between all roof eaves of adjacent buildings shall be no less than three (3) feet. A cedar fence no less than six (6) feet in height shall be constructed on the zero side of each lot from the rear building line to the rear property line/wall. No masonry wall shall be required on the zero side of any lot.

(4) Each lot adjacent to the zero side of another lot shall dedicate a roof eave and access easement of no less than three (3) feet wide along the zero side of the adjacent lot so as to permit the zero-side property owner access for maintenance of his or her dwelling. The roof eave may encroach no more than eighteen (18) inches into the easement. A gutter and downspout shall be required along the zero setback side of the dwelling to ensure drainage is handled on the owner’s property and said gutter system shall not be included in the calculation of the eave encroachment.

(6) No side setback shall be required from an interior side lot line for mechanical equipment (e.g., air conditioning units) or an uncovered porch or patio.

(g) *Rear Setback.* Except as otherwise provided herein, all lots shall have a rear setback of no less than five (5) feet.

(h) *Parking Regulations.*

(1) Two (2) off-street parking spaces, accessible from a driveway constructed of an approved parking surface, shall be provided on each residential lot in an enclosed, attached garage structure located behind the front building line to accommodate two motor vehicles for each dwelling unit. No driveway parking shall be permitted. A minimum of twelve (12) visitor parking spaces, comprised of off-street parking spaces and on-street parallel parking spaces, shall service the District. Said on-street parking spaces, contained within the right-of-way of Old Campbell Road and Nantucket Drive shall be a minimum of eight (8) feet in width and twenty-two (22) feet in length.

(4) No detached garages or carports shall be permitted in the District; nor may any lot owner convert the lot’s enclosed garage into living space, or otherwise modify the enclosed garage in such a way as to permanently reduce the number of parking spaces within the garage to less than two (2).

**Sec. 5. Special Requirements.**

(c) *Density.* The density in the District shall not exceed seven and one-half (7.5) dwelling units per acre.

(d) *Fences*. Where an individual privacy fence is perpendicular to any required screening wall, the fence may not be taller than the screening wall at the point of intersection between the fence and the screening wall. No privacy fence shall be constructed parallel to any required screening wall.

(e) *Accessory Buildings*. Lots containing dwelling units may not contain any accessory building(s) other than stained cedar arbors, pergolas, or trellises. Said structures may be either attached or detached and may have rear and side setbacks of zero (0) inches provided, however, that no such structure is located within any maintenance easement adjacent to the rear or side setbacks.

(f) *Sidewalks*. Sidewalks shall not be required within the District.

(g) *Alleys*. Alleys shall not be required within the District.

(h) *Perimeter Screening Wall*. Any screening wall located along the perimeter of the District shall be maintained by the Homeowner's Association. A masonry wall no less than eight (8) feet in height shall be required along the northern and eastern property lines of the District as indicated on the Concept Plan ("Exhibit B").

(i) *Homeowners Association*. There shall be a mandatory Homeowner's Association (HOA) established and incorporated that shall be responsible for maintaining all common planting areas, private drives, entry features, perimeter landscaping, screening walls, and fencing. Provisions for the maintenance shall be included in the homeowner's association documents, which shall be presented for review by the city attorney as part of the submittal for the final plat of the subdivision. The HOA shall annually prepare a reserve budget for maintenance of the private drives and other improvements to the common properties that takes into account the number and nature of any replaceable assets the association owns or for which it is otherwise responsible, the expected life of each asset, and the expected repair or replacement cost. The HOA shall set the required capital contribution, if any, in an amount sufficient to permit meeting the projected needs of the association, as shown on the budget, with respect both to amount and timing by annual review to be performed by a CPA firm to verify the amount in the reserve fund and shall provide a copy of the review to the City of Richardson. If at any time the private drive is dedicated to the City of Richardson, the city shall be entitled to that portion of monies in the reserve fund allocated to maintenance, repair, and replacement of the drives dedicated.

(j) *Combined Lots*. At no time shall more than two (2) adjacent lots, as shown on the Concept Plan "Exhibit B" be combined into a single lot.

(k) *Non-radial Lot Lines*. Non-radial lot lines shall be permitted within the District.

(l) *Performance Standards*. For purposes of this Planned Development District and Performance Standards in the City of Richardson's Comprehensive Zoning Ordinance, the District shall not be considered a residential zoning district.

(m) *Lot Frontage*. Lots within the District need not front on any public street but shall front on the common access drive.



VILLAS OF NANTUCKET  
RICHARDSON, TEXAS



(1)

Looking west across  
subject site



(2)

Looking north across  
Old Campbell Road



(3)

Looking northeast across  
Nantucket Dr



Looking east across  
Nantucket Dr

(4)

# **Villas of Nantucket**

## **Applicant Statement**

The purpose of this proposed Planned Development is to allow for the development of a small parcel for residential uses located at the northeast corner of Old Campbell Road and Nantucket Drive. This oddly shaped and shallow lot has been vacant for many years and is unaccommodating to most uses, including its existing zoning of retail and office use. After thorough consideration and study, the Applicant proposes this Planned Development to address this problematic parcel and believes that it represents the highest and best use of the parcel.

The proposed development would accommodate no more than thirteen (13) patio home residential lots with the base zoning provided by Article XII-B of the Comprehensive Zoning Ordinance (RP-1500-M Patio Home District Regulations) and the provisions of Chapter 21 of the City of Richardson Code of Ordinances (Subdivision and Development Ordinance). The style of these patio homes offers an attractive option for those looking to own their home without the demands associated with typical large lots. In addition, this particular proposed development is well suited to meet the challenges presented by infill development of small tracts.

Because of significant new employment opportunities and an improving economy, there is growing demand for new, upscale housing units in Richardson. This is particularly true for housing types aimed at young professionals and empty nesters. This proposed Planned Development has these owners in mind and aims to create a product that will not only continue to attract new residents to Richardson, but will enhance the surrounding community and further the overall development goals of the City.

### **Applicant:**

H. Purdam, Inc.  
701 N. Central Expwy  
Bldg 3, Suite 400  
Richardson, Texas 75083

### **Representative:**

Williams Consulting Group  
2611 Forest Grove Dr.  
Richardson, Texas 75080  
Phone: 214.636.8777  
Fax: 972.424.7650

15 May 2014



# Notice of Public Hearing

## City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

### PLANNED DEVELOPMENT

**File No./Name:** ZF 14-12 / Villas of Nantucket  
**Property Owner:** Barbara and Larry J. Ward  
**Applicant:** Harry Purdom / H Purdom, Inc.  
**Location:** Northeast quadrant of Old Campbell Road and Nantucket Drive  
(See map on reverse side)  
**Current Zoning:** LR-M(2) Local Retail and O-M Office  
**Request:** A request to rezone approximately 1.8 acres from LR-M(2) Local Retail and O-M Office to PD Planned Development for the development of a 13-lot patio home development.

The City Plan Commission will consider this request at a public hearing on:

**TUESDAY, MAY 6, 2014**  
**7:00 p.m.**  
**City Council Chambers**  
**Richardson City Hall, 411 W. Arapaho Road**  
**Richardson, Texas**

*This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.*

**Process for Public Input:** A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

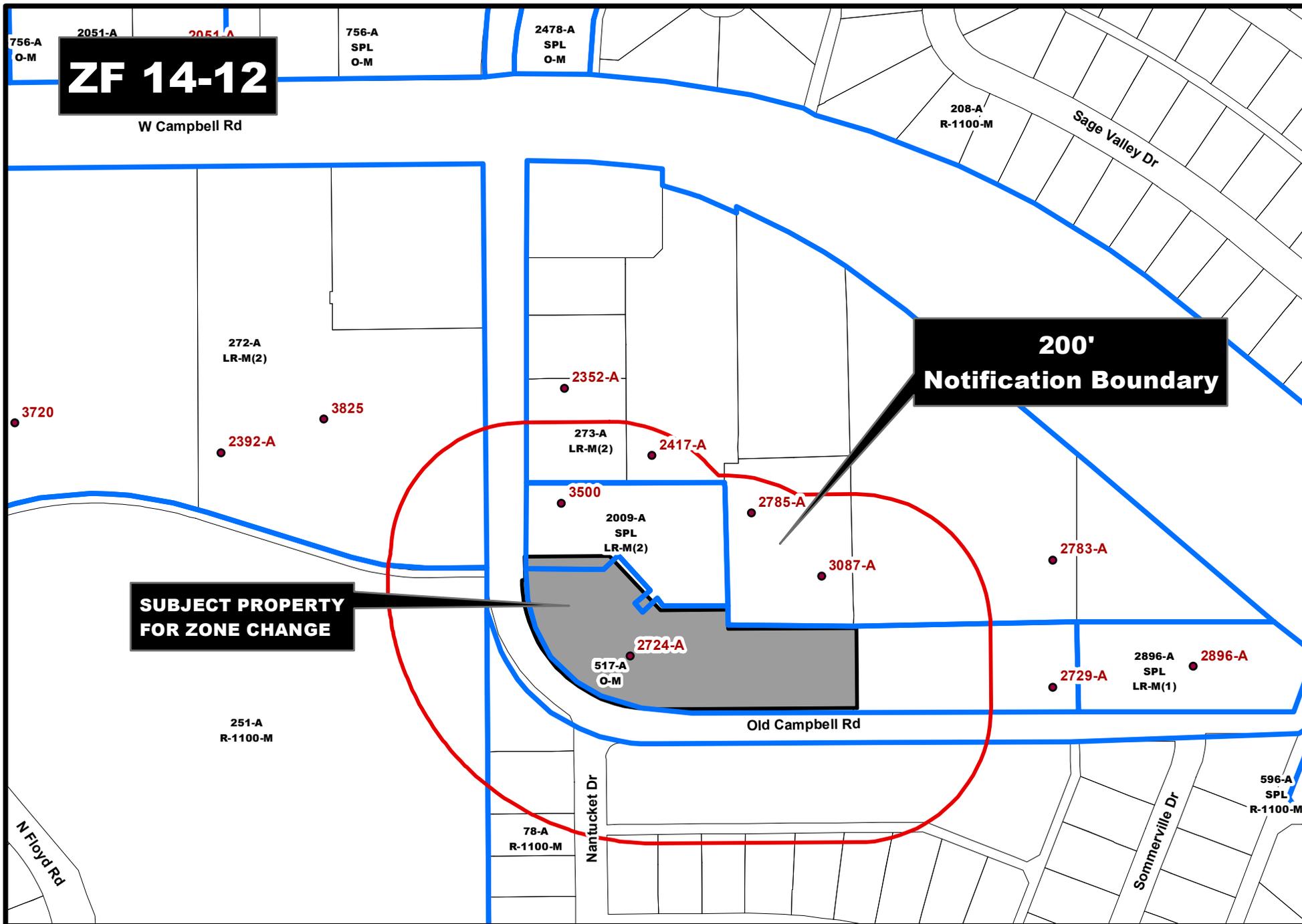
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

*The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.*

**Agenda:** The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 14-12.

Date Posted and Mailed: 04/25/2014



## ZF 14-12 Notification Map

Updated By: shacklett, Update Date: April 21, 2014  
 File: DSI\Mapping\Cases\Z\2014\ZF1412\ZF1412 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



UNDERWOOD FINANCIAL CORP  
25 HIGHLAND PARK VILLAGE #100-574  
DALLAS, TX 75205-2789

CAMPBELL PLAZA LTD  
7005 CHASE OAKS BLVD., STE 20  
PLANO, TX 75025-5943

MARINO MICHAEL J  
6901 NORTHWOOD RD  
DALLAS, TX 75225-2437

PROSPERITY ASSETS LTD  
%TY EQUITY GROUP INC.  
5930 LBJ FWY., STE 400  
DALLAS, TX 75240-6372

WARD LARRY J  
4647 FM 1768  
OLNEY, TX 76374-6308

GRIFFITH BALIE & BEVERLY  
1206 W. 6<sup>TH</sup> ST  
AUSTIN, TX 78703-5209

RICHARDSON ISD  
P.O. BOX 830625  
RICHARDSON, TX 75083-0625

FAITH UNITED METHODIST CHURCH  
615 OLD CAMPBELL ROAD  
RICHARDSON, TX 75080-3338

KERR ROY C JR  
3610 S. COUNTRY CLUB DR  
GARLAND, TX 75043-1405

ARAGON MARIA DEL C &  
JIMENEZ EDUARDO  
1905 NANTUCKET DR  
RICHARDSON, TX 75080-3336

THEDFORD MARVIN JR  
620 BEDFORD DR  
RICHARDSON, TX 75080-3319

HOUSTON RONALD & INMI  
1884 QUAIL LN  
RICHARDSON, TX 75080-3456

MCKISSACK MICHAEL R & DIANE  
624 BEDFORD DR  
RICHARDSON, TX 75080-3319

MITCHELL SEAN TATUM  
626 BEDFORD DR  
RICHARDSON, TX 75080-3319

WOLCOTT EVELYN LIFE EST  
REM: EVELYN A WOLCOTT REV L  
628 BEDFORD DR  
RICHARDSON, TX 75080-3319

YAFUSO MONICA A  
618 BEDFORD DR  
RICHARDSON, TX 75080-3319

CHAVEZ ALEJANDRA  
630 BEDFORD DR  
RICHARDSON, TX 75080-3319

ACCUPUNCTURE & SPORT INJURY  
CLINIC  
610 OLD CAMPBELL RD STE 100  
RICHARDSON, TX 75080-3379

CLARK GEORGE R & JUDITH  
610 OLD CAMPBELL RD , STE 4  
RICHARDSON, TX 75080-3379

VAJRA CHIH MIN & HWEI HWA  
MASTERS FOUNDATION  
610 OLD CAMPBELL RD, STE 104  
RICHARDSON, TX 75080-3379

MIAW DANIEL  
610 OLD CAMPBELL RD, STE 108A  
RICHARDSON, TX 75080-3379

RGY INTERESTS LLC  
9401 S JAMESTOWN AVE  
TULSA, OK 74137-4850

**WARD LARRY & BARBARA**  
**4647 FM 1768**  
**OLNEY, TX 76374**

**PURDOM HARRY, H PURDOM, INC.**  
**701 N CENTRAL EXPWY**  
**BLDG 3, STE 400**  
**RICHARDSON, TX 75083**

SUPERINTENDENT OF SCHOOLS  
RICHARDSON ISD  
400 S. GREENVILLE AVE  
RICHARDSON, TX 75081

MAINTENANCE & OPERATIONS  
ATTN: MICHAEL LONGANECKER  
RICHARDSON ISD  
400 S. GREENVILLE AVE  
RICHARDSON, TX 75081

RICHARDSON CITY OF  
PO BOX 830129  
RICHARDSON, TX 75083-0129

**ZF 14-12**  
**NOTIFICATION LIST**

SF 14-12 - Villas of Nantucket  
Jennifer Vilbig, EIT to: mohamed.bireima  
05/08/2014 12:10 PM  
Hide Details

From: "Jennifer Vilbig, EIT" <jvilbig@vilbig.com>

To: <mohamed.bireima@cor.gov>,

History: This message has been forwarded.

Mohamed,

I was unable to make the P&Z meeting on Tuesday, but plan on being at City Council.

I am very concerned with the parking for the proposed development. I live down the street (1805 Nantucket).

The plan attached the P&Z packet only showed 10 parallel spaces for visitors, but the zoning standards said 12 would be provided. With the proximity to UT Dallas, I anticipate at least a few of the units being rented to students, which means they will have more than the 2 cars, so then visitors will have nowhere to park if the spaces on the street are taken up by residents! Also, the dimensions of the parallel spaces on the plan were smaller than the proposed in the zoning standards for the development.

Plus, in the evenings when there is soccer practice at the middle school, parents park along the street. I took some pictures on Monday evening showing cars parked on both side of the street, see attached. I was a little late, so parents were already leaving, but you can see that there were parents parked all along the street. I highly doubt anyone was aware of this unless you regularly drive along the street in the evening. I also drove by last night, and counted 10 cars. The back of the lot of the shopping center adjacent to the middle school was also completely full.

How is it possible to have a car pull out of a garage with a 18' roadway?  
What about the 24' wide fire lane required by the IFC?

What is the timing with the planned construction along Nantucket/Old Campbell as part of the bond program. The last time I spoke with the PM at the city, there was not currently funding for the project. What exactly will the developer be improving along Old Campbell?

How will this development affect the drainage downstream?

I am hopefully going to be able to attend the City Council meeting, will this be the agenda on the 12th?

Thanks,

Jennifer Vilbig, EIT  
Vilbig & Associates, P.L.L.C.  
10132 Monroe Drive  
Dallas, TX 75229  
214-352-7333 (office)  
469-363-4951 (cell)  
jvilbig@vilbig.com



City of Richardson  
City Council Meeting  
Agenda Item Summary



**City Council Meeting Date:** Monday, May 19, 2014

**Agenda Item:** Public Hearing to consider the adoption of an ordinance amending Ordinance No. 3279 updating the incentives which might be available to the Texas Enterprise Zone program under existing City of Richardson policy, but which are not currently offered under Ordinance No. 3729.

**Staff Resource:** David Morgan, Assistant City Manager

**Summary:** Council will conduct a Public Hearing to receive comments regarding the adoption of an ordinance updating the incentives which might be available to the Texas Enterprise Zone program.

**Board/Commission Action:** N/A

**Action Proposed:** Conduct Public Hearing. Adoption of the proposed ordinance will follow this item. A resolution nominating Health Care Service Corporation is on the Consent Agenda.

**ORDINANCE NO. 4050**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, AMENDING ORDINANCE NO. 3729 TO AMEND AND IDENTIFY ADDITIONAL LOCAL INCENTIVES FOR THE TEXAS ENTERPRISE ZONE PROGRAM; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City Council of the City of Richardson, Texas, previously adopted Ordinance No. 3729 and desires to update and amend the list of local incentives which might be available to the Texas Enterprise Zone Program under existing City of Richardson policy; and

**WHEREAS**, a public hearing to consider this ordinance was held by the City Council of the City of Richardson, Texas, on May 19, 2014, with prior notice by publication in a newspaper of general circulation containing in accordance with the law; **NOW THEREFORE**,

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:**

**SECTION 1.** That Ordinance No. 3729 is hereby amended in part by amending the list of local incentives which might be available to the Texas Enterprise Zone Program to read as follows:

The city council may elect to make the following local incentives and economic development tools available to qualifying enterprise zone projects:

	<b>Name of Incentive</b>	<b>Description of Incentive</b>	<b>Availability</b>
1	Tax Abatement	Property tax abatement.	Citywide
2	Tax Increment Financing	Finance specific infrastructure and/or development improvements.	Citywide
3	Zoning Changes/Variances	The City may make zoning changes to expedite the development process.	Citywide
4	Development/Inspection Fees	The City may waive development/inspection fees for businesses.	Citywide
5	Streamlined Permitting	The City may allow permit applications and supporting materials to be tendered to one department for distribution to the appropriate City departments.	Citywide

6	Improved Fire and Police Protection	Safety and protection of City residents.	Citywide
7	Community Crime Prevention Programs	Neighborhood Watch Program.	Citywide
8	Capital Improvements In Water and Sewer Facilities	The City can provide resources for capital improvements related to road, water, and sewer service.	Citywide
9	Road Repair	The City can provide resources for capital improvements related to road, water, and sewer service.	Citywide
10	Creation or Improvement of Parks	Maintain healthy lifestyle for City residents through the Parks and Recreation Department.	Citywide
11	Special Public Transportation Routes or Reduced Fares	Dallas Area Rapid Transit (DART).	Citywide
12	Promotion and Marketing Service	Richardson Chamber of Commerce and Richardson Economic Development Partnership.	Citywide
13	Job Training and Employment Services	Offered through Dallas County Community College and Collin College.	Citywide
14	Retraining Program	Offered through Dallas County Community College and Collin College.	Citywide
15	Literacy and Employment Skills Services	Offered through Dallas County Community College and Collin College.	Citywide
16	Vocational Education	Offered through Dallas County Community College and Collin College.	Citywide
17	Customized Job Training	Offered through Dallas County Community College and Collin College.	Citywide
18	Local Sales Tax Refund	The City may provide local sales tax refunds.	Citywide
19	Chapter 380/381	The City may enter into Chapter 380 Agreements.	Citywide

**SECTION 2.** That all provisions of the ordinances of the City of Richardson in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this ordinance shall remain in full force and effect; provided, however, Ordinance No. 3729 shall remain in full force and effect except as amended herein.

**SECTION 3.** That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional.

**SECTION 4.** That this ordinance shall take effect immediately from and after its passage as the law and charter in such cases provide.

**DULY PASSED** by the City Council of the City of Richardson, Texas, on the 19<sup>th</sup> day of May, 2014.

APPROVED:

\_\_\_\_\_  
MAYOR

CORRECTLY ENROLLED:

\_\_\_\_\_  
CITY SECRETARY

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY  
(PGS:5-15-14 TM 66181 )



City of Richardson  
City Council Meeting  
Agenda Item Summary



City Council Meeting Date: Monday, May 19, 2014

Agenda Item: Consider variance request for 525 W. Arapaho Road (Tineo Bakery) to allow the sale of alcoholic beverages within 300 feet of a church.

Staff Resource: Sam Chavez, Assistant Director of Development Services **SC**

Summary: Erika Santivanez, representing Tineo Bakery, located on the south side of Arapaho Road, west of Custer Road, is requesting a variance to allow the sale of alcoholic beverages within 300 feet of a church. Tineo Bakery is located in a multi-tenant shopping center, and there are several churches within the shopping center. The closest church, Calvary Bible Church is located approximately 221 feet to the west of Tineo Bakery. Chapter 4 of the Code of Ordinances; the City's Alcoholic Beverage Code, prohibits the sale of alcoholic beverages for on-premise consumption for a business located within 300 feet of a church, school, or public hospital.

The subject lease space was occupied in 2005 by a restaurant (Andrea's) that sold alcoholic beverages; however, a church was not located within 300 feet of the restaurant at that time. Also in 2005, a variance was granted to allow a restaurant in a different suite on the subject property (Kasra Persian Cuisine) to be located within 300 feet of a church.

In 2010, the City Council approved two (2) variances from Chapter 4 of the Code of Ordinances to allow the sale of alcoholic beverages within 300 feet of a public school. The first variance was for the Holiday Inn located at 1655 N. Central Expressway. The second variance was for the Practice Tee located at 3570 Waterview Parkway. In 2011, a variance to allow a private club within 300 feet of a church was allowed at 115 E. Main Street.

Board/Commission Action: N/A

Action Proposed: Approve variance request.

April 22, 2014

Aimee Nemer  
City Secretary  
City of Richardson

Re: Tineo Bakery  
TABC Application Appeal

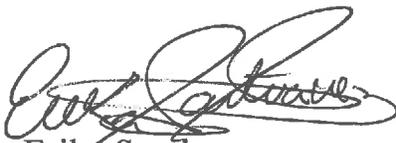
Dear Ms. Nemer:

I am writing regarding the denial on the Application for a License for Beer and Wine Retailer's for Tineo Bakery, business located on 525 Arapaho Road, suit 1. I want to appeal this decision

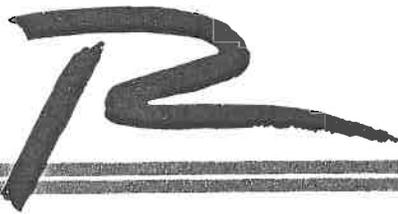
I want to appeal this decision and follow the necessary procedures for this appeal.

Thanks for the attention provided and waiting for a prompt response.

Sincerely,

A handwritten signature in black ink, appearing to read 'Erika Santivanez', with a large, stylized flourish at the end.

Erika Santivanez  
Manager



May 9, 2014

Calvary Bible Church  
525 W. Arapaho Road, Suite 15  
Richardson, TX 75080

Re: 525 W. Arapaho Road, Suite 1 (Tineo Bakery)  
Richardson, TX 75080  
Texas Alcoholic Beverage Commission Application

To Whom it may Concern:

The business located at 525 W. Arapaho Road, Suite 1 (Tineo Bakery) has requested a permit to allow the sale of alcoholic mixed beverages in restaurants by food and beverage certificate holders at their facility. Calvary Bible Church is located within 300 feet of the subject lease space. Due to the close proximity of the church, the City of Richardson denied the permit on April 16, 2014.

This letter will act as formal notice to you that the business located at 525 W. Arapaho Road, Suite 1 has requested that the Richardson City Council consider approving a variance to the distance requirement for the sale of alcoholic mixed beverages in restaurants by food and beverage certificate holders as it pertains to Calvary Bible Church.

The City Council will hear the request on Monday, May 19, 2014 at 7:30 p.m. in the City Council Chamber located in the City Hall/Civic Center, 411. W. Arapaho Road, Richardson, Texas. If you wish your opinion to be part of the record but are unable to attend, please send a written reply prior to the hearing date to my attention addressed to Development Services, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

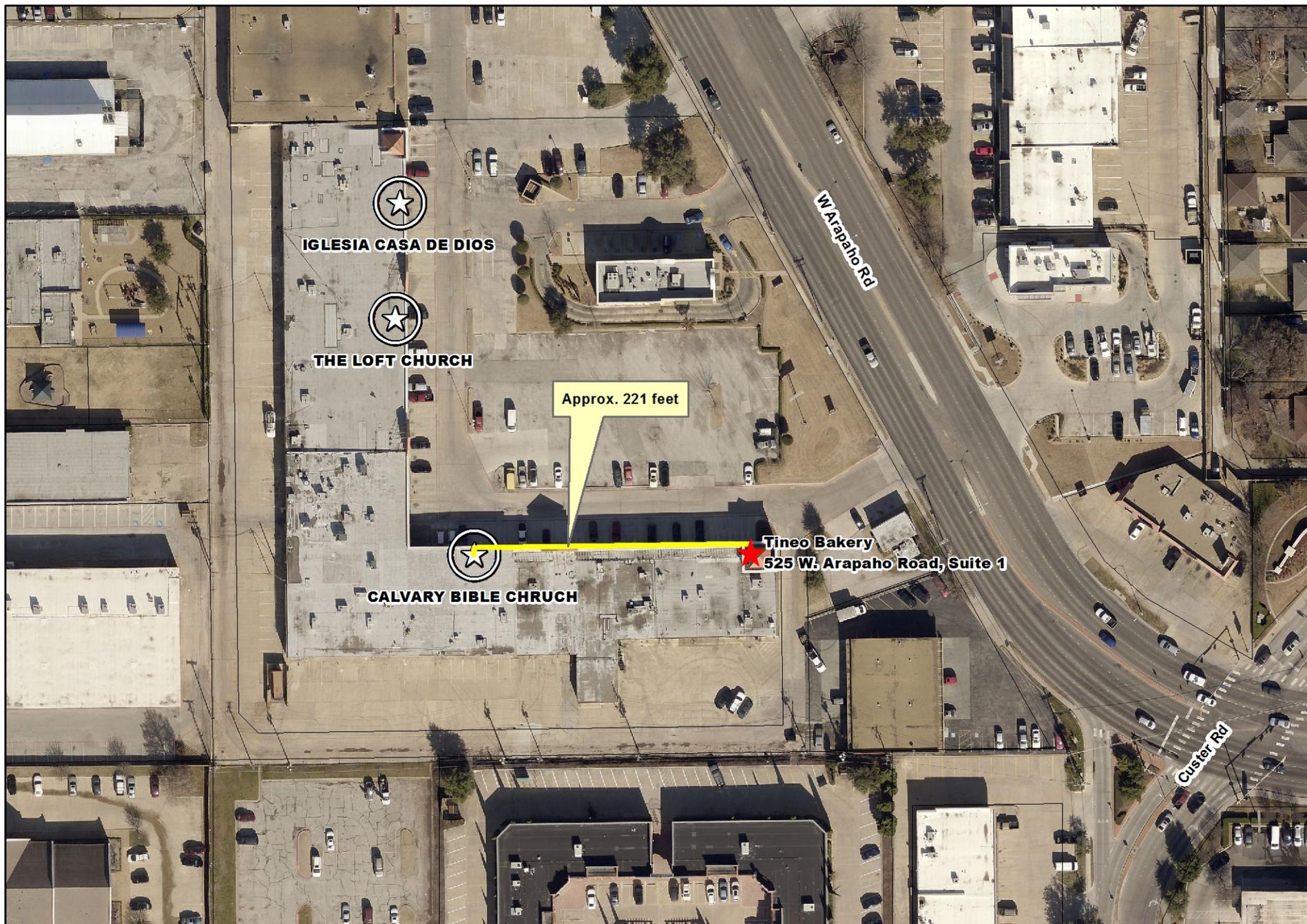
Please feel free to contact me at 972-744-4249 or at [chris.shacklett@cor.gov](mailto:chris.shacklett@cor.gov) if you have any questions.

Sincerely,

Chris Shacklett  
Senior Planner – Development Services

Cc: Erika Santivanez, Tineo Bakery Manager  
525 W. Arapaho Road, Suite 1  
Richardson, TX 75080

Northrich Plaza LTD  
7005 Chase Oaks Blvd., Suite 20  
Plano, TX 75025



## 525 W Arapaho Road - Chapter 4 Variance

May 5, 2014  
DS\Mapping\Administration\Alcohol\Variance\525 W Arapaho\525 W Arapaho Variance Distance Aerial.mxd

1 inch = 100 feet



**RESOLUTION NO. 14-09**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, IN SUPPORT OF THE UNIVERSITY TRAIL TRANSPORTATION ALTERNATIVE PROGRAM PROJECT; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Regional Transportation Council, comprised primarily of local elected officials, is the regional transportation policy board associated with the North Central Texas Council of Governments (NCTCOG) and the regional forum for cooperative decisions on transportation; and

**WHEREAS**, the Regional Transportation Council approved approximately \$28 Million for the current Transportation Alternatives Program call for projects on February 13, 2014; and

**WHEREAS**, the City of Richardson intends to submit a transportation alternative project application for the (project name) project to the North Central Texas Council of Governments (NCTCOG) prior to the May 30, 2014 deadline; and

**WHEREAS**, the Regional Transportation Council requires the submittal of a resolution as part of the Transportation Alternatives Call for Project application submission;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:**

**SECTION 1.** That the City of Richardson supports the University Trail as applied for in the 2014 Transportation Alternative Program Call for Projects application.

**SECTION 2.** That the City of Richardson will serve as the public sponsor and lead project contact on this project. The City of Richardson agrees to designate a single point of contact for the project.

**SECTION 3.** That the City of Richardson commits to fund or pass through funds from other sources for a minimum local cash or in-kind match of 30% of the total project cost.

**SECTION 4.** That the City of Richardson confirms that the City of Richardson, not the Regional Transportation Council, will be responsible for any cost overruns.

**SECTION 5.** That the City of Richardson understands and acknowledges that all awarded funding is provided on a reimbursement basis

**SECTION 6.** That the University Trail is supported by the University of Texas at Dallas through granting an easement to construct part of the trail on the campus as it did in a prior trail project.

**SECTION 7.** That the City of Richardson and the University of Texas at Dallas have entered into an Interlocal Cooperation Agreement for Central Trail.

**SECTION 8.** That all provisions of the resolutions of the City of Richardson, Texas, in conflict with the provisions of this Resolution be, and the same are hereby, repealed, and all other provisions not in conflict with the provisions of this Resolution shall remain in full force and effect.

**SECTION 9.** That if any one or more sections or clauses of this Resolution is adjudged to be unconstitutional or invalid, such judgment shall not affect, impair, or invalidate the remaining provisions of this Resolution and the remaining provisions of the Resolution shall be interpreted as if the offending section or clause never existed.

**SECTION 10.** That this Resolution shall become effective immediately from and after its passage.

**DULY RESOLVED AND ADOPTED** by the City Council of the City of Richardson, Texas, on this the 19th day of May, 2014.

CITY OF RICHARDSON, TEXAS

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY SECRETARY

APPROVED AS TO FORM:

\_\_\_\_\_  
PETER G. SMITH, CITY ATTORNEY  
(PGS:5-8-14:TM 66053)

**RESOLUTION NO. 14-10**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, DENYING THE RATE INCREASE REQUESTED BY ATMOS ENERGY CORP., MID-TEX DIVISION UNDER THE COMPANY'S 2014 ANNUAL RATE REVIEW MECHANISM FILING IN ALL CITIES EXERCISING ORIGINAL JURISDICTION; REQUIRING THE COMPANY TO REIMBURSE CITIES' REASONABLE RATEMAKING EXPENSES PERTAINING TO REVIEW OF THE RRM; AUTHORIZING THE CITY'S PARTICIPATION WITH ATMOS CITIES STEERING COMMITTEE IN ANY APPEAL FILED AT THE RAILROAD COMMISSION OF TEXAS BY THE COMPANY; REQUIRING THE COMPANY TO REIMBURSE CITIES' REASONABLE RATEMAKING EXPENSES IN ANY SUCH APPEAL TO THE RAILROAD COMMISSION; DETERMINING THAT THIS RESOLUTION WAS PASSED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS OPEN MEETINGS ACT; AND REQUIRING DELIVERY OF THIS RESOLUTION TO THE COMPANY AND THE STEERING COMMITTEE'S LEGAL COUNSEL; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Richardson, Texas ("City"), is a gas utility customer of Atmos Energy Corp., Mid-Tex Division ("Atmos Mid-Tex" or "Company"), and a regulatory authority with an interest in the rates and charges of Atmos Mid-Tex; and

**WHEREAS**, the City is a member of the Atmos Cities Steering Committee ("ACSC"), a coalition of approximately 164 similarly situated cities served by Atmos Mid-Tex that have joined together to facilitate the review of and response to natural gas issues affecting rates charged in the Atmos Mid-Tex service area; and

**WHEREAS**, pursuant to the terms of the agreement settling the Company's 2007 Statement of Intent to increase rates, ACSC Cities and the Company worked collaboratively to develop a Rate Review Mechanism ("RRM") tariff that allows for an expedited rate review process controlled in a three-year experiment by ACSC Cities as a substitute to the current Gas Reliability Infrastructure Program ("GRIP") process instituted by the Legislature; and

**WHEREAS**, the City took action in 2008 to approve a Settlement Agreement with Atmos Mid-Tex resolving the Company's 2007 rate case and authorizing the RRM tariff; and

**WHEREAS**, in 2013, ACSC and the Company negotiated a renewal of the RRM tariff process for an additional five years; and

**WHEREAS**, the City passed an ordinance renewing the RRM tariff process for the City for an additional five years; and

**WHEREAS**, the RRM renewal tariff contemplates reimbursement of ACSC Cities' reasonable expenses associated with RRM applications; and

**WHEREAS**, on or about February 28, 2014, the Company filed with the City its second annual RRM filing under the renewed RRM tariff, requesting to increase natural gas base rates by \$45.7 million; and

**WHEREAS**, ACSC coordinated its review of Atmos Mid-Tex's RRM filing through its Executive Committee, assisted by ACSC attorneys and consultants, to investigate issues identified by ACSC in the Company's RRM filing; and

**WHEREAS**, ACSC attorneys and consultants have concluded that the Company is unable to justify a rate increase of the magnitude requested in the RRM filing; and

**WHEREAS**, ACSC's consultants determined the Company is only entitled to a \$19 million increase, approximately 42% of the Company's request under the 2014 RRM filing; and

**WHEREAS**, the Company would only be entitled to approximately \$31 million if it had a GRIP case; and

**WHEREAS**, the Company's levels of operating and maintenance expense have dramatically risen without sufficient justification; and

**WHEREAS**, the Company has awarded its executives and upper management increasing and unreasonable levels of incentives and bonuses, expenses which should be borne by shareholders who received a 23% total return on investment in 2013; and

**WHEREAS**, the Company requested a drastically high level of medical expense that is unreasonable and speculatively based upon estimates; and

**WHEREAS**, ACSC and the Company were unable to reach a compromise on the amount of additional revenues that the Company should recover under the 2014 RRM filing; and

**WHEREAS**, the ACSC Executive Committee, as well as ACSC's counsel and consultants, recommend that ACSC Cities deny the requested rate increase; and

**WHEREAS**, the Company's current rates are determined to be just, reasonable, and in the public interest;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:**

**SECTION 1.** That the findings set forth in this Resolution are hereby in all things approved.

**SECTION 2.** That the City Council finds that Atmos Mid-Tex was unable to justify the appropriateness or the need for the increased revenues requested in the 2014 RRM filing, and that existing rates for natural gas service provided by Atmos Mid-Tex are just and reasonable.

**SECTION 3.** That Atmos Mid-Tex shall reimburse the reasonable ratemaking expenses of the ACSC Cities in processing the Company's RRM application.

**SECTION 4.** That in the event the Company files an appeal of this denial of rate increase to the Railroad Commission of Texas, the City is hereby authorized to intervene in such appeal, and shall participate in such appeal in conjunction with the ACSC membership. Further, in such event Atmos Mid-Tex shall reimburse the reasonable expenses of the ACSC Cities in participating in the appeal of this and other ACSC City rate actions resulting from the 2014 RRM filing.

**SECTION 5.** That the meeting at which this Resolution was approved was in all things conducted in strict compliance with the Texas Open Meetings Act, Texas Government Code, Chapter 551.

**SECTION 6.** That a copy of this Resolution shall be sent to Atmos Mid-Tex, care of Chris Felan, Manager of Rates and Regulatory Affairs, at Atmos Energy Corporation, 5420 LBJ Freeway, Suite 1862, Dallas, Texas 75240, and to Geoffrey Gay, General Counsel to ACSC, at Lloyd Gosselink Rochelle & Townsend, P.C., P.O. Box 1725, Austin, Texas 78767-1725.

**SECTION 7.** That all provisions of the resolutions of the City of Richardson, Texas, in conflict with the provisions of this Resolution be, and the same are hereby, repealed, and all other provisions not in conflict with the provisions of this Resolution shall remain in full force and effect.

**SECTION 8.** That if any one or more sections or clauses of this Resolution is adjudged to be unconstitutional or invalid, such judgment shall not affect, impair, or invalidate the

remaining provisions of this Resolution and the remaining provisions of the Resolution shall be interpreted as if the offending section or clause never existed.

**SECTION 9.** That this Resolution shall become effective immediately from and after its passage.

**DULY RESOLVED AND ADOPTED** by the City Council of the City of Richardson, Texas, on this the 19<sup>th</sup> day of May, 2014.

CITY OF RICHARDSON, TEXAS

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY SECRETARY

APPROVED AS TO FORM:

\_\_\_\_\_  
PETER G. SMITH, CITY ATTORNEY  
(PGS:5-5-14:TM 65981)

**RESOLUTION NO. 14-11**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS, NOMINATING HEALTH CARE SERVICE CORPORATION, A MUTUAL LEGAL RESERVE COMPANY, D/B/A BLUE CROSS AND BLUE SHIELD OF TEXAS (“HCSC”), AS A TEXAS STATE ENTERPRISE ZONE PROJECT; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City Council of the City of Richardson previously adopted Ordinance No. 3729 on November 10, 2008, as amended by Ordinance No.4050 on May 19, 2014, electing to participate in the Texas Enterprise Zone Program; and

**WHEREAS**, the local incentives offered under this Resolution are the same on this date as were outlined in Ordinance No. 3729, as amended; and

**WHEREAS**, pursuant to Chapter 2303, Subchapter F of the Texas Enterprise Zone Act, Texas Government Code (“Act”), Health Care Service Corporation, a Mutual Legal Reserve Company has applied to the City for designation as an enterprise zone project; and

**WHEREAS**, the Office of the Governor Economic Development and Tourism (“EDT”) through the Economic Development Bank (“Bank”) will consider Health Care Service Corporation, a Mutual Legal Reserve Company as an enterprise project pursuant to a nomination and an application made by the City; and

**WHEREAS**, the City desires to pursue the creation of the proper economic and social environment in order to induce the investment of private resources in productive business enterprises located in the City and to provide employment to residents of enterprise zones and to other economically disadvantaged individuals; and

**WHEREAS**, the City finds that Health Care Service Corporation, a Mutual Legal Reserve Company, meets the criteria for designation as an enterprise project under Chapter 2303, Subchapter F of the Act on the following grounds:

1. Health Care Service Corporation, a Mutual Legal Reserve Company, is a "qualified business" under Section 2303.402 of the Act since it will be engaged in the active conduct of a trade or business at a qualified business site located outside an enterprise zone and at least thirty-five percent (35%) of the business' new employees will be residents of an enterprise zone or economically disadvantaged individuals; and
2. There has been and will continue to be a high level of cooperation between public, private, and neighborhood entities within the area; and
3. The designation of Health Care Service Corporation, a Mutual Legal Reserve Company, as an enterprise project will contribute significantly to the achievement of the plans of the City for development and revitalization of the area.

**WHEREAS**, the City finds that Health Care Service Corporation, a Mutual Legal Reserve Company, meets the criteria for tax relief and other incentives adopted by the City and nominates Health Care Service Corporation, a Mutual Legal Reserve Company, for enterprise project status on the grounds that it will be located at the qualified business site, will create a higher level of employment, economic activity and stability; and

**WHEREAS**, the City finds that it is in the best interest of the City to nominate Health Care Service Corporation, a Mutual Legal Reserve Company, as an enterprise project pursuant to the Act.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:**

**SECTION 1.** That Health Care Service Corporation, a Mutual Legal Reserve Company is a "qualified business" as defined in Section 2303.402 of the Act, and meets the criteria for designation as an enterprise project, as set forth in Section 2303, Subchapter F of the Act;

**SECTION 2.** That the enterprise zone project shall take effect on the date of designation of the enterprise project by the agency and terminate five years after date of designation; and

**SECTION 2.** That the City Manager or designee be authorized to sign any and all documents required by EDT to complete the nomination process.

**SECTION 4.** That this Resolution shall take effect immediately upon its passage.

**DULY RESOLVED AND ADOPTED** by the City Council of the City of Richardson, Texas, on this the 19th day of May, 2014.

**CITY OF RICHARDSON, TEXAS**

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**MAYOR**

**ATTEST**

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**CITY SECRETARY**

**APPROVED AS TO FORM:**

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**CITY ATTORNEY**

(PGS:5-14-14:TM 66197)