

**RICHARDSON CITY COUNCIL
MONDAY, MAY 12, 2014
WORK SESSION AT 6:00 PM; COUNCIL MEETING AT 7:30 PM
CIVIC CENTER/CITY HALL, 411 W. ARAPAHO, RICHARDSON, TX**

The Richardson City Council will conduct a Work Session at 6:00 p.m. on Monday, May 12, 2014 in the Richardson Room of the Civic Center, 411, W. Arapaho Road, Richardson, Texas. The Work Session will be followed by a Council Meeting at 7:30 p.m. in the Council Chambers. Council will reconvene the Work Session following the Council Meeting if necessary.

As authorized by Section 551.071 (2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

WORK SESSION – 6:00 PM, RICHARDSON ROOM

• **CALL TO ORDER**

A. REVIEW AND DISCUSS ITEMS LISTED ON THE CITY COUNCIL MEETING AGENDA

The City Council will have an opportunity to preview items listed on the Council Meeting agenda for action and discuss with City Staff.

B. REVIEW AND DISCUSS THE 2013-2014 SECOND QUARTER FINANCIAL REPORT

C. REVIEW AND DISCUSS THE ATMOS ENERGY RATE REVIEW ACTION

D. REVIEW AND DISCUSS AN UPDATE ON APPLICATIONS FOR FUNDING FOR TRAIL PROJECTS

E. REPORT ON ITEMS OF COMMUNITY INTEREST

The City Council will have an opportunity to address items of community interest, including: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the City of Richardson; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the City of Richardson that was attended or is scheduled to be attended by a member of the City Council or an official or employee of the City of Richardson; and announcements involving an imminent threat to the public health and safety of people in the City of Richardson that has arisen after posting the agenda.

COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS

1. INVOCATION – MARK SOLOMON

2. PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – MARK SOLOMON

3. MINUTES OF THE APRIL 28, 2014 AND MAY 5, 2014 MEETINGS

4. VISITORS

The City Council invites citizens to address the Council on any topic not already scheduled for Public Hearing. Citizens wishing to speak should complete a "City Council Appearance Card" and present it to the City Secretary prior to the meeting. Speakers are limited to 5 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the City Council cannot take action on items not listed on the agenda. However, your concerns will be addressed by City Staff, may be placed on a future agenda, or by some other course of response.

PUBLIC HEARING ITEMS:

5. PUBLIC HEARING, ZONING FILE 14-07: A REQUEST BY WILLIAM S. DAHLSTROM, REPRESENTING JACKSON WALKER, L.L.P., FOR A CHANGE IN ZONING FROM IP-M(1) INDUSTRIAL PARK AND LR-M(1) LOCAL RETAIL TO PD PLANNED DEVELOPMENT FOR THE DEVELOPMENT OF A MIXED-USE PROJECT TO INCLUDE MULTI-FAMILY, OFFICE, HOTEL, AND RETAIL USES ON APPROXIMATELY 13.3 ACRES. THE PROPERTY IS LOCATED ON THE WEST SIDE OF GREENVILLE AVENUE, SOUTH OF CAMPBELL ROAD AND IS CURRENTLY ZONED IP-M(1) INDUSTRIAL PARK AND LR-M(1) LOCAL RETAIL.
6. PUBLIC HEARING, ZONING FILE 14-10: A REQUEST BY BRENT MILLER, REPRESENTING WYNNE JACKSON, INC., FOR A CHANGE IN ZONING FROM TO-M TECHNICAL OFFICE TO PD PLANNED DEVELOPMENT FOR THE DEVELOPMENT OF A UNIVERSITY-ORIENTED MIXED-USE DEVELOPMENT ON APPROXIMATELY 13.3 ACRES. THE PROPERTY IS LOCATED ON THE NORTH SIDE OF SYNERGY PARK BOULEVARD, BETWEEN RUTFORD AVENUE AND FLOYD ROAD AND IS CURRENTLY ZONED TO-M TECHNICAL OFFICE.

ACTION ITEMS:

7. A REQUEST BY SCOT WHITWER, REPRESENTING CB JENI HOMES, FOR APPROVAL OF A CONCEPT PLAN WITH EXCEPTIONS FOR NINETEEN (19) ADDITIONAL TOWNHOME LOTS IN BRICK ROW. THE SITE IS LOCATED ON THE WEST SIDE OF ALLEY "B" BETWEEN JACOB DRIVE AND KAREN CROSSING AND IS ZONED PD PLANNED DEVELOPMENT.

8. CONSENT AGENDA:

All items listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion with no individual consideration. If individual consideration of an item is requested, it will be removed from the Consent Agenda and discussed separately.

A. ADOPTION OF THE FOLLOWING ORDINANCES:

1. ORDINANCE NO. 4048, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING FROM I-M(1) INDUSTRIAL AND I-M(2) INDUSTRIAL TO PD PLANNED DEVELOPMENT FOR R-1500-M RESIDENTIAL DISTRICT USES FOR 13.55 ACRES LOCATED ON THE WEST SIDE OF TELECOM PARKWAY AT THE NORTHERN CITY LIMITS.
2. ORDINANCE NO. 4049, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING FROM PD PLANNED DEVELOPMENT TO PD PLANNED DEVELOPMENT FOR THE CITY LINE EAST PLANNED DEVELOPMENT DISTRICT FOR 62.5 ACRES LOCATED ON THE EAST SIDE OF PLANO ROAD BETWEEN PRESIDENT GEORGE BUSH TURNPIKE AND CITYLINE DRIVE.

- B. CONSIDER AWARD OF RFP #701-14 – WE RECOMMEND THE AWARD TO LEGACY BANK FOR THE BANK DEPOSITORY AND TO BANK OF AMERICA MERCHANT SERVICES FOR THE MERCHANT CARD SERVICES PURSUANT TO UNIT PRICES.

• **ADJOURN**



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, May 12, 2014

Agenda Item: Review and Discuss the 2013-2014 Second Quarter Financial Report

Staff Resource: Gary Beane, Budget Officer

Summary: City Staff will report on the second quarter financial activities across the five major operating funds which includes the General Fund, Water and Sewer Fund, Solid Waste Services Fund, Hotel Motel Tax Fund and Golf Fund. The Second Quarter Financial report will detail revenue and expenditure performance from October 1, 2013 through March 31, 2014.

Board/Commission Action: N/A

Action Proposed: N/A



City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, May 12, 2014

Agenda Item: Atmos Energy Rate Review Action

Staff Resource: Brian Davis, Deputy Chief Information Officer,
Technology and Franchising

Summary: Staff will provide an overview of the recommendations of the Atmos Cities Steering Committee with respect to the 2014 Rate Review Mechanism negotiations.

Board/Commission Action: N/A

Action Proposed: Consider adoption of a resolution denying Atmos' 2014 rate request in accordance with the recommendations of the Atmos Cities Steering Committee.





City of Richardson
City Council Worksession
Agenda Item Summary



Worksession Meeting Date: Monday, May 12, 2014

Agenda Item: Update on Applications for Funding for Trail Projects

Staff Resource: Michael Massey, Director of Parks and Recreation

Summary: City staff will provide an update on the 2014 Call for Projects for the Transportation Alternatives Program from the North Central Texas Council of Governments. City staff will identify projects that meet the criteria for consideration for this program.

Board/Commission Action: N/A

Action Proposed: N/A

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION AND COUNCIL MEETING
APRIL 28, 2014

WORK SESSION – 6:00 P.M.:

- **Call to Order**

Mayor Maczka called the meeting to order at 6:00 p.m. with the following Council members present:

Laura Maczka	Mayor
Bob Townsend	Mayor Pro Tem
Mark Solomon	Councilmember
Scott Dunn	Councilmember
Kendal Hartley	Councilmember
Paul Voelker	Councilmember
Steve Mitchell	Councilmember

The following staff members were also present:

Dan Johnson	City Manager
David Morgan	Deputy City Manager
Cliff Miller	Assistant City Manager Development Services
Don Magner	Assistant City Manager Community Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Michael Spicer	Director of Development Services
Mick Massey	Director of Parks and Recreation
Roger Scott	Assistant Director of Parks and Planning
Robbie Hazelbaker	Assistant Director of Recreation and Events
Daniel Allen	Recreation Center Manager
Heidi Scalice	Day Camp Coordinator

A. REVIEW AND DISCUSS ITEMS LISTED ON THE COUNCIL MEETING AGENDA

Michael Spicer, Director of Development Services, reviewed ZF 14-05 and 14-11.

B. REVIEW AND DISCUSS 2014 SUMMER CAMP PREVIEW

Daniel Allen, Recreation Center Manager, reviewed the Summer Camp activities and standards of care.

C. REVIEW AND DISCUSS THE SPRING 2014 COTTONWOOD ART FESTIVAL

Mick Massey, Director of Parks and Recreation, reviewed the 2014 Spring Cottonwood Art Festival.

D. REVIEW AND DISCUSS THE WILDFLOWER! RICHARDSON'S ARTS AND MUSIC FESTIVAL 2014

Robbie Hazelbaker, Assistant Director of Recreation and Events, reviewed the 2014 Wildflower! Arts and Music Festival.

E. REVIEW AND DISCUSS THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) BOARD NOMINATION

Dan Johnson, City Manager, reviewed this item for Council. Councilmember Mitchell suggested nominating Mayor Maczka to the NCTCOG Board. Council was in agreement.

F. REVIEW AND DISCUSS THE STATUS OF WATER RESTRICTIONS

Don Magner, Assistant City Manager, reviewed this item for Council explaining that at their April board meeting, the North Texas Municipal Water District voted to extend Modified Stage 3 Water Restrictions through the end of May. He explained that by Administrative Order, City Manager Johnson has the authority to extend the same for the City of Richardson. Mr. Magner reviewed the current Modified Stage 3 restrictions, suggested that residents turn off automatic sprinkler systems, and requested that residents use ground moisture meters before watering.

G. REPORT ON ITEMS OF COMMUNITY INTEREST

Councilmember Voelker reported on the UTD Artistic Impressions of Management event and donated a watercolor print that he purchased and donated to the City.

Councilmember Dunn recognized the Richardson High School rugby team for winning state.

Councilmember Mitchell reported on the Retail Committee Meeting and stated that there are a lot of exciting retail projects coming forward to Council soon.

Councilmember Solomon commended staff on the successful Trash Bash event.

Councilmember Hartley reported on the ribbon cutting for the trails and the \$250,000.00 donation from Oncor.

Mayor Maczka reported on the *Every Name has a Story* holocaust remembrance event at the Congregation Beth Torah in which she had the opportunity to read the names of holocaust victims.

COUNCIL MEETING – 7:30 PM, COUNCIL CHAMBERS

1. **INVOCATION – BOB TOWNSEND**
2. **PLEDGE OF ALLEGIANCE: U.S. AND TEXAS FLAGS – BOB TOWNSEND**
3. **MINUTES OF THE APRIL 14, 2014 AND APRIL 21, 2014 MEETINGS**

Council Action

Councilmember Solomon moved to approve as corrected. Councilmember Dunn seconded the motion. A vote was taken and passed, 7-0.

4. VISITORS

There were no visitors comments submitted.

PUBLIC HEARING ITEMS:

5. **PUBLIC HEARING, ZONING FILE 14-05: A REQUEST BY JIM DOUGLAS, REPRESENTING DOUGLAS PROPERTIES, INC., FOR A CHANGE IN**

ZONING FROM I-M(1) INDUSTRIAL AND I-M(2) INDUSTRIAL TO PD PLANNED DEVELOPMENT FOR THE DEVELOPMENT OF A SINGLE-FAMILY COMMUNITY TO BE LOCATED ON APPROXIMATELY 13.6 ACRES OF LAND LOCATED ON THE WEST SIDE OF TELECOM PARKWAY AT THE NORTHERN CITY LIMITS. THE PROPERTY IS CURRENTLY ZONED I-M(1) INDUSTRIAL AND I-M(2) INDUSTRIAL.

Public Hearing

Mayor Maczka opened the Public Hearing at 8:14 p.m. with the following speakers:

In favor

Don Powers

Opposed

Richard Grayson, R.J. Taylor, Eric Reed, Jack Reed, Don Denton, Vincente D'Ingianni, Emily Hoffman, Tony Strohmeyer

Additionally, the following submitted their name in opposition of the request: Rebekah Meuir, Addie Campaigne, Thomas Schick, Cory Landmark, Laura Learner, Amir Jabbin, and Teresa Peters.

With no further comments, Councilmember Mitchell moved to close the Public Hearing at 8:49 p.m., seconded by Councilmember Hartley, and approved unanimously.

Council Action

Councilmember Townsend moved to approve the request as presented with the City Plan Commission conditions. Councilmember Dunn seconded the motion. There was some discussion about adding a condition to provide a buffer between the proposed development and the existing houses, but it was determined to leave the motion as stated. A vote was taken and passed, 6-1 with Councilmember Mitchell voting in opposition.

- PUBLIC HEARING, ZONING FILE 14-11: A REQUEST BY SCOTT OZYM, REPRESENTING KDC REAL ESTATE DEVELOPMENT AND INVESTMENTS, TO CONVERT THE CONVENTIONAL ZONING STANDARDS UNDER A PD PLANNED DEVELOPMENT DISTRICT TO FORM-BASED STANDARDS UNDER A PD PLANNED DEVELOPMENT DISTRICT TO ACCOMMODATE A MIXED-USE DEVELOPMENT ON APPROXIMATELY 63 ACRES. THE PROPERTY IS LOCATED ON THE SOUTH SIDE OF PRESIDENT GEORGE BUSH TURNPIKE, EAST OF PLANO ROAD AND IS CURRENTLY ZONED PD PLANNED DEVELOPMENT.**

Public Hearing

Mayor Maczka opened the Public Hearing at 10:09 p.m. With no comments submitted, Mayor Pro Tem Townsend moved to close the Public Hearing at 10:09 p.m., seconded by Councilmember Solomon, and approved unanimously.

Council Action

Councilmember Dunn moved to approve the request as presented. Councilmember Hartley seconded the motion. A vote was taken and passed, 7-0.

7. PUBLIC HEARING AND CONSIDER ORDINANCE NO. 4044, ADOPTING STANDARDS OF CARE FOR YOUTH PROGRAMS OFFERED BY THE RICHARDSON PARKS AND RECREATION DEPARTMENT.

Public Hearing

Mayor Maczka opened the Public Hearing at 10:11 p.m. With no comments submitted, Councilmember Hartley moved to close the Public Hearing at 10:11 p.m., seconded by Councilmember Voelker, and approved unanimously.

Council Action

Councilmember Dunn moved to approve the ordinance as presented, seconded by Councilmember Hartley, and approved unanimously.

8. CONSENT AGENDA:

A. ADOPTION OF THE FOLLOWING ORDINANCES:

- 1. ORDINANCE NO. 4045, RE-APPOINTING A PRESIDING MUNICIPAL JUDGE AND ASSISTANT MUNICIPAL JUDGES OF THE MUNICIPAL COURT OF RECORD NO. 1 OF THE CITY OF RICHARDSON.**
- 2. ORDINANCE NO. 4046, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP BY AMENDING AND RESTATING ORDINANCE NO. 3156-A BY APPROVING A REVISED CONCEPT PLAN AND APPROVING BUILDING ELEVATIONS FOR A DRIVE-THRU RESTAURANT ON A 0.89-ACRE TRACT ZONED C-M COMMERCIAL, LOCATED AT 105 S. COIT ROAD, RICHARDSON, TEXAS.**
- 3. ORDINANCE NO. 4047, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP TO GRANT A CHANGE IN ZONING TO GRANT A SPECIAL PERMIT FOR A MOTOR VEHICLE STORAGE LOT WITH SPECIAL CONDITIONS ON A 1.69-ACRE TRACT ZONED I-FP(2) INDUSTRIAL, LOCATED AT 1320 INTERNATIONAL PARKWAY, RICHARDSON, TEXAS.**

B. AUTHORIZE THE ADVERTISEMENT OF BID NO. 35-14 – 2010 STREETS & ALLEYS PHASE II (RIDGEDALE & NORTHILL STREETS) (RIDGEDALE & WESTWOOD ALLEYS). BIDS TO BE RECEIVED BY THURSDAY, MAY 15, 2014 AT 2:00 P.M.

C. CONSIDER AWARD OF THE FOLLOWING BIDS:

- 1. BID #45-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE ANNUAL REQUIREMENTS CONTRACT WITH METRO FLEET COLLISION REPAIR FOR AUTOMOTIVE PAINT AND BODY REPAIR PURSUANT TO UNIT PRICES AND PERCENTAGE OF DISCOUNT FROM LIST PRICES.**

2. **BID #50-14 – WE REQUEST AUTHORIZATION TO ISSUE A COOPERATIVE CONTRACT TO INSITUFORM TECHNOLOGIES, INC., FOR TRENCHLESS WATERLINE REHABILITATION PROJECT AT 100 S. CENTRAL PURSUANT TO UNIT PRICES BID THROUGH THE LOCAL GOVERNMENT PURCHASING COOPERATIVE (BUYBOARD) CONTRACT #354-10.**

3. **BID #51-14 – WE RECOMMEND THE AWARD TO AT&T (\$155,000) THROUGH THE STATE OF TEXAS DEPARTMENT OF INFORMATION SERVICES CONTRACT #DIR-SDD-1777 AND TO VERIZON WIRELESS (\$65,000) CONTRACT #DIR-SDD-1779 FOR THE 2013-14 CELLULAR COMMUNICATION SERVICES FOR AN ESTIMATED TOTAL AMOUNT OF \$220,000.**

D. AUTHORIZE THE CITY MANAGER TO EXECUTE CHANGE ORDER NO. 2 TO INCREASE PURCHASE ORDER NO. 130994 TO ED BELL CONSTRUCTION CO. FOR CENTRAL TRAIL IN THE AMOUNT OF \$270,093.49.

Council Action

Councilmember Hartley moved to approve the Consent Agenda as presented. Councilmember Voelker seconded the motion. A vote was taken and passed, 7-0.

ADJOURNMENT

With no further business, the meeting was adjourned at 10:41 p.m.

MAYOR

ATTEST:

CITY SECRETARY

MINUTES
RICHARDSON CITY COUNCIL
WORK SESSION MEETING
MAY 5, 2014

WORK SESSION – 6:00 P.M.:

- **Call to Order**

Mayor Maczka called the meeting to order at 6:00 p.m. with the following Council members present:

Laura Maczka	Mayor
Bob Townsend	Mayor Pro Tem
Mark Solomon	Councilmember
Scott Dunn	Councilmember
Kendal Hartley	Councilmember
Paul Voelker	Councilmember
Steve Mitchell	Councilmember

The following Art Commission Members were also present:

Catherine Burdette
Curtis Dorian
Beth Kolman
David McNair
Richard Luttrell
Betty Peck

Barbara McNutt was absent.

The following staff members were also present:

Dan Johnson	City Manager
David Morgan	Deputy City Manager
Cliff Miller	Assistant City Manager Development Services
Don Magnier	Assistant City Manager Community Services
Shanna Sims-Bradish	Assistant City Manager Admin/Leisure Services
Aimee Nemer	City Secretary
Taylor Paton	Management Analyst
Kent Pfeil	Director of Finance
Keith Dagen	Assistant Director of Finance
Bruce MacPherson	Managing Director

A. VISITORS

Ms. Joanne Groshardt addressed Council and introduced a visitor to share his experience with payday loan establishments. Mr. Billy Parnell of Garland, addressed Council and shared his experience with payday loans.

B. REVIEW AND DISCUSS THE RICHARDSON ARTS COMMISSION'S 2014 STATE OF THE ARTS ASSESSMENT

Richard Luttrell, Arts Commission Chair, reviewed the following for Council.

- Review of Local Arts Groups and Grants
- Summary of Arts Funding and Economic Impact
- Cultural Arts Master Plan
 - Short Term Actions
 - Mid-Term and Long-Term Plans

C. REVIEW AND DISCUSS THE STATUS OF THE PROPOSED THE 2014-2015 EISEMANN CENTER PRESENTS SEASON

Bruce MacPherson, Managing director, reviewed the following for Council.

- ECP 2013-14 Season Highlights
- ECP 2014-15 Subscription Series
 - Keyboard Conversations with Jeffrey Siegel
 - Theatre Comedy Series
 - Family Theatre Series
- MainStage Shows
- Celebrate Texas – Save the Date!
- Summary of ECP 2014-15 Season
- ECP 2014-15 Season Budget

D. REVIEW AND DISCUSS THE BANK DEPOSITORY AND MERCHANT SERVICES AGREEMENTS

Keith Dagen, Assistant Finance Director, reviewed this item for Council.

- The selection committee recommends that the City award the bank depository contract to Legacy Bank, based on their proposal for banking services.
- The selection committee recommends that we award the Merchant Services contract to Bank of America Merchant Services. Bank of America is the best value provider and is already providing quality service to the City.

E. REVIEW AND DISCUSS A NOMINATION TO THE TEXAS ENTERPRISE ZONE PROGRAM

David Morgan, Deputy City Manager, reviewed this item for Council.

- The Texas Enterprise Zone Program is an economic development tool for local communities to partner with the State of Texas to encourage job creation and capital investment.
- BCBS has requested the City provide a nomination to the Texas Enterprise Zone program in time for the June 2nd submission deadline.
- Over the next five years BCBS intends to invest over \$14 million in the Richardson facility. Capital improvements will include updating and adding to the furnishings of the facility, and increase investment in computer hardware. Additionally, BCBS will implement new software aimed at meeting the requirements of the Affordable Care Act that included implementation of required health care management analytics.

F. REPORT ON ITEMS OF COMMUNITY INTEREST

Mayor Maczka reported on her father's health issue and thanked everyone for their support. She also reported on the State Farm event with newly recruited employees.

Mr. Johnson reported on the Cityline project winning Best Mixed Use by the Dallas Business Journal.

Councilmember Solomon reported on the RISD event recognizing trustees, Kim Kirk and Karen Ellis.

Councilmember Mitchell offered Birthday wishes for his wife and Happy Cinco de Mayo.

Councilmember Voelker offered congratulations to the City of Plano for the relocation of Toyota and the new Suburbia Music Festival.

EXECUTIVE SESSION

In compliance with Section 551.072 of the Texas Government Code, Council will convene into a closed session to discuss the following:

- Deliberation Regarding Real Property
 - Property Considerations in the Lorrie Dr./Richardson Dr. and Apollo Rd./Plano Rd. Areas

Council Action

Council convened into Executive Session at 8:20 p.m.

RECONVENE INTO REGULAR SESSION

Council will reconvene into open session, and take action, if any, on matters discussed in Executive Session.

Council Action

Council reconvened into Regular Session at 9:00 p.m. Councilmember Mitchell moved to authorize the City Manager to purchase real estate located at 703 Lorrie and execute any instruments and amendments related thereto. Mayor Pro Tem Townsend seconded the motion. A vote was taken and passed, 7-0.

ADJOURNMENT

With no further business, the meeting was adjourned at 9:00 p.m.

MAYOR

ATTEST:

CITY SECRETARY



MEMO

DATE: May 8, 2014
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 14-07 – Eastside Phase Two

REQUEST

Bill Dahlstrom, Jackson Walker, L.L.P, representing Tod Fobare, AGF Greenville II, Ltd. and AGF Bowen Branch is requesting to rezone approximately 13.3 acres of land located south of Campbell Road, on the west side of Greenville Avenue from IP-M(1) Industrial Park and LR-M(1) Local Retail to PD Planned Development for a mixed-use project to include multi-family and office.

The site is designated as “Neighborhood Mixed-Use” on the City’s Comprehensive Plan, which would allow various types of residential (single-family and multi-family), retail, personal service, and office.

BACKGROUND

The subject site includes a southern 1.28-acre lot which is undeveloped and a northern 12-acre lot which supports eleven (11) 1-story buildings office buildings totaling approximately 145,500 square feet.

In 2005, City Council adopted a Planned Development District for Eastside, rezoning 15 acres of land at the southeast corner of Campbell Road and US 75 to for a master-planned mixed-use complex. A conceptual master plan of the area that included the subject site was presented to show continued interconnectivity between Eastside and the subject property, including future office and mixed-use development on the subject site. As proposed, the subject request continues in that fashion through aligned drives, a meandering sidewalk along Greenville Avenue and trail connections to the City’s trail system along the DART rail line.

The concept plan depicts a 15-story, 300,000-square foot office building and two (2), 4-story apartment buildings with structured parking for a total of 508 multi-family units (density 55 units/acre). Open Space includes a 0.25-acre central green area, 0.5 acres of pool court areas and 0.6 acres of landscaped courtyards. Pedestrian connections to the existing trail along the west property line will be provided to facilitate access to the DART system. With the exception of the parking garage drive, dual egress turn lanes are provided at each drive. Deceleration lanes will serve the centrally located drive and drive into the parking garage. The drive into the parking garage is a right-ingress and a right-egress only due to the inability to construct an appropriate deceleration lane for the existing median opening directly in front of the drive.

No correspondence in favor or opposition has been received.

PLAN COMMISSION RECOMMENDATION

On April 15, 2014, the City Plan Commission recommended approval of the applicant’s request as presented on a vote of 7-0.

ATTACHMENTS

CC Public Hearing Notice	Zoning Exhibit (Exhibit “B”)
City Plan Commission Minutes 04-15-2014	Proposed PD Standards (Exhibit “B-1”)
Staff Report	Proposed Architectural Images (Exhibit “C”)
Zoning Map	Site Photos
Aerial Map	Applicant’s Statement
Oblique Aerial Looking South	Notice of Public Hearing
Eastside Master Plan	Notification List
Eastside Phase One Site Plan	



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: April 23, 2014
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: April 25, 2014

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:30 p.m. on Monday, May 12, 2014, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 14-07

A request by William S. Dahlstrom, representing Jackson Walker, L.L.P., for a change in zoning from IP-M(1) Industrial Park and LR-M(1) Local Retail to PD Planned Development for the development of a mixed-use project to include multi-family, office, hotel, and retail uses on approximately 13.3 acres. The property is located on the west side of Greenville Avenue, south of Campbell Road and is currently zoned IP-M(1) Industrial Park and LR-M(1) Local Retail.

ZF 14-10

A request by Brent Miller, representing Wynne Jackson, Inc., for a change in zoning from TO-M Technical Office to PD Planned Development for the development of a university-oriented mixed-use development on approximately 13.3 acres. The property is located on the north side of Synergy Park Boulevard, between Rutherford Avenue and Floyd Road and is currently zoned TO-M Technical Office.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –APRIL 15, 2014**

PUBLIC HEARING

ZF 14-07 – Eastside Phase 2: Consider and take necessary action on a request for a change in zoning from IP-M(1) Industrial Park and LR-M(1) Local Retail to PD Planned Development for the development of a mixed-use project to include multi-family, office, hotel and retail uses on approximately 13.3 acres. The property is located at the west side of Greenville Avenue, south of Campbell Road.

Mr. Chavez stated the applicant was requesting to rezone the property from Industrial and Local Retail to a planned development for the development of a mixed-use project. He added the site was located on the west side of Greenville Avenue, south of Campbell Road, and developed with one-story garden style office buildings.

Mr. Chavez pointed out that in 2005 when the original plans for Eastside were presented, a conceptual master plan was submitted that included the subject site and showed the interconnectivity between Eastside (Phase 1) and the subject area (Phase 2). The conceptual master plan also indicated additional office and mixed-use development with connectivity through aligned drives, a meandering sidewalk along Greenville Avenue, and trail connections to the Central Trail System.

Regarding the proposed Planned Development (PD), Mr. Chavez indicated it would include regulations for setbacks, building heights, allowable uses, design and construction standards, landscaping, parking regulations, and special standards for the multi-family component. He added that the multi-family units would range in size from 525 square feet to 850 square feet and each of the two apartment communities would have to earn/reach the amenity point goal of 70 points.

Mr. Chavez noted that the proposed PD requested the allowance of a flag lot at the southern-most portion of the property, a waiver from the required perimeter fence in the multi-family development, as well as a minor modification provision.

Mr. Chavez stated the third and final element of the PD was a set of architectural images (similar to Phase 1); however, based on the PD, the Commission and City Council would review the development plans.

Commissioner Springs noted a “laundry pick-up station” indicated on the plan and asked for clarification.

Mr. Chavez replied the PD did not allow dry cleaners, but a laundry pick up station for an off-site cleaner would be allowed.

With no further questions for staff, Chairman Hand opened the public hearing.

Mr. Bill Dahlstrom, Jackson Walker, L.L.P., 901 Main Street, Dallas, Texas, representing / Tod Fobare, AGF Greenville II, Ltd. and AGF Bowen Branch II, Ltd., stated the proposed PD was basically an extension of Phase 1 and the same planned development standards were used. He added that a Traffic Impact Analysis (TIA) was provided and no major problems were identified.

Mr. Jim Dolby, Hunt Development Group, 201 3rd Street, Albuquerque, New Mexico, said that Phase 2 was basically an extension of Phase 1 and presented graphics highlighting the connectivity between the two as well as the Central Trail System. He added that Greenville Avenue was an area they wanted to embrace and that was the motivation for the requested native plantings, wild flowers and street trees and exits from the ground floor residential units on the south side.

Mr. Dolby concluded his presentation by highlighting the proposed park on the vacated portion of Alma Drive that would be open/green space for residents.

Commissioner Roland asked if all the buildings would be torn down at one time or in phases.

Mr. Dolby replied the project would be constructed in phases with the buildings on the south side demolished first.

Commissioner Linn said he was impressed with the proposed development and the fact they were taking the success of Phase 1 and shifting that into Phase 2. He also appreciated the planned park and wanted to know what would happen to the trees currently on the site.

Mr. Dolby replied that it will be difficult to retain the current trees because they have buckled the sidewalks, but the proposed landscape plans did include many street trees along Greenville Avenue and between the two phases and the Central Trail connection.

Commissioner Ferrell asked where the ground floor retail would be located.

Mr. Dolby replied the ground floor retail would only be in the office building and not in the residential buildings.

Commissioner DePuy asked for clarification on the maximum number of units as listed on page 6, Section 9 of the PD.

Mr. Chavez replied that 558 was the maximum number of multi-family units allowed and the 300 number defined the size of an apartment community for the purposes of assigning required amenity points.

Commissioner Ferrell asked why only 50% masonry was being required as opposed to other developments in the City where a higher percentage was required.

Mr. Chavez replied the PD mimics what was in Phase 1 and, based on the success of the Phase 1, the same development standards were carried through to Phase 2.

Commissioner DePuy asked how many multi-family units were in Phase 1.

Mr. Chavez replied there were 435 multi-family units in Phase 1.

Chairman Hand asked who currently owns Eastside Phase 1. He also wanted to know if the office buildings were part of a planned development.

Mr. Todd Fobare, owner of Fobare Commercial Real Estate, 5825 Park Lane, Dallas, Texas, stated he was the original developer of Phase 1 and maintains ownership of the office building and all the retail with Post Properties owning the multi-family.

Regarding the office buildings, Mr. Chavez replied they were already there and the planned development for Phase 1 wrapped around those buildings.

Chairman Hand complimented Mr. Fobare for continuing development in the area with the proposed Phase 2, but suggested more critical mass might be needed in the PD, which would benefit much of the retail in the area.

Commissioner Frederick concurred with Mr. Hand and said she was impressed with taking the existing building and developing the property around it.

Commissioner Linn suggested some interplay between the Central Trail System and future retail could be beneficial for the development, similar to the Katy Trail in Dallas.

With no further questions or comments, Chairman Hand closed the public hearing.

Motion: Commissioner Roland moved to recommend approval of Zoning File 14-07 as presented; second by Commissioner Frederick. Motion approved 7-0.



Staff Report

TO: City Council
THROUGH: Michael Spicer, Director of Development Services *MS*
FROM: Sam Chavez, Assistant Director of Development Services *SC*
DATE: May 8, 2014
RE: **Zoning File 14-07:** Eastside Phase Two

REQUEST:

Rezone approximately 13.3 acres of land from IP-M(1) Industrial Park and LR-M(1) Local Retail to PD Planned Development for the development of a mixed-use project to include multi-family and office.

APPLICANT / PROPERTY OWNER:

William S. Dahlstrom, Jackson Walker, L.L.P. / Tod Fobare, AGF Greenville II, Ltd. and AGF Bowen Branch II, Ltd.

TRACT SIZE AND LOCATION:

Approximately 13.3 acres, on the west side of Greenville Avenue, south of Campbell Road.

EXISTING DEVELOPMENT:

The subject property consists to two (2) lots. The southern 1.28-acre lot is undeveloped. The northern 12-acre lot is developed with eleven (11) 1-story buildings office buildings totaling approximately 145,500 square feet.

ADJACENT ROADWAYS:

US-75: Freeway/Turnpike; 238,000 vehicles per day on all lanes, northbound and southbound, south of Campbell Road (2013).

Greenville Avenue: Six-lane, divided arterial; 10,100 vehicles per day on all lanes, northbound and southbound, between Alma Road and Campbell Road (February 2013).

Campbell Road: Six-lane, divided arterial; 39,100 vehicles per day on all lanes, eastbound and westbound, between US-75 and Greenville Avenue (February 2013).

SURROUNDING LAND USE AND ZONING:

North: Office & Mixed-use; PD Planned Development
South: Vacant & Industrial; IP-M(1) Industrial Park, LR-M(2) Local Retail and PD Planned Development
East: Industrial; IP-M(1) Industrial Park
West: DART Light Rail and US-75

FUTURE LAND USE PLAN:

Neighborhood Mixed-Use

Mixed or multiple land uses occurring within a single development and/or single building. These areas are typically built around small, pedestrian-friendly blocks and common open space. Uses include various types of residential (single-family and multi-family), retail, personal service, and neighborhood-scale offices.

Future Land Uses of Surrounding Area:

North: Neighborhood Mixed-Use
South: Office/Industry
East: Office/Industry
West: DART Light Rail & US-75

EXISTING ZONING:

IP-M(1) Industrial Park per Ordinance Number 2207-A. There are also two (2) approved Special Permits on the property (Ordinance Numbers 2504-A & 2697-A) which allow group assembly, educational and counseling activities and auto rental agencies respectively.

TRAFFIC IMPACTS:

A Traffic Impact Analysis (TIA) was submitted by DeShazo Group, the applicant's traffic engineering consultant. Existing AM and PM Peak Hour traffic volumes were collected in March of 2014 at the signalized intersection of Campbell Road and Greenville Avenue, and for all surrounding arterial roadways and frontage roads to evaluate the combined impact of the development on the roadway system.

The following scenarios were analyzed per the City TIA guidelines:

- Existing Traffic Volumes (2014)
- Existing Traffic Volumes plus Site Traffic (2014)
- Future Traffic Volume plus growth rate(2025)
- Future Traffic Volume plus Site Build-Out Traffic (2025)

To assess traffic impacts associated with the proposed development, basic land use assumptions were established by the applicant. The table below depicts land use intensity assumptions utilized in the TIA and new automobile trip generations associated with the proposed.

Trip Generation Table

LAND USE	AMOUNT	UNITS	ITE CODE	DAILY TOTAL	AM Peak Hour			PM Peak Hour		
					IN	OUT	TOTAL	IN	OUT	TOTAL

Existing

Office	145,000	SF	710	1,776	222	30	252	41	200	241
--------	---------	----	-----	-------	-----	----	-----	----	-----	-----

Proposed

Office	300,000	SF	710	3,026	406	55	461	70	344	414
Apartments	508	DU	220	3,202	51	202	253	193	104	297
Net Trip Generation				6,228	457	257	714	263	448	711

As a result of the proposed increase in land use intensity, the number of daily automobile trips is increased nearly 350%.

The TIA also studied the intersection of Greenville Avenue and Alma Road for the possibility of installing a traffic control signal. The traffic warrant study shows that, even in 2025 with site traffic added, the intersection does not satisfy peak hour traffic volume warrants, therefore, the installation of a traffic control signal is not recommended at this time.

Based on the findings of the TIA, the following traffic mitigation elements were recommended:

Greenville Avenue:

1. Provide deceleration and right turn lanes for the centrally located driveway and for the driveway into parking garage along Greenville Avenue.

On-Site Driveways:

2. Provide two (2) exit (outbound) lanes for all driveways.

After a thorough review of the TIA and its recommendations, staff was able to conclude the proposed mixed-use development can be successfully incorporated into the existing roadway network with the improvements described above. There are no improvements required beyond those proposed to maintain acceptable traffic conditions for the year 2014. By the year 2025, with no capacity improvements, the Campbell Road/Greenville Avenue intersection will be at unacceptable conditions as a result of future traffic growth that is generated outside the subject site. The site-generated traffic does not have a significant impact on the 2025 conditions.

STAFF COMMENTS:

Background:

In December of 2005, City Council adopted the PD Planned Development for Eastside (Ordinance Number 3535) rezoning approximately fifteen (15) acres of land located at the southeast corner of Campbell Road and US 75 to allow for a master-planned mixed-use complex. The mixed-use development would consist of approximately 90,000 square feet of retail and restaurant uses, 225,000 square feet of office uses (approximately 191,104 square feet was existing), and 450 multi-family units. The uses would be linked together by pedestrian access, vehicular ways, and at-grade and below-grade parking. A large central green area was designed to serve the recreational needs of the residents, workers and visitors to Eastside.

At that time, a conceptual master plan (see attached) of the area that included the subject site was presented to show continued interconnectivity between Eastside and the subject property. The conceptual master plan also indicated additional office and mixed-use development in the future on the subject site. As proposed, the subject request continues in that fashion including connectivity through aligned drives, a meandering sidewalk along Greenville Avenue, trail connections to the City's trail system along the DART rail line and internal sidewalks.

Applicant's Request

The applicant's request is to rezone the subject site to a Planned Development District to encourage a pedestrian-oriented community center providing living, shopping, dining and employment environments. The architectural styling will build upon Eastside Phase One, incorporating a variety of materials including, but not limited to complementary colors of brick, cast stone, natural stone, stucco and glass facades to provide interest and variety. The multi-family and commercial buildings will accommodate the pedestrian nature of Eastside Phase Two through connecting streets, generous sidewalks, and landscape areas at the building face. The open space in the center and on the south side of the development will serve as a gathering place for residents, employees and visitors to the property.

The proposed Planned Development includes a Concept Plan (Exhibit "B"), Development Regulations (Exhibit "B-1") and Architectural Images (Exhibit "C").

Concept Plan - Exhibit "B"

The concept plan depicts a 15-story, 300,000-square foot office building and two (2), 4-story apartment communities with 4-1/2 level structured parking garages for a combined total of 508 multi-family units (proposed density 55 units/acre). The uses will be linked together by pedestrian access, vehicular ways, and at-grade and above-grade parking. The applicant is requesting an approximate 17% reduction in the normal required parking, which is similar to that approved for Eastside in 2005. The proposed uses have mutually exclusive hours of peak parking demand. Office requires parking during the weekday hours, and multi-family parking demand is during the evening hours and weekends.

Open Space includes a 0.25-acre central green area which is designed to serve the recreational needs of the residents, workers and visitors, exclusive of 0.5 acres of pool court areas and 0.6 acres of landscaped courtyards which are designed to serve residents. Pedestrian connections to the existing trail along the west property line will be provided to facilitate access to the DART system.

The proposed development has four (4) drives on Greenville Avenue to serve the site. With the exception of the drive into the parking garage, dual egress turn lanes are provided at each drive and deceleration lanes will serve the centrally located drive and drive into the parking garage. The northern, centrally located and southern most drives align with existing median openings on Greenville Avenue. The drive into the parking garage is restricted to a right-turn ingress and a right-turn egress due to the inability to construct an appropriate deceleration lane for the existing median opening directly in front of the drive into the parking garage. The subject median opening will be modified with a traffic diverter to prohibit ingress into the parking garage for northbound vehicular traffic on Greenville Avenue.

Development Regulations (Exhibit “B-1”)

The proposed development regulations reflect a continuation of the PD regulations for Eastside Phase One and are generally outlined below (see Exhibit “B-1” for a detailed list of the development regulations):

Sec. 4. Permitted Uses

- Retail and Office Uses
- Residential Uses - Apartments

Sec. 5. Building Regulations

- Building Materials (Nonresidential Buildings) – Minimum 85% masonry, with remainder of the exterior of other noncombustible material.
- Building Materials (Multifamily Uses) - Maximum 50% non-masonry material such as:
 - Stucco utilizing a three-step process
 - Exterior insulating finishing systems (E.I.F.S.). Facades facing public streets, E.I.F.S. above 8 feet only, except for accent or architectural features
 - Cementitious siding
 - Metal - a high-performance façade solution that consists of a rain screen and decorative façade (specifically defined in Sec. 9 (a) (2) b) of Exhibit “D”, or
 - Other materials approved by the building official
- All exterior chimneys that originate at grade level shall be constructed of masonry materials.
- Exterior walls that face interior courtyards or surrounded by Parking Structures, which are not seen by the public may be constructed of masonry or non-masonry materials.

Sec. 6. Height Regulations -Maximums

- Office and hotel uses: 250 feet.
- Retail/ Restaurant uses: 35 feet
- Residential and mixed uses with residential uses: 80 feet.
 - Additional 12 foot allowance for chimneys, cooling towers, elevator penthouses, mechanical equipment rooms, ornamental cupolas, standpipes, elevator bulkheads, domes, spires, turrets, towers, and lighting features.

Sec. 7. Area Regulations - *For purposes of determining area regulations, the entire site shall be considered one lot.*

- Perimeter Setbacks
 - Front (Greenville Avenue) - 25 feet. Stoops and patios may encroach up to five (5) feet into the front yard setback.
 - Side (north property line) - 15 feet.

- Rear (west property line) - 25 feet.
- Interior Setbacks – None, except as required by the Building Code.
- Balconies above first floors – maximum 3 feet into building setback.
- **Maximum Building Area**
 - Retail and restaurant: 6,000 sq. ft.
 - Office: 300,000 sq. ft.
 - Multi-Family: 600,000 sq. ft.
- **Maximum Lot Coverage** 80% (inclusive of parking structures)
- **Landscaping**
 - Within the Greenville Avenue front yard, minimum of one (1) canopy tree and one (1) ornamental tree for every fifty (50) lineal feet of street frontage, and evergreen shrubs adjacent to any parking.
 - 20% of the gross land area of the Property. Landscaping shall include enhanced paving areas, landscape islands, and open space areas including the central open space as shown on the Concept Plan.

Sec. 8. Parking Ratios - *For purposes of applying the parking regulations the entire site shall be considered one lot.*

- Retail/Restaurant: 1/250 sq. ft.
- Office: 1/300 sq. ft.
- Multifamily: 1.40 spaces/unit
 - Surface parking spaces for apartment uses exempt from covered carport.

Sec. 9. Special Regulations for Multifamily Uses

- **Building Regulations**
 - Minimum floor area of dwelling unit - 525 square feet
 - Minimum average multifamily unit floor area per building - 850 square feet.
- **Area Regulations** - For purposes of determining area regulations for multifamily uses, regardless of how site is subdivided they shall be considered one lot. An “Apartment community” shall be defined as a multifamily development with a maximum of 300 dwelling units.
 - Maximum Number of Units - 558 units.
 - Overhang and fireplaces - fireplaces, eaves, bays, balconies and fireproof outside stairways above the first floor may extend a maximum of 3 feet into the required front, side or rear yards.
 - Recreational Areas - one indoor or outdoor recreation area (minimum 900 square feet) required in each apartment community. Central and south open space shown on the Concept Plan to qualify as outdoor recreational area.
 - Additional miscellaneous recreational amenities required based on a point system (minimum 70 points for each apartment community).

Sec. 10. General Miscellaneous Regulations

- Enhanced Street Paving - As shown on Exhibit “B”.
- Masonry Defined - Includes brick, stone, stucco utilizing a three-step process, vertically and/or horizontally articulated architectural pre-cast concrete panels, cast stone, rock, marble, granite, curtain glass, or glass block.
- Design of Parking Garage Facades along US-75/DART and the north property line - Precast concrete spandrels or some other architectural treatment approved by the CPC at the time of site plan approval designed with both vertical (façade rhythm of 20 to 30 feet or multiples thereof) and horizontal (aligning adjacent with horizontal elements) articulation.
- Modifications to Chapter 21, Subdivision and Development Requirements
 - Apartment communities shall not be required to be enclosed by a perimeter fence.
 - No setbacks or screening shall be required for residential uses adjacent to non-residential uses.
 - Loading docks, refuse storage containers, and utility accessories shall be screened to reduce their visual impact by screening these sites from adjoining properties and public rights-of-way and shall be located in the rear or side of the buildings where possible.
 - Flag Lot Configuration. With the subdivision of the property for development purposes, one lot with a flagpole configuration shall be permitted on the west side of the property.
- Minor Modifications - The City Manager or designee would have authority to approve minor modifications to concept plans and development plans. A minor modification shall be defined as (i) a change to a footprint of a building in which the proposed footprint remains within the building envelope shown on the Concept Plan, and (ii) except as otherwise provided in (i), a change which does not increase the building coverage, floor area ratio or residential density of the planned development by more than 10% of the concept plan, does not decrease any of the specified area regulations or enumerated parking ratios, nor substantially changes the access or circulation on or adjacent to the site.
- Signage - Signage to comply with Chapter 18 (Sign Code), except that in lieu of compliance with Chapter 18, a “Sign Package” may be submitted to establish unique sign standards including size, color, type, design and location for review and approval by the City Plan Commission. In evaluating a Sign Package, CPC shall consider the extent to which the application (1) Promotes consistency among signs thus creating visual harmony between signs, buildings, and other components of the property; (2) Enhances the compatibility of signs with the architectural and site design features, (3) Encourages signage that is in character with planned uses thus creating a unique sense of place, and (4) Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

The table below provides a comparison of some of the fundamental components of the proposed zoning with those of four other developments approved in Richardson.

Regulation	Proposed Development (ZF 14-07)	Palisades	GreenVue	Brick Row	The Venue	Eastside
Min. Floor Area per Unit	525 s.f. 850 s.f. average per building	525 s.f.	600 s.f.	1-bedroom - 750 s.f. 2-bedroom -900 s.f. Overall average 800 s.f.	1-bedroom - 700 s.f. 2-bedroom -900 s.f. Overall average 750 s.f.	625 s.f., except up to 8 units may be 500 s.f. Overall average 850 s.f.
Max Number of Units	558	600	408	577	285	436
Building Materials	Min. 50% masonry (Masonry includes brick, stone, 3-step stucco, architectural pre-cast concrete panels, cast stone, rock, marble, granite, curtain glass, or glass block) (Exterior walls facing interior courtyards or parking structures) masonry or non-masonry.	Min. 85% masonry (includes 3-step stucco) Min. 25% masonry (exterior walls facing courtyard areas)	Min. 70% masonry (per approved elevations)	100% masonry on ground floor / Overall min. 85% masonry for entire building Reduced requirements for exterior walls of courtyard areas above 1 st floor	100% masonry on ground floor / Min. 50% above ground floor Reduced requirements for exterior walls of courtyard areas above 1 st floor	Min. 50% masonry
Parking Ratio	1.4 spaces/unit 830 structured parking, 31 tuck under and 34 surface parking spaces provided. Total - 895	1.0 spaces/bedroom	1.5 spaces per unit	1-BR – 1.5 spaces/unit 2-BR – 1.75 spaces/unit 3-BR – 2 spaces/unit	1.5 spaces/unit	1.5 spaces/unit
Max. Height	Max. 80 feet	60 feet	60 feet	6-story (max. 100') / Developed at 4 stories (66'9" to top of architectural features)	Max. 151' / Developed at 87'10" to top of architectural features	Max. 80 feet
Max. Density	55 units/acre	37 units/acre	37 units/acre	Max. 577 units allowed (no density requirement) Developed at approx. 52 units/acre on lots developed as multi-family)	90 units/acre / developed at approx. 64 units/acre	Max 450 units allowed (Allows max. 30.4 units/acre). Developed at 29.5 units/acre

Architectural Image Studies (Exhibit "C")

The applicant has provided a series of architectural images for illustrative purposes only to indicate the general character of the buildings.

A similar technique was utilized for the adjoining Phase I of Eastside in that building elevations were reviewed for general conformance with the Architectural images at the time development plans were submitted for review by the Commission.

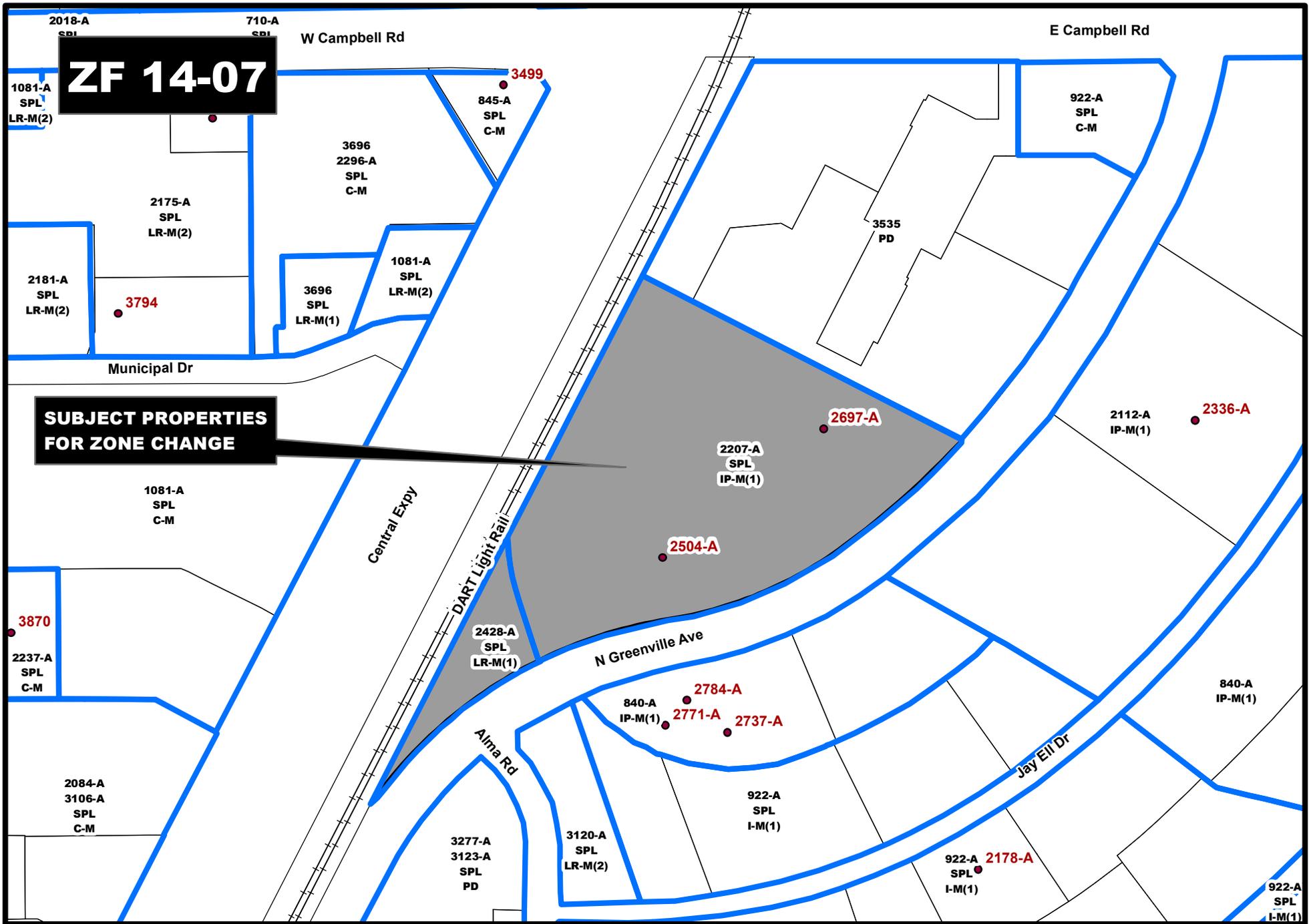
Conclusion

Based on staff's review of the applicant's request, the proposed Planned Development District represents a continuation of the Eastside Phase One development through its similar development standards, and its continued vehicular and pedestrian connectivity.

Correspondence: As of this date, no correspondence has been received.

Motion: On April 15, 2014, the City Plan Commission recommended approval of the request on a vote of 7-0 subject to the following conditions as presented:

1. The subject site shall be zoned PD Planned Development District and shall be developed in accordance with the Concept Plan attached hereto as Exhibit "B", attached PD Development Regulations attached hereto as Exhibit "B-1" and Architectural Images attached hereto as Exhibit "C".

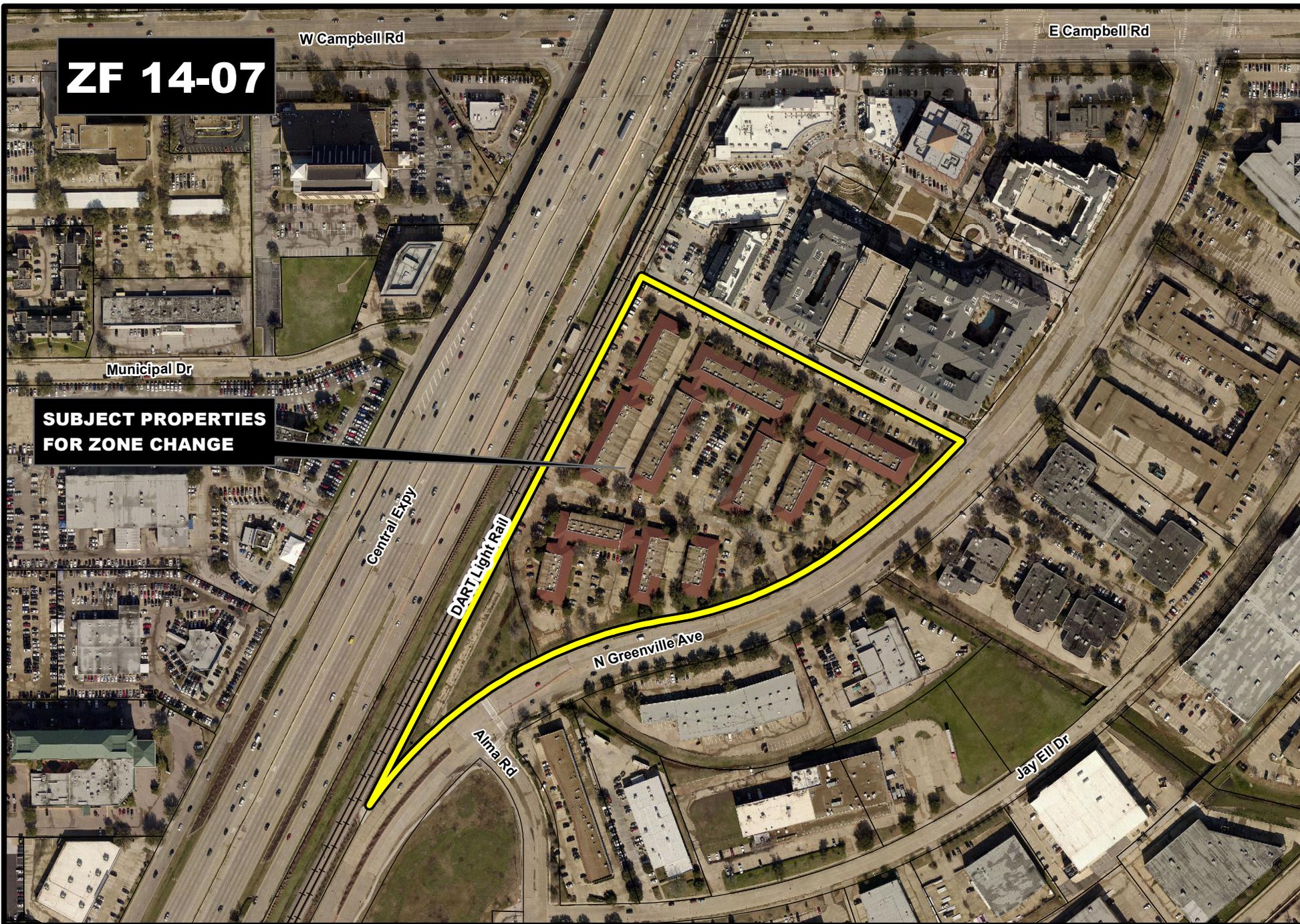


ZF 14-07 Zoning Map

Updated By: shacklett, Update Date: April 1, 2014
 File: DSI\Mapping\Cases\Z\2014\ZF1407\ZF1407 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 14-07

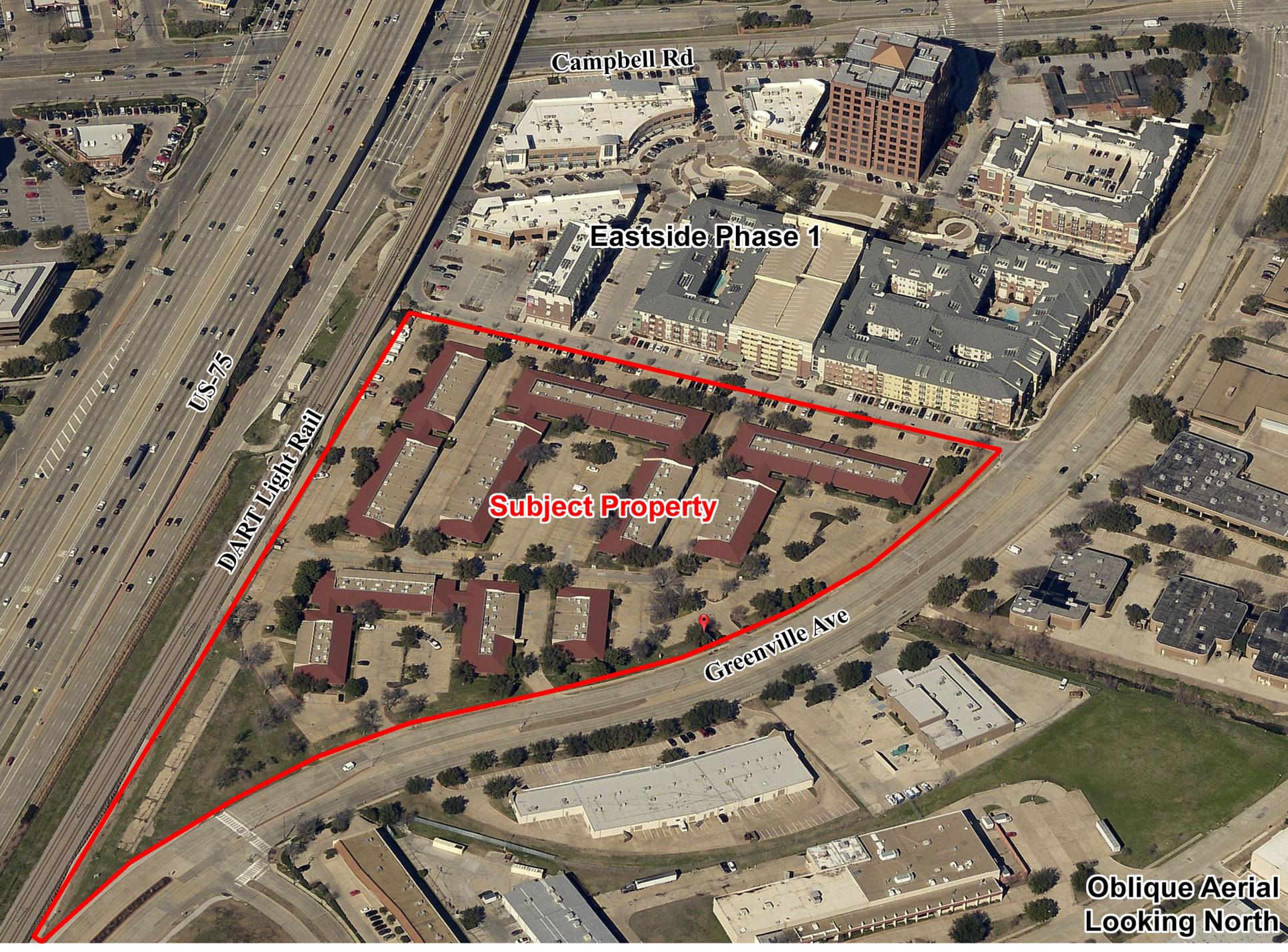
**SUBJECT PROPERTIES
FOR ZONE CHANGE**

ZF 14-07 Aerial Map

Updated By: shacklett, Update Date: April 1, 2014
File: DSI\Mapping\Cases\Z\2014\ZF1407\ZF1407 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





Campbell Rd

Eastside Phase 1

US-75

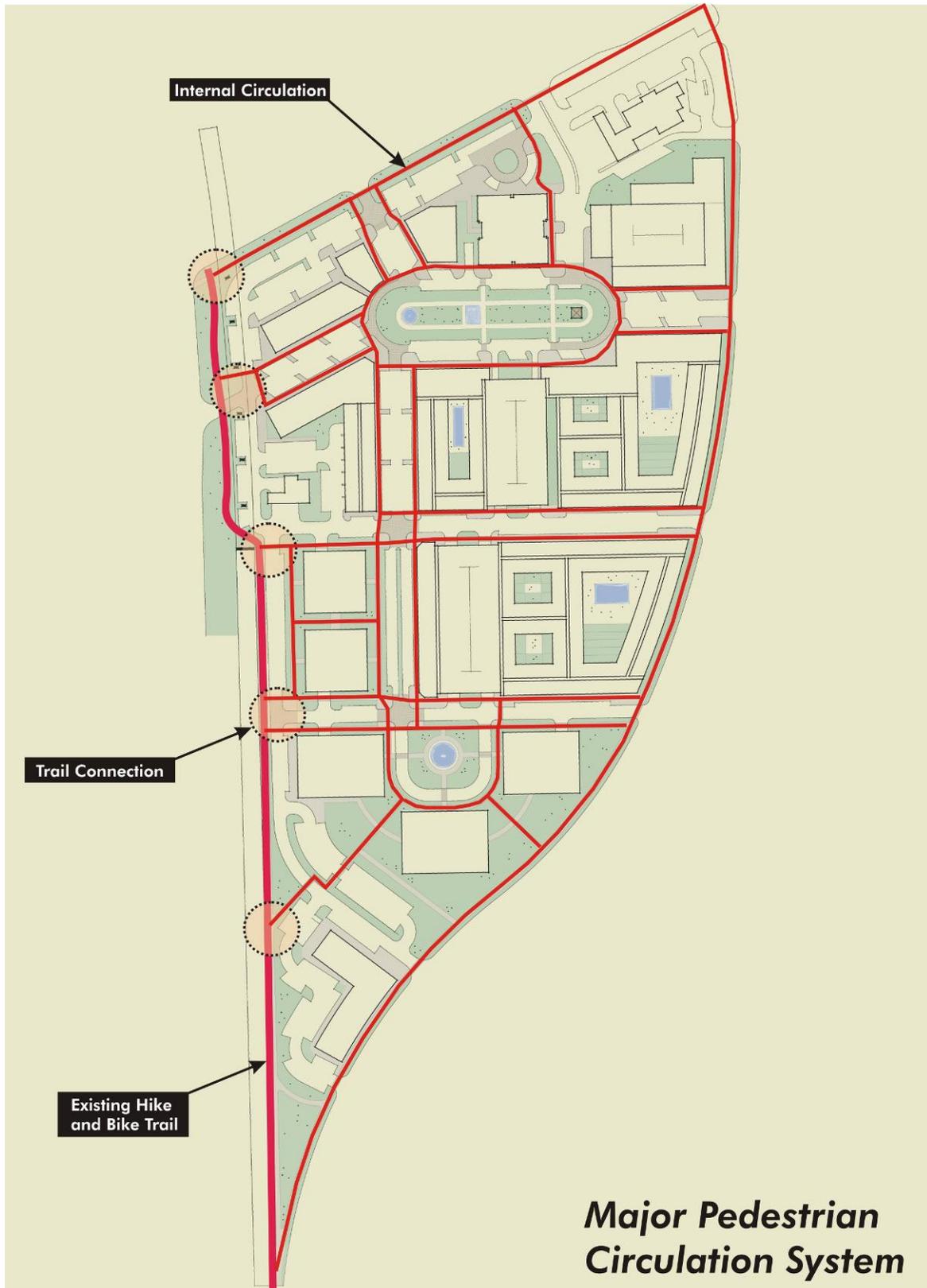
DART Light Rail

Subject Property

Greenville Ave

Oblique Aerial
Looking North

2005 SUBMITTAL



CAMPBELL ROAD

CENTRAL EXPRESSWAY
U.S. HWY. 75

NORTH BOUND FRONTAGE ROAD

GREENVILLE AVENUE

C2. 2

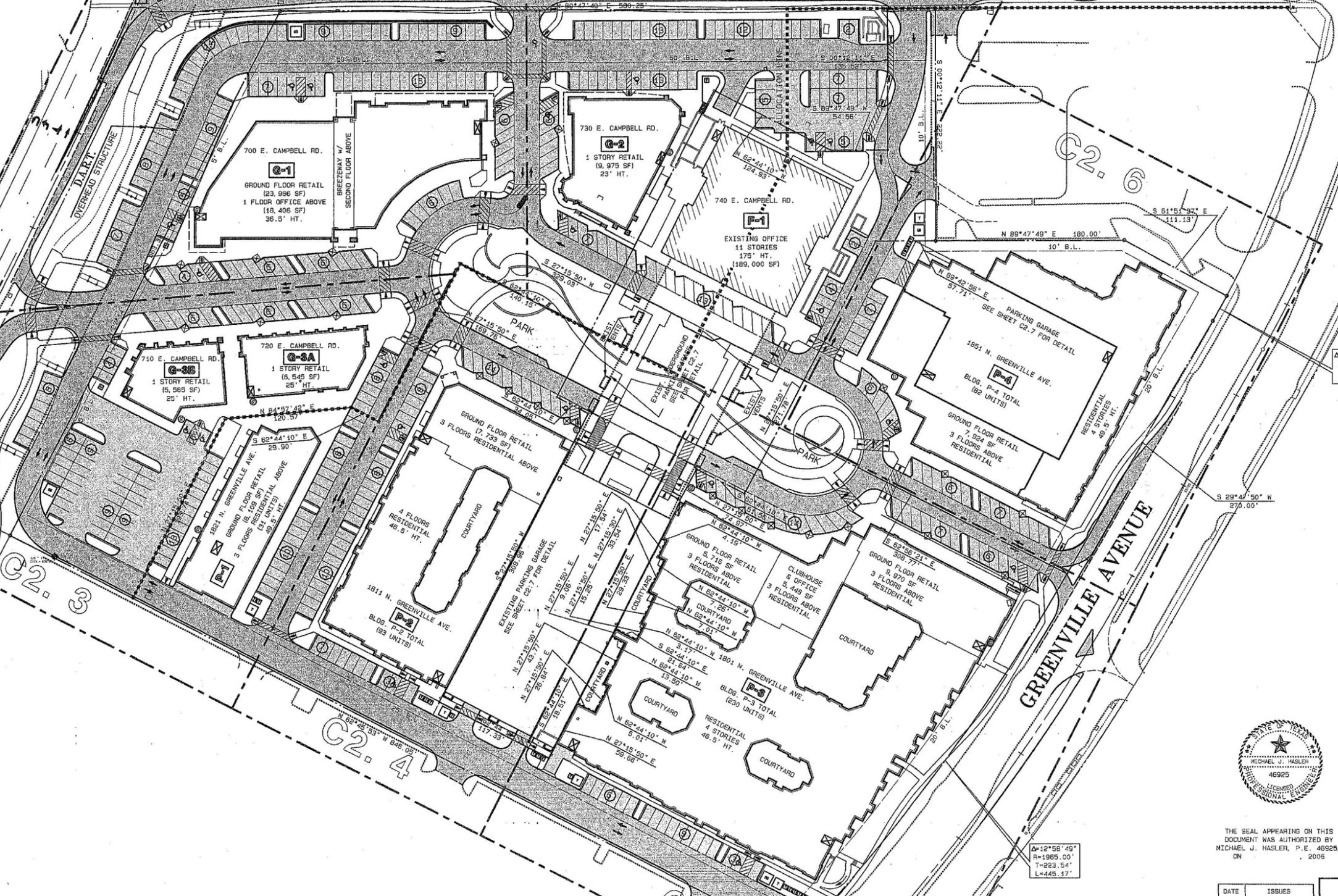
C2. 1

C2. 6

C2. 3

C2. 4

C2. 5



Approved:
Subject to requirements of Building Code and other
City codes and Ordinances
City Plan Commission
Date: 1-18-2006
By: A.V. Roberts, Sr.
City Engineer

All utilities are required underground. Prior to construction of any public facilities an excavated three-way curbed roadway, sewer, water, gas, and City must be laid with Dept. of Public Works. A detailed landscape plan must be approved and landscaping must be installed prior to occupancy. Design, details and location of signs are not subject to approval by City Plan Commission.

ALL FIRE LANES AND PARKING SURFACES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF BUILDING. SCREENING WALL REQUIRED TO BE INSTALLED PRIOR TO ISSUANCE OF BUILDING PERMIT.

NOTE:
ALL INTERNAL SURFACE DRIVES, PARKING AREAS, THE "PARK AREA" AND ALL IMPROVEMENTS FOR COMMON USE AND ENJOYMENT WILL BE MAINTAINED BY A PROPERTY OWNER'S ASSOCIATION.

NOTE:
SEE SHEET L8 FOR COURTYARD PLANS



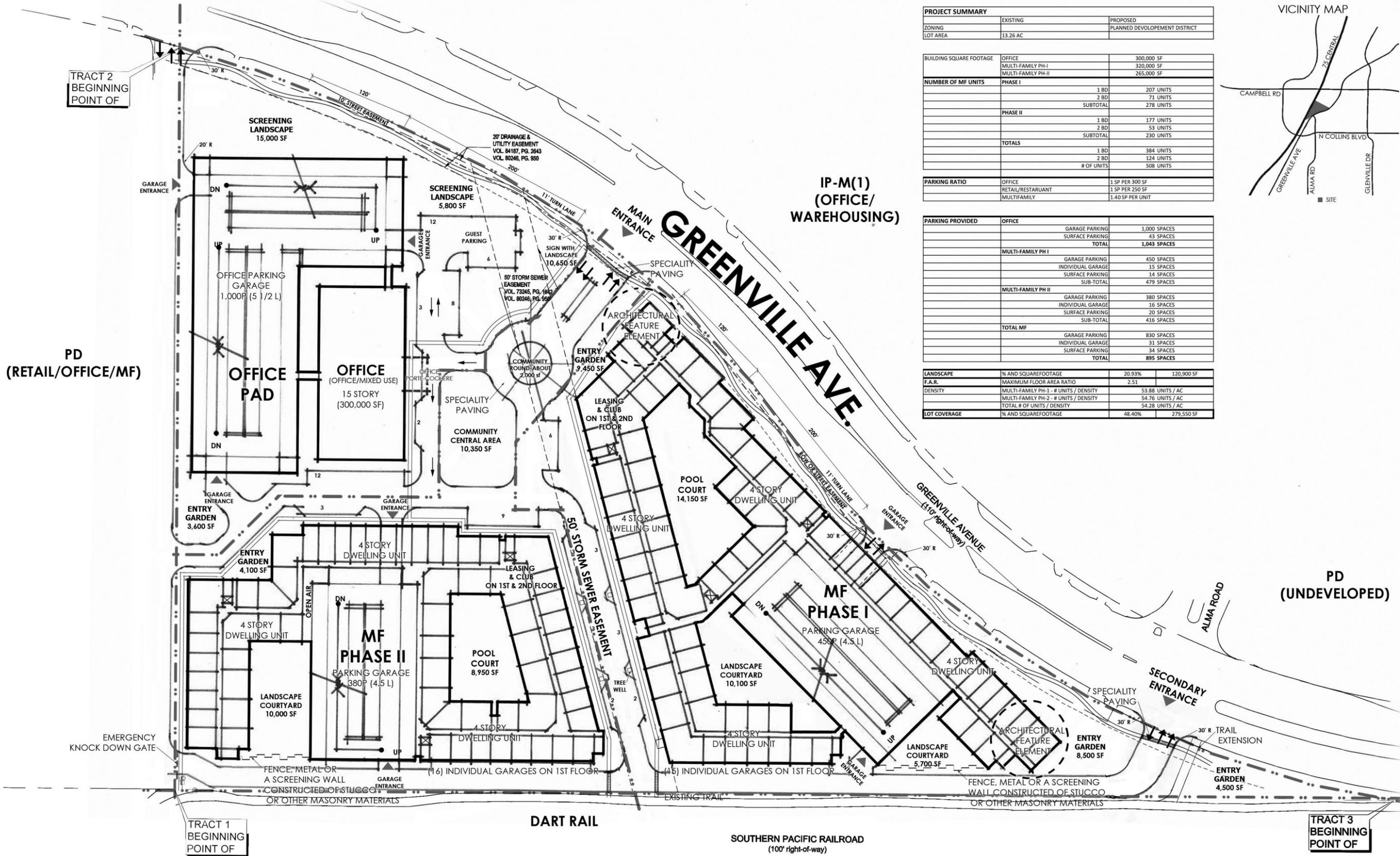
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL J. HASLER, P.E. 46925, ON 2/20/06

SCALE: 1"=50'

- LEGEND
- TRANSFORMER
 - ⊞ SWITCH GEAR
 - ⊙ GAS METER
 - ⊠ TRASH ROOM

DATE	ISSUES
05/22/05	REVIEW SET
05/26/05	SITE PLAN SUBMITTAL
06/02/06	REVISED FIRELANE AND PARKING
06/26/06	REVISED PAVING
07/13/06	REVISED BLDG. 6-1 & 6-2
08/10/06	REVISED PAVING

SITE PLAN
INDEX MAP
EASTSIDE
CITY OF RICHARDSON, DALLAS COUNTY, TEXAS
Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 640-9535
Date: APRIL, 2006
Sheet No. G2. 0
Drawn By: G.A.I. PROJECT NO. 9998-1020



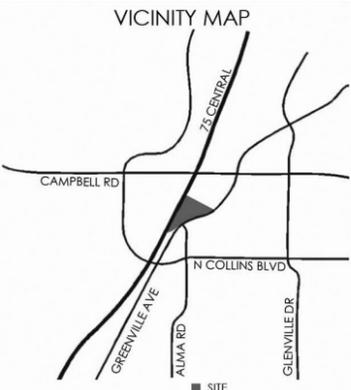
PROJECT SUMMARY		
ZONING	EXISTING	PROPOSED
LOT AREA	13.26 AC	PLANNED DEVELOPMENT DISTRICT

BUILDING SQUARE FOOTAGE	OFFICE	
	MULTI-FAMILY PH-I	300,000 SF
MULTI-FAMILY PH-II	320,000 SF	
MULTI-FAMILY PH-II	265,000 SF	
NUMBER OF MF UNITS	PHASE I	
	1 BD	207 UNITS
	2 BD	71 UNITS
	SUBTOTAL	
	278 UNITS	
PHASE II	1 BD	
	177 UNITS	
	2 BD	53 UNITS
	SUBTOTAL	
	230 UNITS	
TOTALS	1 BD	
	384 UNITS	
	2 BD	124 UNITS
	# OF UNITS	
	508 UNITS	

PARKING RATIO	OFFICE	
	RETAIL/RESTAURANT	1 SP PER 300 SF
	MULTIFAMILY	1 SP PER 250 SF
	1.40 SP PER UNIT	

PARKING PROVIDED	OFFICE	
	GARAGE PARKING	1,000 SPACES
SURFACE PARKING	43 SPACES	
	TOTAL	
	1,043 SPACES	
MULTI-FAMILY PH I	GARAGE PARKING	450 SPACES
	INDIVIDUAL GARAGE	15 SPACES
	SURFACE PARKING	14 SPACES
		SUB-TOTAL
	479 SPACES	
MULTI-FAMILY PH II	GARAGE PARKING	380 SPACES
	INDIVIDUAL GARAGE	16 SPACES
	SURFACE PARKING	20 SPACES
		SUB-TOTAL
	416 SPACES	
TOTAL MF	GARAGE PARKING	830 SPACES
	INDIVIDUAL GARAGE	31 SPACES
	SURFACE PARKING	34 SPACES
		TOTAL
	895 SPACES	

LANDSCAPE	% AND SQUAREFOOTAGE	20.93%	120,900 SF
F.A.R.	MAXIMUM FLOOR AREA RATIO	2.51	
DENSITY	MULTI-FAMILY PH-1 - # UNITS / DENSITY	53.88 UNITS / AC	
	MULTI-FAMILY PH-2 - # UNITS / DENSITY	54.76 UNITS / AC	
	TOTAL # OF UNITS / DENSITY	54.28 UNITS / AC	
LOT COVERAGE	% AND SQUAREFOOTAGE	48.40%	279,550 SF



EAST SIDE PHASE TWO CONCEPTUAL SITE PLAN

Exhibit B - Part of Ordinance

RICHARDSON, TEXAS

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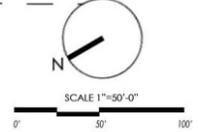


Exhibit “B-1”

EASTSIDE PHASE TWO PLANNED DEVELOPMENT DISTRICT

Sec. 1. Intent

The purpose of the **EASTSIDE PHASE TWO PLANNED DEVELOPMENT DISTRICT** is to encourage a pedestrian-oriented community center providing living, shopping, dining and employment environments that work together to provide interesting and efficient combinations of land uses that minimize vehicular trips while offering a fully active live-work-play experience. The architectural styling will build upon Eastside Phase One, incorporating a variety of materials including, but not limited to complementary colors of brick, cast stone, natural stone, stucco and glass facades to provide interest and variety. The multi-family and commercial buildings will accommodate the pedestrian nature of EASTSIDE PHASE TWO through connecting streets, generous sidewalks, and landscape areas at the building face. The open space in the center and on the south side of the development will serve as a gathering place for residents, employees and visitors to the property.

Sec. 2. Concept Plan.

Development of the Property must generally comply with the concept plan attached hereto for all purposes as Exhibit "B", (the "Concept Plan").

Sec. 3. Architectural Image Studies.

For illustrative purposes only, Exhibit "C", which is attached hereto for all purposes, provides a series of architectural images which indicates the general character of EASTSIDE PHASE TWO. Development of the buildings are not required to duplicate the architecture of the buildings in Exhibit "C".

Sec. 4. Permitted Uses.

No land shall be used and no building shall be erected for or converted to any use other than the following:

(a) *Retail and Office Uses*

- (1) Antenna, accessory, subject to the supplemental regulations of article XXII-E.
- (2) Antique shop
- (3) Art gallery
- (4) Bakery
- (5) Bank or financial institution
- (6) Barber or beauty salon
- (7) Book, card, or stationery store
- (8) Camera and photographic supply shop
- (9) Catering service
- (10) Clothing or apparel store
- (11) Construction field office (temporary use)
- (12) Convenience store

- (13) Drugstore or pharmacy
- (14) Florist
- (15) Grocery store (under 7,000 square feet)
- (16) Health club
- (17) Hotel
- (18) Jewelry store
- (19) Laundry pick-up station
- (20) Mailing service
- (21) Office
- (22) Personal service uses
- (23) Photography or art studio
- (24) Restaurant without drive-through or curbside service
- (25) Tailor shop

(b) *Residential Uses*

- (1) Apartments

Sec. 5. Building Regulations.

- (a) *Building Materials for Nonresidential Buildings* (Tract 2). All nonresidential buildings shall have at least eight-five (85%) percent of the exterior walls constructed of masonry construction. The remainder of the exterior may be of other noncombustible construction.
- (b) *Multifamily Uses* (Tracts 1 and 3). All multifamily buildings shall comply with the standards set forth in Section 9 herein, otherwise the building regulations of the A950-M district shall apply.

Sec. 6. Height Regulations.

(a) *Maximum Height.*

Tract 2:

- (1) Office and hotel uses: 250 feet.
- (2) Retail/ Restaurant uses: 35 feet

Tracts 1 and 3:

- (1) Residential and mixed uses with residential uses: 80 feet.

- (b) *Architectural Features* (Tracts 1, 2 and 3). Maximum height shall exclude (i) parapet walls not exceeding four (4) feet in height, and (ii) chimneys, cooling towers, elevator penthouses, mechanical equipment rooms, ornamental cupolas, standpipes, elevator bulkheads, domes, spires, turrets, towers, and lighting features not exceeding twelve (12) feet in additional height.

Sec. 7. Area Regulations.

General. For purposes of determining area regulations within the EASTSIDE PHASE TWO PLANNED DEVELOPMENT DISTRICT the entire Property; Tracts 1, 2 and 3, shall be considered one lot.

(a) *Perimeter Setbacks.*

(1) Front. The minimum building setback from Greenville Avenue shall be twenty-five (25) feet. Entry features shall be excluded from required setbacks subject to site plan approval and visibility requirements. Stoops and patios may encroach up to five (5) feet into the front yard setback.

a) Within the Greenville Avenue front yard, the developer shall install, and all subsequent owners shall maintain, plant materials as follows:

- i. A minimum of one canopy tree and one ornamental tree shall be required for every fifty (50) lineal feet of street frontage, provided, however, that canopy and ornamental trees may be grouped.
- ii. Evergreen shrubs, which shall reach a minimum height of 30 inches, shall be installed to buffer any parking areas adjacent to a street.

b) Balconies above first floors may encroach up to three (3) feet into the building setback.

(2) Side. The minimum setback from the north property line shall be fifteen (15) feet.

(3) Rear. The minimum setback from the west property line shall be twenty-five (25) feet.

(4) Parking. Surface parking shall not be allowed in any setback area.

(b) *Interior Setbacks.* No setback shall be required from interior lot lines except as may be required by the City of Richardson Building Code.

(c) *Maximum Building Area.* The maximum building area allowable uses per gross square foot shall be as follows:

USE	BUILDING AREA
Retail and restaurant	6,000 sq. ft.
Office	300,000 sq. ft.
Multi-Family	600,000 sq. ft.

(d) *Lot Coverage.* The principal building(s) and any accessory buildings (inclusive of parking structures) shall not cover more than eighty (80%) percent of the total area of the Property.

(e) *Landscaping.* Landscaping shall be provided at a minimum ratio of twenty (20%) percent of the gross land area of the Property. Landscaping shall include enhanced paving areas, landscape islands, and open space areas including the central open space as shown on the Concept Plan.

Sec. 8. Parking.

General. For purposes of applying the parking regulations within the EASTSIDE PHASE TWO PLANNED DEVELOPMENT DISTRICT the entire Property, Tracts 1, 2 and 3, shall be considered one lot.

(a) *Parking Requirements.* Parking minimums shall be provided as set forth below:

USE	PARKING REQUIREMENT
Retail/Restaurant	1 / 250 sq. ft.
Office	1/300 sq. ft.
Multifamily	1.40 spaces/unit

(b) *Covered Parking:* Surface parking spaces serving apartment uses are not required to have a covered carport.

Sec. 9 Special Regulations for Multifamily Uses (Tracts 1 and 3).

The following regulations shall apply:

(a) *Building Regulations.*

(1) Minimum floor area of dwelling unit. The minimum floor area per multifamily unit shall be 525 square feet. The minimum average multifamily unit floor area per building shall be 850 square feet.

(2) Building materials.

a) A maximum of fifty (50%) percent of the exterior may be of a non-masonry material as defined in the comprehensive zoning ordinance.

b) The non-masonry exterior walls may be constructed of masonry-type materials, such as exterior stucco utilizing a three-step process, exterior insulating finishing systems (E.I.F.S.), cementitious siding, metal, or other materials approved by the building official. For purposes of this planned development, “metal” shall mean a high-performance façade solution that consists of a rain screen and decorative façade (manufactured of type 304, 316 or 430 architectural grade stainless steel, zinc alloy, titanium or other metal material of comparable or greater quality that is approved by the City Manager), cavity depth and ventilation, insulation and sub-frame. Systems may include colorized, patterned and textured stainless steel sheet cladding systems; insulated core metal wall panel systems; metal composite wall panel systems, rear ventilated phenolic rain screen wall panel systems; titanium zinc alloy sheet metal roofing façade cladding and roof drainage components systems. For facades facing public streets, E.I.F.S. may not be located below eight (8) feet above grade except for accent or architectural features.

c) All exterior chimneys that originate at grade level shall be constructed of masonry materials.

- d) For "chateau," "mansard" or any other design where the roof serves as an exterior wall, the above percentages shall apply.
- e) All materials shall be installed in accordance with manufacturer's specifications.
- f) Exterior walls that face interior courtyards or surrounded by Parking Structures, which are not seen by the public may be constructed of masonry or non-masonry materials.

(b) *Area Regulations.*

General. For purposes of determining area regulations for multifamily uses within the **EASTSIDE PHASE TWO PLANNED DEVELOPMENT DISTRICT**, regardless of how Tracts 1 and 3 may be subdivided they shall be considered one lot. An "Apartment community" shall be defined as a multifamily development with a maximum of three-hundred (300) dwelling units.

- (1) Density. The maximum number of multifamily units permitted shall be five hundred, fifty-eight (558) units.
- (2) Overhang and fireplaces. The minimum setback requirements shall apply in all cases, except that fireplaces, eaves, bays, balconies and fireproof outside stairways above the first floor may extend to a maximum of three (3) feet into the required front, side or rear yards.
- (3) Recreational Areas.
 - a) Indoor or outdoor recreational areas shall be required pursuant to this ordinance to meet the requirements of the residents in each apartment community.
 - b) At least one indoor or outdoor recreation area shall be provided for residents in each apartment community. Said recreational area shall be a minimum of nine-hundred (900) square feet in area and shall be designed for use by residents within the Property. Recreation equipment, if provided, must meet the guidelines of the Consumer Product Safety Commission for recreation equipment and safety surface. Playground access and equipment must be in compliance with A.D.A. requirements. The central and south open space shown on the Concept Plan shall qualify as outdoor recreational area for purposes of this planned development.
 - c) In addition, additional recreational amenities must be provided for each the apartment community. These amenities, listed below, shall accrue points based on the values assigned. A minimum of seventy (70) recreational amenity points must be accumulated in each apartment community.
 - i. Playgrounds designed for children ten years of age or younger meeting the specifications listed above. (Ten points; maximum ten points for the PD.)
 - ii. Clubhouse/game room/multi-purpose room a minimum of 400 square feet in area for each apartment community. (Ten points.)

- iii. Equipment, such as ping-pong tables, foosball tables, etc., in the clubhouse/game room/multi-purpose room; electronic videogames or pinball games shall not be eligible for points. The appropriateness of the equipment shall be determined by the City's Director of Parks and Recreation. (One point for each piece of approved equipment.)
- iv. Outdoor multi-use sport court, tennis court, racquetball court or similar facility. (Five points/court.)
- v. Indoor multi-use sport court, tennis court, racquetball court or similar facility. (Ten points/court.)
- vi. Indoor fitness center at least 400 square feet in area for each apartment community. (Ten points.)
- vii. Swimming pool/Hot Tub, including wading area. Pools shall be fenced and secured according to the requirements of the City of Richardson. (Ten points; 20 points maximum for each apartment community.)
- viii. Reinforced concrete jogging trail, bike path, sidewalks or combination thereof looping through or around the Property, a minimum of six feet in width. (Ten points.)
- ix. Sidewalks, hiking, jogging, and/or bike trail connecting the development to public trail systems. (Five points.)
- x. Usable open space, at least 1,000 square feet in area, to include at least three of the following: cluster of trees, outdoor fireplace, water features, seating areas, picnic tables, barbecue grills, gazebos or other elements as approved by the city's director of parks and recreation. The central open space shown on the Concept Plan shall qualify as usable open space for purposes of this planned development. (Ten points; maximum 30 points for the PD.)
- xi. Roof-top amenities (10 points)
- xii. Dog park (10 points)
- xiii. Other recreational amenities as approved by the City's director of parks and recreation. (One through ten points, to be determined by the Director of Parks and Recreation.)

(4) It shall be the responsibility of the Director of Parks and Recreation to review the proposed recreational amenities and provide a written assessment of their adequacy to the city plan commission prior to consideration of the site plan.

(5) Open space shall be disposed in such a manner as to ensure the safety and welfare of residents.

Sec. 10. General Miscellaneous Regulations

- (a) *Enhanced Street Paving.* Enhanced street paving shall be provided at appropriate locations throughout the development to emphasize pedestrian crossings, key intersections, and driveways entrances.
- (b) *Masonry.* For purposes of this planned development, "masonry" shall include brick, stone, stucco utilizing a three-step process, vertically and/or horizontally articulated architectural pre-cast concrete panels, cast stone, rock, marble, granite, curtain glass, or glass block.

- (c) *Design of Parking Garage Facades along U.S. 75/D.A.R.T. right-of-way and the north property line.* Parking Garage Facades shall be precast concrete spandrels or some other architectural treatment approved by the City Plan Commission at the time of site plan approval designed with both vertical (façade rhythm of 20 to 30 feet or multiples thereof) and horizontal (aligning adjacent with horizontal elements) articulation.
- (d) *Chapter 21, Subdivision and Development of the Code of Ordinances* is modified as follows:
- (1) Driving aisles shall be a minimum of 24-feet for two-way and 15-feet for one-way traffic and shall be designed to accommodate garbage and trash collection services, and fire and emergency vehicles.
 - (2) Apartment communities shall not be required to be enclosed by a perimeter fence.
 - (3) No setbacks or screening shall be required for residential uses adjacent to non-residential uses.
 - (4) Loading docks, refuse storage containers, and utility accessories shall be screened to reduce their visual impact by screening these sites from adjoining properties and public rights-of-way and shall be located in the rear or side of the buildings where possible.
- (e) *Flag Lot Configuration.* With the subdivision of the property for development purposes, one lot with a flagpole configuration shall be permitted in the west side of the property.
- (f) *Minor Modifications.* The City Manager or designee shall have the authority to approve minor modifications to concept plans and development plans approved within or required by this Ordinance. For purposes of this planned development, a minor modification shall be defined as (i) a change to a footprint of a building in which the proposed footprint remains within the building envelope shown on the Concept Plan, and (ii) except as otherwise provided in (i), a change which does not increase the building coverage, floor area ratio or residential density of the planned development by more than 10% of the concept plan, does not decrease any of the specified area regulations or enumerated parking ratios, nor substantially changes the access or circulation on or adjacent to the site.
- (g) *Signage.* All signage shall comply with Chapter 18 (Sign Code) of the City of Richardson Code of Ordinances, as amended, except that in lieu of compliance with Chapter 18, a “Sign Package” may be submitted to establish unique sign standards including size, color, type, design and location for review and approval by the City Plan Commission. In evaluating a Sign Package, the City Plan Commission shall consider the extent to which the application:
- (1) Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;

- (2) Enhances the compatibility of signs with the architectural and site design features with the development;
- (3) Encourages signage that is in character with planned uses thus creating a unique sense of place, and
- (4) Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.



EAST SIDE PHASE TWO ELEVATION SAMPLES
RICHARDSON, TEXAS

Exhibit C - Part of Ordinance



(1)

Looking South along
DART Rail Line



(2)

Looking East along North Property Line



(3)

Looking North along
Greenville Avenue - Eastside Buffer Area

*[Insert for City of Richardson Development Application
"Explanation and Description of Request"]*

The subject property is located north of Alma Road between Greenville Avenue and North Central Expressway, south of Campbell Road, and is currently zoned IP-M(1) and LR-M(1). The site is currently developed with low-rise office development. However, given the location of the property, between major streets to the north (Campbell Road), east (Greenville Avenue), and south (Alma Road and Collins Boulevard), and North Central Expressway to the west, as well as being between the DART Red Line light rail Arapaho Center and Galatyn Park stations, with new mixed-use development already situated to the immediate north, this location is ripe for redevelopment with a first-class mixed-use project, including office, hotel, and multifamily uses, as proposed. The purpose of this Planned Development District request is to provide for the ability to mix the proposed uses, that is, office, hotel, and multifamily, while providing a community central park and community roundabout, as well as other common area features with landscaping and other amenities.

The City of Richardson Future Land Use Map specifically shows that this site is intended for "Neighborhood - Mixed Use" development. The Land Use Section of the Comprehensive Plan states that *"Neighborhood Mixed-Use areas are characterized by mixed or multiple land uses occurring within a single development and/or a single building. These districts are typically built around small, pedestrian-friendly blocks and common open space. Uses include various types of residential (single-family and multi-family), retail, personal service, and neighborhood-scale offices. The overall intensity of development within Neighborhood Mixed-Use is generally low to medium depending upon surrounding land uses and the transportation infrastructure serving the area."* The requested Planned Development District meets these guidelines by providing a mix of uses, including residential, hotel, and office; a pedestrian-friendly environment; and common open space, with medium-intensity development.

Further, and with reference to the Land Use Section of the Comprehensive Plan, the proposed change in zoning to a Planned Development District will clearly enhance the site and the surrounding area. The proposed Planned Development District will, for example, be quite compatible with the adjacent multifamily residential use. There does not appear to be single-family residential development in the nearby area. Further, the uses adjacent to the proposed uses are similar in nature in terms of intensity, appearance, hours of operation, and other general aspects of compatibility. Finally, again as guided by the Land Use section of the Comprehensive Plan, the proposed uses will present a significant benefit to the community and will contribute to the City's long-term economic sustainability and wellbeing.

Finally, the Comprehensive Plan encourages, in areas envisioned for mixed-use development, alternative land uses for existing, underutilized commercial, retail, and industrial areas, which this site appears to be currently. The Comprehensive Plan also encourages a mix of retail, office, and service uses that supports the area being served and reflects the identity, character, and scale of surrounding residential areas, and also the promotion of mixed-use developments that are market-supported and located in areas where more intense and diverse types of development are appropriate. This request clearly meets all of those goals.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

PLANNED DEVELOPMENT

File No./Name: ZF 14-07 / Eastside Phase 2
Property Owner: Tod Fobare / AGF Greenville II, Ltd. And AGF Bowen Branch II Ltd.
Applicant: William S. Dahlstrom / Jackson Walker, L.L.P.
Location: West side of Greenville Avenue, south of Campbell Road
(See map on reverse side)
Current Zoning: IP-M(1) Industrial Park and LR-M(1) Local Retail
Request: A request for a change in zoning for approximately 13.3 acres of land from IP-M(1) Industrial Park and LR-M(1) Local Retail to PD Planned Development for the development of a mixed-use project to include multi-family, office, hotel and retail uses.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, APRIL 15, 2014
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

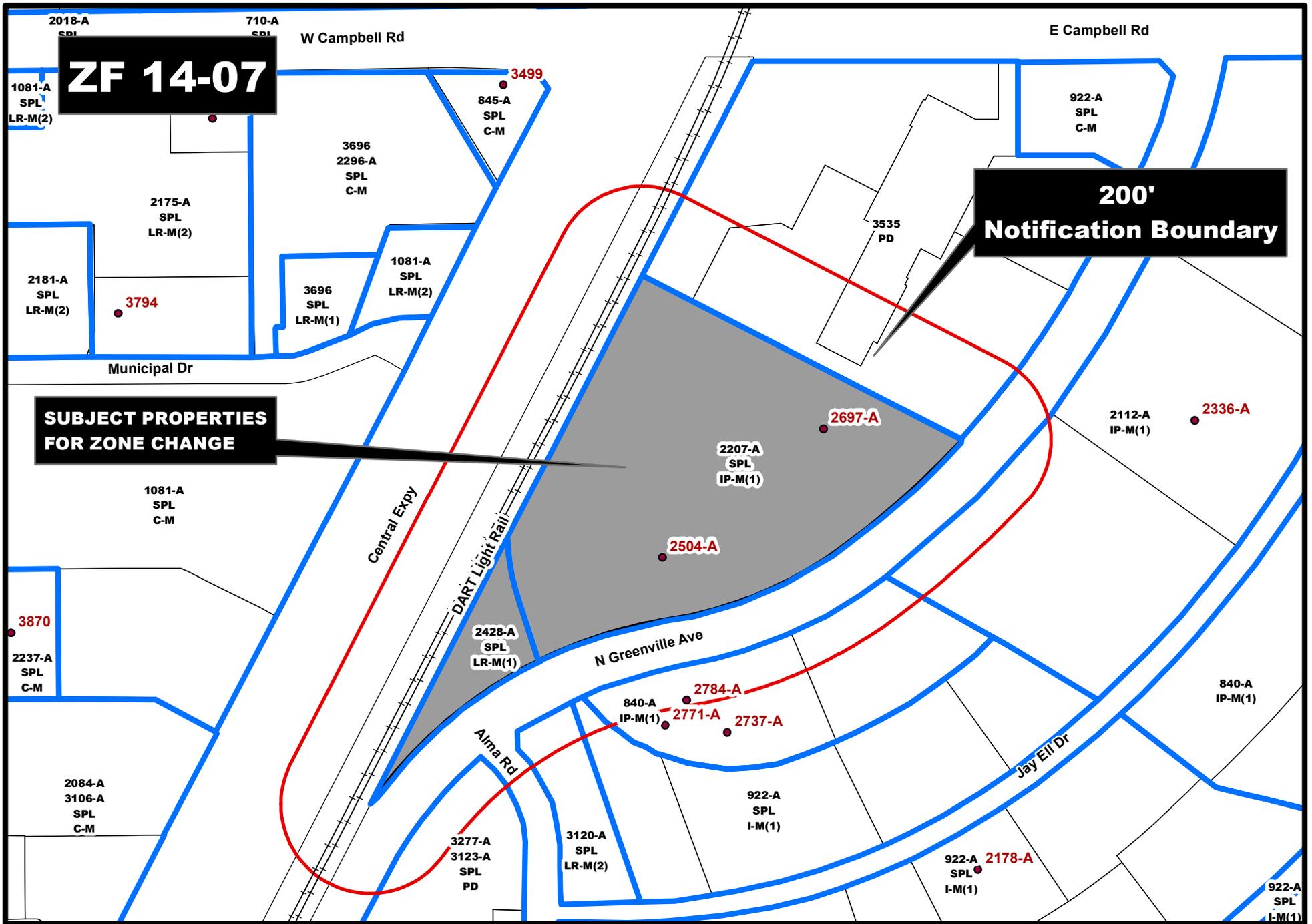
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 14-07.

Date Posted and Mailed: 04/04/2014



ZF 14-07 Notification Map

Updated By: shacklett, Update Date: April 1, 2014
 File: DSI\Mapping\Cases\Z\2014\ZF1407\ZF1407 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



DART
PO BOX 660163
DALLAS, TX 75266-0163

AGF GREENVILLE II LTD
C/O SKYRISE PPTIES LLC
18111 PRESTON RD # 1000
DALLAS, TX 75252-6099

CAMPBELL GREENVILLE PS LTD
6757 ARAPAHO RD # 711-293
DALLAS, TX 75248-4073

AGF BOWEN BRANCH II LTD
% TOD FOBARE
18111 PRESTON RD # 1000
DALLAS, TX 75252-6099

TELECABLE OF RICHARDSON TAX DEPT
PO BOX 7467
CHARLOTTE, NC 28241-7467

1720 GREENVILLE LTD
903 N BOWSER RD STE 170
RICHARDSON, TX 75081-2877

PROCTOR FAMILY LTD PS
2927 MOSS CREEK CT
MCKINNEY, TX 75070-4748

FSP COLLINS CROSSING LTD
C/O FRANKLIN ST PPTIES CO
401 EDGEWATER PL # 200
WAKEFIELD, MA 01880-6207

GBALMA LLC
419 MAIN ST UNIT 335
HUNTINGTON BEACH, CA 92648-5199

POST EASTSIDE LTD PS
4401 NORTHSIDE PKWY NW #800
ATLANTA, GA 30327-3093

SG RETAIL DEVELOP PS LTD
2808 FAIRMOUNT ST STE 100
DALLAS, TX 75201-7622

AGF SPRINGCREEK COIT II TD
18111 PRESTON RD STE 1000
DALLAS, TX 75252-6099

TOD FOBARE
AGF BOWEN BRANCH II, LTD
AGF GREENVILLE II, LTD
18111 PRESTON RD STE 1000
DALLAS, TX 75252-6099

WILLIAM S. DAHLSTROM
JACKSON WALKER, L.L.P.
901 MAIN STREET, STE 600
DALLAS, TX 75202

SUPERINTENDENT OF SCHOOLS
RICHARDSON ISD
400 S. GREENVILLE AVE
RICHARDSON, TX 75081

MAINTENANCE & OPERATIONS
ATTN: MICHAEL LONGANECKER
RICHARDSON ISD
400 S. GREENVILLE AVE
RICHARDSON, TX 75081

ZF 14-07
Notification List



MEMO

DATE: May 8, 2014
TO: Honorable Mayor and City Council
FROM: Michael Spicer, Director of Development Services *MS*
SUBJECT: Zoning File 14-10 – Northside at UTD

REQUEST

Brent Miller, representing Wynne Jackson Inc., the University of Texas, and the University of Texas at Dallas (UTD) is requesting a change in zoning from TO-M Technical Office to PD Planned Development for approximately 13.2 acres located on the north side of Synergy Park Boulevard, between Rutford Avenue and Floyd Road. The requested zoning is intended to accommodate development of a mixed-use neighborhood comprising up to 400 housing units and 50,000 square feet of retail space primarily to serve UTD students, faculty and staff.

BACKGROUND

In 2008, UTD, the City of Richardson, and Dallas Area Rapid Transit (DART) collaborated on the development of a conceptual master plan designed to integrate expansion of the UTD campus with the future DART Cotton Belt station north of Synergy Park Boulevard. The final report, *UTD North Campus Transit Oriented Development Phase 1 Project Report*, was issued in June 2009. This request represents the initial phase of development within the geographic area addressed by the master plan and incorporates fundamental elements identified in the master plan such as mixed-use residential and retail uses, and the first leg of a pedestrian mall/street linkage leading to the platform of the future DART Cotton Belt Station.

The proposed zoning is consistent with the City of Richardson Comprehensive Plan and the preferred land use plan concept presented in the UTD master plan. The traffic impact analysis associated with this request determined only nominal impacts would result, which could be adequately addressed through site driveway design and future widening of the northbound Rutford Avenue approach at Synergy Park Boulevard.

Because the zoning request includes uses that would potentially sell alcoholic beverages and the UTD campus constitutes a public school relative to the Texas Alcoholic Beverage Code, City Council must grant a variance to the 300-foot alcohol-free zone requirement to allow for alcohol sales on the subject property. Such variance may be included with Council's consideration of the zoning request.

The President of the Cottonwood Creek Civic Association (CCCA) spoke at the City Plan Commission (CPC) hearing and stated support for the zoning request but asked that consideration be given to additional assessment of traffic impacts. City staff and Dr. Calvin Jamison of UTD subsequently met with representatives of the CCCA to address traffic concerns in greater detail. A second citizen also spoke at the CPC hearing, stating he was opposed to the zoning change primarily due to adverse traffic impacts.

PLAN COMMISSION RECOMMENDATION

The City Plan Commission, by unanimous vote, recommends approval of the request as presented. If the City Council decides to approve the request, the motion should include reference to granting a variance to the 300-foot alcohol-free zone regulation.

ATTACHMENTS

CC Public Hearing Notice
CPC Minutes (4-15-2014)
Staff Report
Zoning Map
Aerial Map
Oblique Aerial Looking South
UTD Master Plan
Concept Plan (Exhibit "B")

Conceptual Elevations (Exhibit "C")
Street Cross Sections (Exhibit "D")
Proposed PD Conditions
Site Photos
Applicant's Statement
Notice of Public Hearing
Notification List
Correspondence



Attn. Lynda Black
Publication for Dallas Morning News – Legals
Submitted on: April 23, 2014
Submitted by: City Secretary, City of Richardson

Please publish as listed below or in attachment and provide a publication affidavit to:

City Secretary's Office
P.O. Box 830309
Richardson, TX 75083-0309

FOR PUBLICATION ON: April 25, 2014

**City of Richardson
Public Hearing Notice**

The Richardson City Council will conduct a public hearing at 7:30 p.m. on Monday, May 12, 2014, in the Council Chambers, Richardson Civic Center/City Hall, 411 W. Arapaho Road, to consider the following requests.

ZF 14-07

A request by William S. Dahlstrom, representing Jackson Walker, L.L.P., for a change in zoning from IP-M(1) Industrial Park and LR-M(1) Local Retail to PD Planned Development for the development of a mixed-use project to include multi-family, office, hotel, and retail uses on approximately 13.3 acres. The property is located on the west side of Greenville Avenue, south of Campbell Road and is currently zoned IP-M(1) Industrial Park and LR-M(1) Local Retail.

ZF 14-10

A request by Brent Miller, representing Wynne Jackson, Inc., for a change in zoning from TO-M Technical Office to PD Planned Development for the development of a university-oriented mixed-use development on approximately 13.3 acres. The property is located on the north side of Synergy Park Boulevard, between Rutherford Avenue and Floyd Road and is currently zoned TO-M Technical Office.

If you wish your opinion to be part of the record but are unable to attend, send a written reply prior to the hearing date to City Council, City of Richardson, P.O. Box 830309, Richardson, Texas 75083.

The City of Richardson
/s/ Aimee Nemer, City Secretary

**EXCERPT
CITY OF RICHARDSON
CITY PLAN COMMISSION MINUTES –APRIL 15, 2014**

PUBLIC HEARING

ZF 14-10 – Northside at UTD: Consider and take necessary action on a request for a change in zoning from TO-M Technical Office to PD Planned Development for the development of a university-oriented mixed-use development on approximately 13.2 acres. The property is located on the north side of Synergy Park Boulevard between Rutford Avenue and Floyd Road.

Mr. Spicer advised that the property in question was owned by the University of Texas at Dallas (UTD) and, in the 2009 Master Plan prepared by UTD, the City, and DART; the property was designated as a transit village.

Mr. Spicer noted that if the item was approved, the concept plan, development regulations and street sections would become part of the ordinance; however, the conceptual elevations would not be part of the ordinance but would come back before the Commission for approval during the development plan process.

Mr. Spicer pointed out that the signature feature of the development was the “central spine” which would be a four-lane divided roadway flanked by 15-foot sidewalks, street trees, a 32-foot wide median with street furniture, and has the potential to serve as a public plaza. He added that the concept plan allowed up to 400 residential units and there would be ground floor retail fronting on Synergy Park Boulevard.

Commissioner Roland asked if the number of multi-family units in the City would be increased by the proposed development or were they not counted because they would be located on UTD property.

Mr. Spicer replied that the North Central Texas Council of Governments (COG), which keeps track of the number of single and multi-family units in north Texas cities, takes into consideration all multi-family units when developing their statistics.

Commissioner Maxwell asked if the color elevations would be part of PD.

Mr. Spicer replied that the color elevations were provided to demonstrate what the buildings could look like in compliance with the standards in the PD and were not part of the ordinance.

Commissioner DePuy noted the development was on UTD property and asked if the item was before the Commission because it was a joint effort between UTD, the City and DART.

Mr. Spicer stated the joint collaboration related to the Master Plan study was focused on developing a transit oriented development (TOD) in and around the future Cotton Belt rail site and the proposed development would be Phase 1 of the larger Master Plan.

Chairman Hand asked if the Master Plan had been adopted by UTD and did it contain future plans for an event center and hotel. He also wanted to know if the proposed development before the Commission codified the Master Plan.

Mr. Spicer replied the Master Plan did include a potential event center, and the proposed development was only Phase 1 of a public/private partnership with the possibility of a Phase 2 further down the road. He reminded the Commission it was only acting on the proposed 13.2 acres, but the staff wanted to give a context of the whole Master Plan if developed.

With no other questions for staff, Chairman Hand opened the public hearing.

Mr. Allen Zreet, Jacobs Engineering, 1999 Bryan Street, Dallas, Texas, stated the Master Plan was part of a vision connecting UTD to DART by means of the central spine from the pedestrian mall through the proposed development and up to a possible future DART station on the Cotton Belt rail line.

Mr. Zreet noted the Master Plan was part of an overall plan to connect UTD to the north via Waterview Parkway and have a new entrance to the campus from President George Bush Turnpike (PGBT). In addition, the future event center would be parked and accessed from the north so all parking for the higher density elements would be north of the tracks therefore taking advantage of the access from the PGBT.

Mr. Zreet gave a brief description of the proposed residential units, both multi-family and townhomes, and the ground floor retail that would front on Synergy Parkway. He added that another key feature would be the roadway that extends to the north, either over or under the railroad tracks, which would provide a new northern entrance to the property that ties into the east/west roadways in the Master Plan.

Mr. Zreet emphasized that any connection to Floyd Road had been avoided, and the Traffic Impact Analysis (TIA) showed very minimal impact relative to overall traffic increase from the project on that road. He added that the concept behind the design of the roadways was not only to connect UTD to the north, but also to connect it to the community.

Dr. Calvin Jamison, Vice President-Administration, UTD, 800 Campbell Road, Richardson, Texas, said that since 2007, the university has added over 2 million square feet to the campus to accommodate the increase in student population from 14,500 to 22,000. He added that they were advocates of strong relationships with the adjacent neighborhood and in an effort to move traffic off Floyd Road a loop road was under construction and alternative entrances had been developed along Campbell Road and Waterview and Synergy Parkways.

Commissioner DePuy asked where the name of the development, "Comet Town", came from.

Dr. Jamison replied that it was an effort to create a college town type of environment.

Commissioner Frederick asked about the impact of the traffic from the new development along Floyd Road on the adjacent neighborhood and if there were plans to widen that roadway.

Dr. Jamison replied that the traffic flow was designed to come from the north for ease of access into the campus and traffic from the south could only access the campus during certain times of the day. He added that the loop road that was under construction would help to bring the traffic in from the north, south and the west helping to alleviate concerns over an increase in traffic from the project.

Chairman Hand asked if the development was a public/private partnership.

Dr. Jamison said the land was leased to the developers, Balfor Beatty Campus Solutions and Wynne Jackson, and they will be developing the project.

Commissioner Maxwell was concerned the central spine on the proposed plan was significantly narrower than on the concept plan and he wanted to know if the applicants were confident the area would accommodate the pedestrian oriented events.

Dr. Jamison said the direction given to the developer was to make the spine wide enough to accommodate the pedestrian events as well as being an avenue to the DART station on the northern edge of the campus.

Mr. Zreet added the area had been carefully reviewed and there would be 122 feet from building face to building face, which should be sufficient and was similar to the pedestrian area at the City's Wildflower festival.

Commissioner Springs asked what was envisioned for Building 5.

Dr. Jamison replied that because Rutford Avenue could not be aligned, the area was being developed as a potential building pad.

Commissioner Linn complimented the applicant on their design and screening of the parking structures. He also wanted to know if the project would be exclusively used as student housing.

Dr. Jamison said the project would not be exclusively for the use of the students and the goal was to develop a different type of product than what was typically found in student housing with more one and two bedroom units.

Regarding the parking structures, Dr. Jamison stated their intent was to blend the structures into the rest of the campus. Mr. Zreet added that according to the proposed PD that some form of screening panels would be used to break up the façade of the parking garages.

Mr. Bob Schaeffer, President of the Cottonwood Creek Civic Association (CCCA), 1129 Brandy Station, Richardson, Texas, read comments into the record stating the CCCA recognized and supported a vibrant university, but pointed out the unique traffic sensitive issues in their subdivision with cul-de-sacs and alleys that only exit onto Floyd Road. He asked for a TIA to be conducted and revised mitigations from that analysis be added to the zoning request.

No other comments were received in favor and Chairman Hand called for comments in opposition.

Mr. Mike Flynn, 1138 Brandy Station, Richardson, Texas, stated that the traffic along Floyd Road was a mess and pointed out that hardly any of the vehicles were going the posted 30 miles per hour. He added that during a discussion with Dr. Jamison in October 2013, a request was made to have construction traffic use Waterview Parkway as opposed to Floyd Road, however, the cement trucks and 18 wheel gravel haulers are still using Floyd Road which only adds to the traffic concerns.

Mr. Flynn said he was promised by previous university administrators that only faculty and visitors would be using the Lookout and Floyd Road entrance and a berm and hedge would be added along the east side of the parking lot; student traffic continue to use the entrance and they are still waiting for the hedge. He added that the university was good at making promises but not keeping them and asked the Commission to vote against the request.

No other comments were received in opposition and Chairman Hand asked if the applicant had any rebuttal comments.

Dr. Jamison said as a point of clarification, the traffic issues along Floyd Road are monitored by the campus police as evidenced by the number of citations written. He added the university has added more traffic advisory signs, had purchased and set out signs advising traffic to use the Campbell Road and Waterview Parkway entrances.

Regarding the construction traffic, Dr. Jamison acknowledged there were construction vehicles that had used Floyd Road, but the majority of the construction in the area has been completed and the only project left was the north mall and the material for that project was being taken through the north entrance.

With no further questions or comments, Chairman Hand closed the public hearing.

Chairman Hand said the comments, both for and against, had merit and asked staff how much jurisdiction the City had regarding any of the concerns. He also wanted to know if the TIA was available to the Commission.

Mr. Spicer replied that by virtue of the application being filed, the City had full discretionary consideration of the request.

Regarding the TIA, Mr. Spicer said there was a TIA conducted in conjunction with the current zoning application which focused on the street sections most closely impacted by

future growth. The TIA mainly addressed the traffic impacts at the intersections along Synergy Park Boulevard where the bulk of the traffic would end up relative to the proposed project, including the intersection of Floyd Road where an additional delay of 15.4 seconds in the morning peak traffic and 7.9 seconds in the afternoon peak traffic.

Commissioner Linn asked for clarification on the position of the CCCA. He noted that the TIA only addressed traffic impact at the intersection of Synergy Boulevard and Floyd Road and wanted to know if there was any additional information for traffic south of that location.

Chairman Hand replied they were in support of the proposed project but they had concerns about the traffic.

Mr. Spicer said the TIA model took into consideration the traffic on Floyd Road from Campbell Road to Synergy Parkway, but what he meant to suggest in terms of actual measurable impact occurred only at the intersection of Synergy Parkway and Floyd Road.

Commissioner DePuy asked if the loop road under construction would help alleviate some of the traffic concerns.

Mr. Spicer said that was correct and the traffic model used in the TIA took that information into consideration.

Dr. Jamison added that the first part of the loop road coming off Waterview Parkway was finished and they anticipated the remainder would be completed by the City in phases with the first phase finished this summer and the last phase next summer. He added that to be realistic, the university was a growing campus and they were trying to keep the majority of the traffic to the west and the north, but there will be a level of traffic surrounding the university.

Chairman Hand acknowledged the growth of the university and suggested the school work in a collaborative effort with the surrounding neighborhoods.

Commissioner Ferrell stated the intersection was not perfect, but his experience over the years was that the traffic had been reduced through the efforts of the university and their police department. He felt the zoning case should be approved and urged the university and the surrounding neighborhoods to continue to work on mitigating the traffic concerns.

Motion: Commissioner DePuy moved to recommend approval of Zoning File 14-10 as presented; second by Commissioner Roland. Motion approved 7-0.



Staff Report

TO: City Council
FROM: Michael Spicer, Director of Development Services *MS*
DATE: May 8, 2014
RE: **Zoning File 14-10:** Northside at UTD

REQUEST:

Rezone approximately 13.2 acres of land from TO-M Technical Office to PD Planned Development for the development of a university-oriented, mixed-use development.

APPLICANT / PROPERTY OWNER:

Brent Miller, Wynne Jackson, Inc. / University of Texas and UTD

TRACT SIZE AND LOCATION:

Approximately 13.2 acres located on the north side of Synergy Park Boulevard, between Rutford Avenue and Floyd Road.

EXISTING DEVELOPMENT:

The site is largely undeveloped. The UTD Facilities building, construction trailers, storage units and associated parking occupy the southwest portion of the site near the existing terminus of Rutford Avenue at Synergy Park Boulevard.

ADJACENT ROADWAYS:

Synergy Park Boulevard: Six-lane, divided major collector; 7,000 vehicles per day on all lanes, eastbound and westbound, between Waterview Parkway and Floyd Road (February 2013).

Floyd Road: Six-lane, divided minor collector; no traffic counts available.

SURROUNDING LAND USE AND ZONING:

North: Vacant; TO-M Technical Office
South: Public/Institutional/School; R-2000-M Residential
East: Vacant; TO-M Technical Office
West: Industrial; TO-M Technical Office

FUTURE LAND USE PLAN:

Transit Village

Mixed or multiple land uses built around small-scale pedestrian blocks located at the City's rail stations. Uses include medium- to high-density residential, retail, entertainment, hospitality and offices.

Future Land Uses of Surrounding Area:

North: Transit Village
South: Public/Semi-Public/School
East: Transit Village
West: Regional Employment

EXISTING ZONING:

TO-M Technical Office per Ordinance Number 2493-A.

TRAFFIC IMPACTS:

A Traffic Impact Analysis (TIA) was submitted by the applicant as part of the rezoning application requirements. The TIA was conducted by Kimley-Horn & Associates, Inc., a traffic engineering and planning consulting firm hired by the applicant. The purpose of the TIA is to evaluate the impact of the development on the roadway system.

The applicant's consultant met with City staff to determine the extent of the TIA guidelines required for this site. As part of the study, traffic counts were conducted at the existing intersections of Synergy at Rutford Avenue and Synergy at Floyd Road. These two intersections and all proposed development driveways along Synergy were studied as described below.

The following scenarios were initially analyzed per the City TIA guidelines:

- 2030 Background Traffic (existing 2010 plus typical growth)
- 2030 Background Traffic plus Full Site build-out Traffic

To assess traffic impacts associated with the proposed development, basic land use assumptions were established by the applicant for the Phase 1 area being rezoned as well as the remainder of the parcel envisioned for residential mixed use development. The tables below depict new automobile trip generations associated with the proposed development.

Table 1. Site-Generated Traffic - Phase 1

Land Uses Phase 1	Amount	Units	ITE Code	Daily One-Way Trips	AM Peak Hour One-Way Trips			PM Peak Hour One-Way Trips		
					IN	OUT	TOTAL	IN	OUT	TOTAL
Apartment (zoning max)	384	Units	220	2,451	38	154	192	149	80	229
Residential Townhouse	16	Units	230	131	2	10	12	9	4	13
Retail/Shopping Center	20,700	SF	820	884	12	8	20	37	40	77
Unmodified Trip Generation Total:				3,466	52	172	224	195	124	319

Trip Generation based on ITE's *Trip Generation, 9th Edition*.

Table 2. Site-Generated Traffic - Remainder of Tract

Land Uses Future Development	Amount	Units	ITE Code	Daily One-Way Trips	AM Peak Hour One-Way Trips			PM Peak Hour One-Way Trips		
					IN	OUT	TOTAL	IN	OUT	TOTAL
Apartment	400	Units	220	2,548	40	160	200	155	83	238
Residential Townhouse	136	Units	230	841	11	55	66	52	25	77
<i>Unmodified Trip Generation Total:</i>				3,389	51	215	266	207	108	315

Trip Generation based on ITE's *Trip Generation, 9th Edition*.

Based on the findings of the TIA, several roadway improvements are recommended as mitigation measures to be implemented by either UTD or the developer to adequately accommodate future traffic conditions.

Rutford Avenue at Synergy

1. The northbound approach of Rutford Avenue on the south side of Synergy should be widened to allow for 2 northbound lanes.

Site Driveways

1. All driveways should be wide enough for two exiting lanes to allow Left and Right turns to have separate lanes.

Traffic Signals / Pedestrian Crossings

1. Traffic signal warrant studies were conducted and determined that new traffic signals would not be warranted at Rutford Avenue or any of the proposed driveways.
2. It is recommended that Pedestrians cross Synergy at Rutford Avenue where there is an existing signed and marked pedestrian crosswalk enabled with Rectangular Rapid Flashing Beacons (RRFBs) that are activated by the pedestrians.

After a thorough review of the TIA and its recommendations, City staff was able to conclude that adequate provision of access and circulation drives will evenly distribute the traffic to the Arterial roadway system minimizing the impact to any specific link on the roadway network.

STAFF COMMENTS:

Background:

The subject property comprises 13.2 acres. The site is largely undeveloped, but does have a facilities building, work trailers and some storage containers situated near the southwest corner of the property.

In 2008, the University of Texas at Dallas (UTD), the City of Richardson, and Dallas Area Rapid Transit (DART) began collaborating on the development of a conceptual master plan designed to integrate expansion of the UTD campus with the future DART Cotton Belt station. The final report, entitled the *UTD North Campus Transit Oriented Development Phase 1 Project Report* was issued in June 2009.

Key aspects of the UTD North Campus master plan provided for in the proposed zoning include provision of mixed-use residential and retail uses and a pedestrian mall/street linkage from the University to the North Campus leading eventually to the platform of the future DART Cotton Belt Station.

The proposed zoning is consistent with both the City of Richardson Comprehensive Plan and the preferred land use plan concept presented in the 2009 *UTD North Campus Transit Oriented Development Phase 1 Project Report*.

Applicant's Request:

The applicant is proposing to develop the subject 13.2 acres as the first phase of a mixed-use neighborhood intended to primarily serve UTD students, faculty and staff.

The zoning request does not reference any standard base zoning district; development standards tailored specifically for the desired development, supplemented by a Conceptual Site Plan, have been proposed instead.

The proposed zoning would allow a variety of residential, retail, personal service, and institutional uses. Up to 400 dwelling units of any type would be allowed and up to 50,000 square feet of retail and restaurant space.

Because the zoning request includes uses that would potentially sell alcoholic beverages and the UTD campus constitutes a public school relative to the Texas Alcoholic Beverage Code, City Council must grant a variance to the 300-foot alcohol-free zone requirement in order to allow for alcohol sales on the subject property. The variance should be predicated on a finding by the Council that enforcement of the regulation in this particular instance is not in the best interest of the public; constitutes waste or inefficient use of land or other resources; creates an undue hardship on the applicant for a license or permit; does not serve its intended purpose; is not effective or necessary; or for any other reason; and, after consideration of the health, safety, and welfare of the public and the equities of the situation, concludes granting the variance to be in the best interest of the community.

Proposed Development Standards:

Floor Area: Minimum - 500 square feet
Average - 750 square feet

Building materials: A minimum of 80% of the exterior cladding materials must be masonry, which includes stucco.

Exterior walls facing interior courtyard areas require a minimum of 25% masonry cladding.

Accent materials allowed include architectural metal panels, split-face concrete block, tile and EFIS; however, EFIS may only be used eight feet (8') above the ground floor and limited to trim and molding elements.

Stairs, handrails and balconies shall be steel, glass or aluminum. Wood is prohibited.

Landscaping: At least 20% of the gross area of the property must be landscaped.

Setbacks: 20 feet from perimeter property lines
Interior setbacks per Building Code

Lot Coverage: 80%

Height: 70 feet

Parking: Residential - 1 space per bedroom
Non-residential - 1 space per 225 square feet

Signs: Signage may either be provided in conformance with the City standard sign regulations or through approval of a Master Sign Plan approved by the City Plan Commission.

Conceptual Site Plan:

The proposed Conceptual Site Plan provides for 300 residential units comprising 284 apartment units and 16 townhomes. The Conceptual Site Plan also provides for 26,780 square feet of space devoted to non-residential uses, primarily retail.

Lot coverage as shown is about 23%.

Landscaping, including hardscape materials and planted areas, comprises about 3.6 acres or 27.4% of the total site area.

A total of 771 parking spaces are provided comprising: a parking garage containing 350 spaces; 315 surface lot spaces; 90 on-street spaces and 16 garage spaces attached to the townhome units.

Streets:

The Conceptual Site Plan specifies four street cross-section designs (i.e., Type A, C, D, & E). Type B specifies the parking lot design for the surface lot fronting Synergy Park Boulevard.

All streets provide for public travel but are placed within public access easements, not public street rights-of-way. This condition is consistent with other public streets on the UTD campus.

Street types A, C, and D provide on-street, parallel parking, broad sidewalks and street trees.

Street type E, which is the north extension of Rutford Avenue, does not provide for on-street parking and does not have street trees, but does include sidewalks eight feet in width on either side of the roadway.

Street Type A is also referred to as the Central Spine. This signature street also serves as the development's centerpiece public space - flanked by sidewalks 15 feet in width and divided by a median/amenity zone 32 feet in width that includes special pavement, landscaping and street furniture.

Building Elevations:

Schematic building and parking garage elevations are provided strictly for illustrative purposes. Actual elevations will be submitted for review and approval by the City Plan Commission at time of development plan approval.

The schematic elevations depict two possible options for building elevations illustrating façades that include ground floor retail and facades that are strictly residential. Contrasting features include roof type (pitched and flat); variations on balcony design; inclusion or omission of balconies; cladding materials and colors; and façade rhythm.

The table below provides a comparison of select components of the proposed zoning with those of five other developments approved in Richardson.

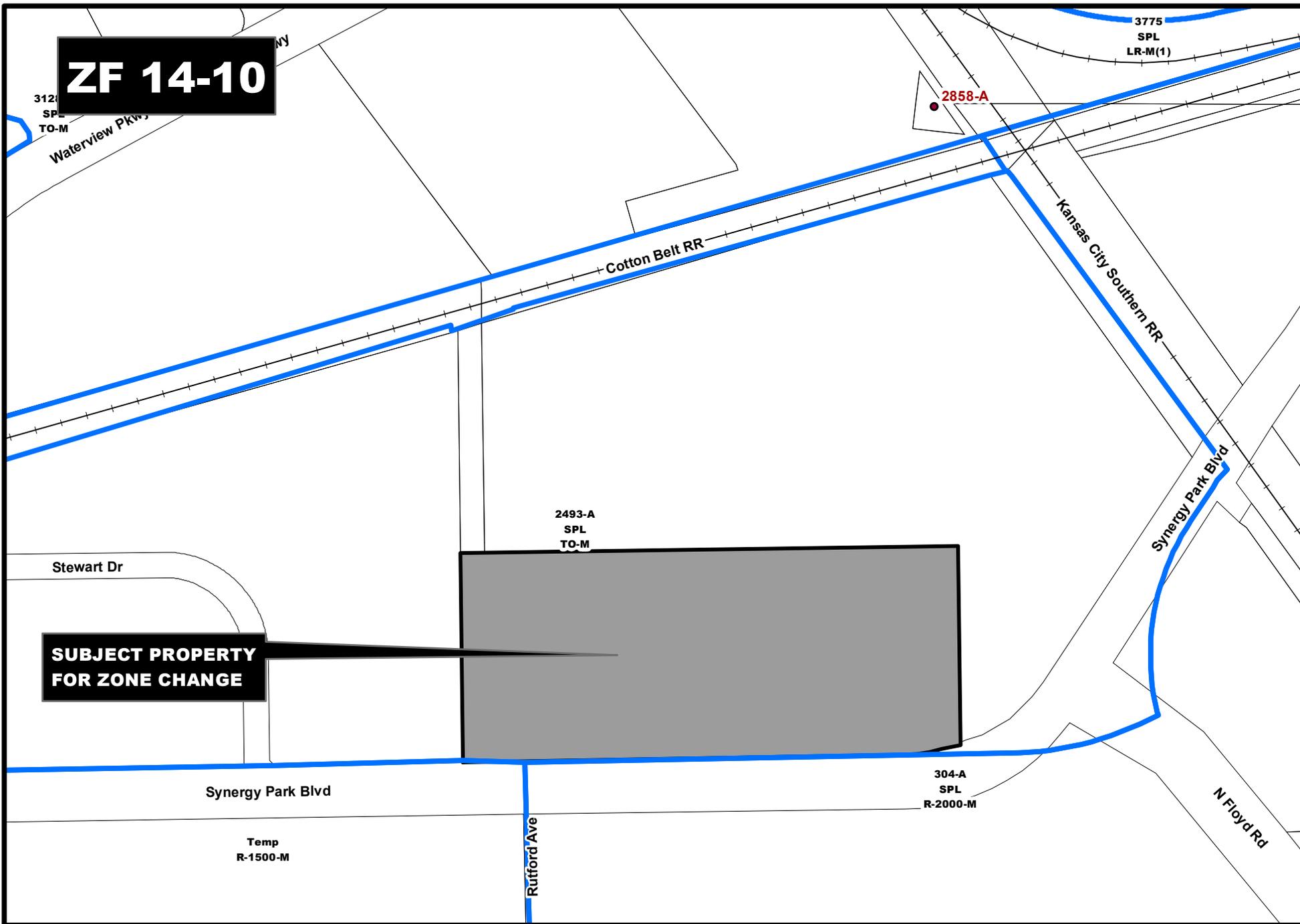
Regulation	Proposed Zoning (ZF 14-10)	Palisades	GreenVue	Brick Row	The Venue	Eastside
Min. Floor Area per Unit	500 s.f. Overall average > 750 s.f.	525 s.f.	600 s.f.	1-bedroom - 750 s.f. 2-bedroom -900 s.f. Overall average 800 s.f.	1-bedroom - 700 s.f. 2-bedroom -900 s.f. Overall average 750 s.f.	625 s.f., except up to 8 units may be 500 s.f. Overall average 850 s.f.
Maximum Number of Units	400	600	408	577	285	436
Building Materials	Min. 80% masonry (includes 3-step stucco) Min. 25% masonry (exterior walls facing courtyard areas)	Min. 85% masonry (includes 3-step stucco) Min. 25% masonry (exterior walls facing courtyard areas)	Min. 70% masonry (per approved elevations)	100% masonry on ground floor / Overall min. 85% masonry for entire building Reduced requirements for exterior walls of courtyard areas above 1 st floor	100% masonry on ground floor / Min. 50% above ground floor Reduced requirements for exterior walls of courtyard areas above 1 st floor	Min. 50% masonry
Parking Ratio	1.0 space / bedroom	1.0 space/ bedroom	1.5 spaces per unit	1-BR – 1.5 spaces/unit 2-BR – 1.75 spaces/unit 3-BR – 2 spaces/unit	1.5 spaces/unit	1.5 spaces/ unit
Max. Height	70 feet	75 -270 feet (varies by sub-district)	60 feet	6-story (max. 100') / Developed at 4 stories (66'9" to top of architectural features)	Max. 151' / Developed at 87'10" to top of architectural features)	Max. 80'

Max. Density	30 units/acre	16.5 units/acre (gross land area of 36.3 acres)	37 units/acre	Max. 577 units allowed (no density requirement) Developed at approx. 52 units/acre on lots developed as multi-family)	90 units/acre / developed at approx. 64 units/acre	Max 450 units allowed (Allows max. 30.4 units/acre). Developed at 29.5 units/acre
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Correspondence: One letter in favor of the request has been received.

Motion: On April 15, 2014 the City Plan Commission unanimously recommended approval of the request as presented, including the following condition:

- The subject property shall be zoned PD Planned Development District, Northside at UTD, and shall be developed in general accordance with the Conceptual Site Plan attached thereto as Exhibit “B”.



ZF 14-10

**SUBJECT PROPERTY
FOR ZONE CHANGE**

ZF 14-10 Zoning Map

Updated By: shacklett, Update Date: March 20, 2014
 File: DSI\Mapping\Cases\Z\2014\ZF1410\ZF1410 zoning.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





ZF 14-10

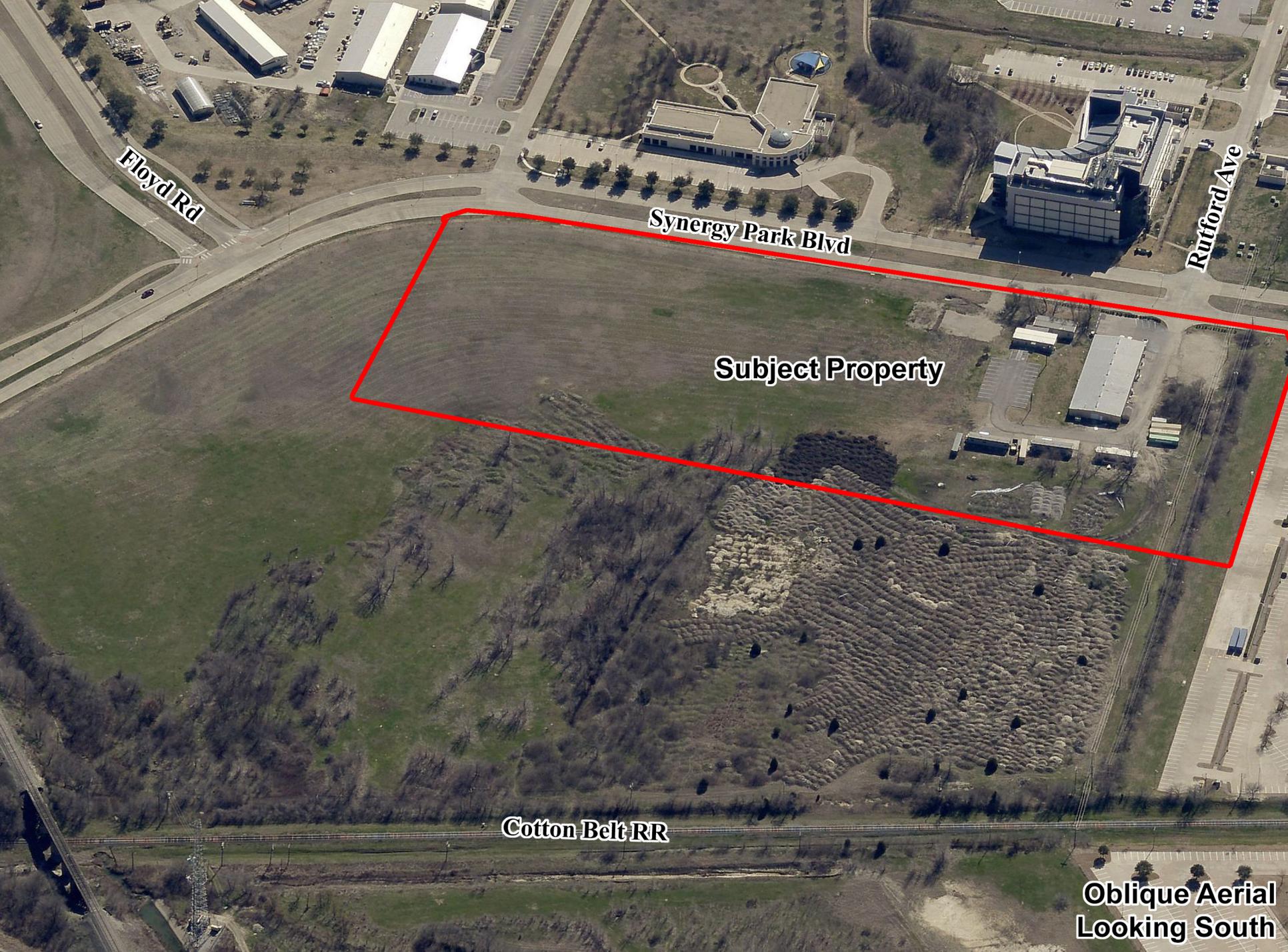
**SUBJECT PROPERTY
FOR ZONE CHANGE**

ZF 14-10 Aerial Map

Updated By: shacklett, Update Date: March 20, 2014
File: DSI\Mapping\Cases\Z\2014\ZF1410\ZF1410 ortho.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.





Floyd Rd

Synergy Park Blvd

Rutford Ave

Subject Property

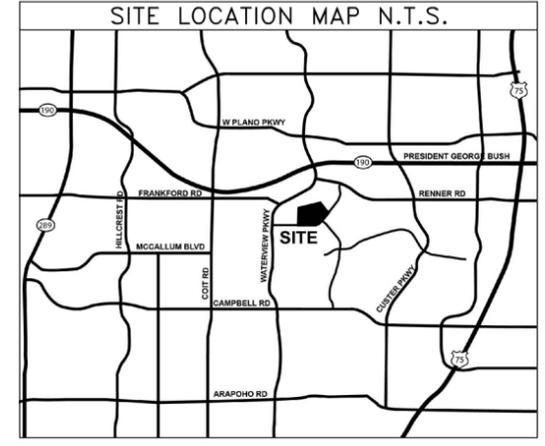
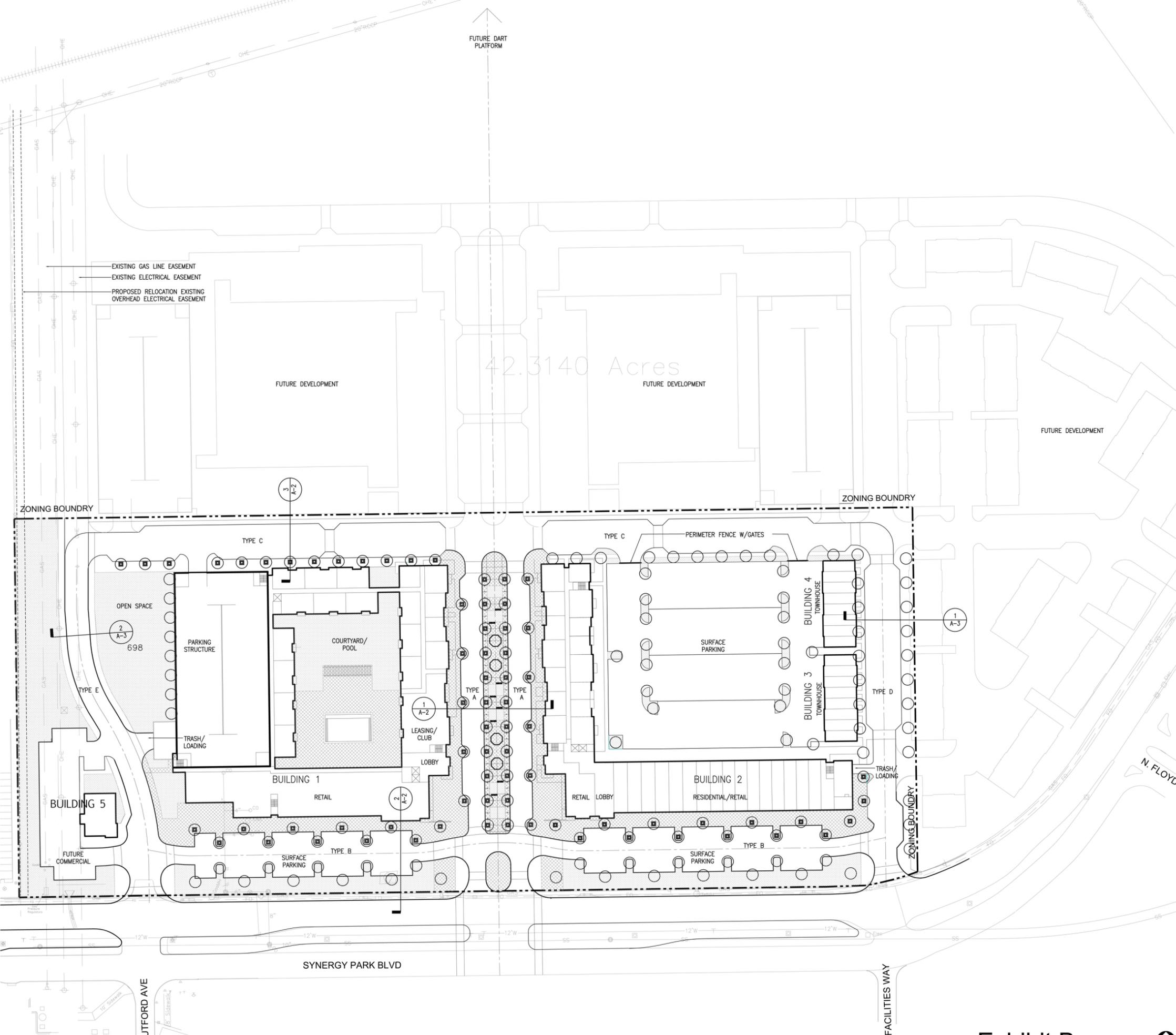
Cotton Belt RR

**Oblique Aerial
Looking South**

Enlarged Plan Overview

- New northern gateway street
- Pedestrian mall/street linkage from the University to the North Campus
- UTD passenger station
- Mezzanine signature canopy across the rail corridor
- Multiple residential options including mixed – use buildings
- Retail fronting the pedestrian mall/street and Waterview Parkway
- Hotel and shared - use parking garage north of the rail corridor
- Event center south of the station
- Possible location for cultural facility
- Office/research development along PGBT





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Balfour Beatty
 Campus Solutions

WYNNE JACKSON

NORTHSIDE AT U.T.D.

OWNER: UNIVERSITY OF TEXAS AT DALLAS
 800 WEST CAMPBELL ROAD
 RICHARDSON, TEXAS 75080
 (972) 883-2141

APPLICANT: WYNNE JACKSON INC.
 600 NORTH PEARL STREET, SUITE 650
 DALLAS, TEXAS 75201

DRAINAGE NARRATIVE	
The storm drain system for the Northside at UTd will generally be designed in accordance with the City of Richardson Drainage Manual. Storm Water runoff quantity will be calculated utilizing the rational method and the runoff will be intercepted by inlets and conveyed in closed drainage systems to the south, under Synergy Park Boulevard, through existing culverts, to discharge in the northern reaches of Cottonwood Creek. Efforts will be made to minimize velocities at discharge point. The system's ability to convey peak discharges will dictate the size of any required storm drain infrastructure and the need for mitigation of peak discharge.	
SITE INFORMATION	
ZONING: EXISTING: 2493-A-SPL TO-M	
SETBACKS: EXISTING: N/A	PROPOSED: (From Synergy Park Blvd) 89'-2"
LOT AREA: (GROSS ACREAGE)	
AC: 13.244	
S.F: 576,908.64	
BUILDING SUMMARY:	
BUILDING 1: RESIDENTIAL: 131,010	BUILDING 2: COMMERCIAL (RETAIL): 119,369
COMMERCIAL (RETAIL): 16,838	BUILDING 3: TOWNHOME: 7,144
COMMUNITY: 6,000	BUILDING 4: TOWNHOME: 7,144
	BUILDING 5: COMMERCIAL: 2,200
(TOTAL: 293,650 SF)	
UNIT MIX:	
1 BEDROOM:	76
2 BEDROOM:	138
3 BEDROOM:	70
2 BEDROOM TOWNHOME:	16
	TOTAL UNITS: 300
PARKING SUMMARY:	
PARKING REQUIRED:	SPACES
NON RESIDENTIAL: 1/225	
RESIDENTIAL: 1/BEDROOM	
	TOTAL REQUIRED: 696
PARKING PROVIDED:	
STRUCTURE:	350
STRUCTURE (TOWNHOME):	16
ON STREET:	90
SURFACE:	315
	TOTAL PROVIDED: 771
FAR: 1.04	
BUILDING HEIGHT: 4-STORIES	BUILDING COVERAGE: 23.27%
	70' MAX
LANDSCAPE AREA: (27.40%)	
LANDSCAPE:	91,220.00 SF 2.09 AC
HARDSCAPE:	67,514.00 SF 1.54 AC
<div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; background-color: #d3d3d3; border: 1px solid black; margin-right: 5px;"></div> LANDSCAPE </div> <div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; background-color: #cccccc; border: 1px solid black; margin-right: 5px;"></div> HARDSCAPE </div>	

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 Land Arch. #####

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ISSUES:

REVISIONS:

PROJECT NO. F8Z85100

JACOBS FILE NO. 00-0000

DRAWN BY: I.M.

CHECKED BY: A.Z.

SHEET TITLE:

CONCEPTUAL SITE PLAN

SHEET NUMBER:

A-1

SHEET: 1 of 5

1 CONCEPTUAL SITE PLAN
 1" = 60'

Exhibit B

PLAN NORTH

0 30 60 120 FT

For Illustrative Purposes Only

UTD ELEVATION NOTES	
Façade Materials:	Minimum 80% masonry (excluding doors and windows) with exception of interior courtyards as defined in PD Conditions. Maximum of 20% accent materials such as architectural metal panel, split-face concrete block, tile, or Exterior Insulating Finishing System (EIFS). EIFS only used 8 feet above ground floor and limited to exterior trim and molding features. Chimneys constructed of 100% masonry materials
Interior Courtyard Materials:	Minimum of 25% Masonry as defined in PD Conditions
Roofing Materials:	Copper, factory finished painted metal, slate, synthetic slate, terra cotta, or asphalt shingles excluding 3-tab asphalt shingles
Balconies:	Balcony rails of steel, glass or aluminum



4 SCHEMATIC ELEVATION OPTION B @ RESIDENTIAL
SCALE: NTS



2 SCHEMATIC ELEVATION OPTION A @ RESIDENTIAL
SCALE: NTS



1 SCHEMATIC ELEVATION OPTION B @ RETAIL
SCALE: NTS



1 SCHEMATIC ELEVATION OPTION A @ RETAIL
SCALE: NTS

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REVISIONS:
 []
 []
 []
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PROJECT NO.: F828100
JACOBS FILE NO.: 00-0000
DRAWN BY:
CHECKED BY:
SHEET TITLE:

**SCHEMATIC
ELEVATIONS**

SHEET NUMBER:
A-4
SHEET: 4 of 8
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2 SCHEMATIC NORTH ELEVATION GARAGE
SCALE: NTS



1 SCHEMATIC WEST ELEVATION GARAGE
SCALE: NTS

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DESIGNER

REVISIONS

PROJECT NO. 85283100
JACOBS FILE NO. 00-0000
DRAWN BY:
CHECKED BY:

SHEET TITLE:
SCHEMATIC
ELEVATIONS

**NORTHSIDE AT UTD
PLANNED DEVELOPMENT DISTRICT
PROPOSED PD CONDITIONS**

Section 1. Intent

The purpose of the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT is to create a vibrant university-oriented district that is pedestrian-friendly, rail transit ready, and vehicle/bicycle accessible; the development will have a collegiate flavor and provide a gathering place for students, faculty, and the neighborhood by offering a mix of outstanding public spaces, housing, retail, and other supporting uses offering a fully active live-work-learn-play experience. The central spine of the development consists of a divided roadway with two lanes in each direction along with parallel parking; the central spine's wide landscaped median and pedestrian-friendly sidewalks shall serve as a key amenity of the development to enhance the pedestrian nature of Northside at UTD (also referred to as "Comet Town"). The central spine will eventually serve as a vehicular and pedestrian connecting element to the DART Cotton Belt station at full build-out of the project.

Section 2. Conceptual Site Plan

The property is situated in the City of Richardson, Collin County, Texas, to wit, approximately 13.2 acres as depicted on the survey attached hereto as Exhibit "A", (the "Property"). Development of the Property must generally comply with the conceptual site plan attached hereto for all purposes as Exhibit "B", (the "Conceptual Site Plan").

Section 3. Architectural image

Building facades shall include architectural details and ornament to create variety and interest.

- (a) Buildings shall generally maintain a façade rhythm along all streets. This rhythm may be expressed by changing materials or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- (b) Buildings shall generally maintain the alignment of horizontal elements along the block.
- (c) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate.
- (d) Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
- (e) Porches, stoops, eaves and balconies may be added along the front residential facades to add pedestrian interest along streets.
- (f) Storefronts on facades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures. Storefront windows shall be transparent and cover no less than 50% of the ground floor façade.

- (g) Corner emphasizing architectural features, pedimented parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.

Building elevation design and materials shall be submitted for review and approval by the City Plan Commission at the time of development plan approval and shall adhere to regulations specified in the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT.

Section 4. Use regulations

In the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT, no land shall be used and no building shall be erected for or converted to any use other than:

- Antennas including cell, accessory, and mounted on top of buildings, subject to the supplemental regulations of article XXII-E
- Art galleries
- Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)
- Barber or beauty salon
- Book, card, or stationary store
- Business associations and professional membership organizations
- Camera and photographic supply shop
- Catering service
- Child day care and preschools
- Church or religious institutions
- Clothing or apparel store
- Construction field office
- Convenience store with a maximum area of 5,000 square feet
- Community garden
- Department store
- Drugstore
- Finance, insurance, and real estate establishments including banks, credit unions, real estate, and property management services
- Florist
- Food service uses such as full-service restaurants, cafeterias, bakeries and snack bars; included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation; also included in this category is the sale of alcoholic beverages which shall meet Chapter 4, Alcoholic Beverages of the City of Richardson Code of Ordinances
- Health club
- Incidental outdoor display
- Jewelry store
- Laundry pick-up station

- Mailing service
- Martial arts studio
- Museums and other special purpose recreational institutions
- Office
- Office furniture, equipment and supply store
- Parking, surface or structured
- Photography or art studio
- Print shop, minor
- Private attached garage
- Private detached garage
- Private parks, greens, plazas, squares, and playgrounds
- Private recreation club
- Public uses including university, college, and civic uses
- Radio, recording or television studio
- Research laboratories and facilities
- Residential uses, including single-family detached and attached dwelling units, patio homes, duplexes, townhomes, lofts, and apartments
- Retail store or retail activities
- Sales from kiosks
- School, parochial, when located on the same lot as the church of the sponsoring religious agency
- Social and fraternal organizations
- Social services and philanthropic organizations
- Tailor shop
- Theatre, cinema, dance, music or other entertainment establishment
- Veterinary office shall be subject to the supplemental regulations of article XXII-E

Any use with a drive through facility shall require a Special Permit.

Section 5. Height regulations

(5.1) *Maximum height* – The maximum building height is 70 feet

(5.2) *Architectural features* – Features that may exceed the maximum height include turrets, and towers in addition to other features set forth in the definition of “height” in the Comprehensive Zoning Ordinance, provided that such features shall not exceed the maximum building height by more than 10 feet and respect the scale of the building, subject to Development Plans approvals.

Section 6. Area regulations

- (6.1) *General* – For purposes of determining area regulations within the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT the entire Property shall be considered one lot.
- (6.2) *Setbacks:*
- (a) The minimum building setback from all perimeter property lines shall be twenty (20) feet; entry features such as monument signage, sculptures, or other art shall be excluded from required setbacks subject to visibility requirements.
 - (b) Awnings and balconies must be a minimum of ten (10) feet high off the ground and may encroach up to three (3) feet beyond the setback line.
 - (c) No interior setbacks are required, except as required by the City of Richardson Building Code.
 - (d) Parking will be allowed in any setback area behind any required landscape buffer.
- (6.3) *Retail and Restaurant Density* – The maximum building area for retail and restaurant uses shall be 50,000 rentable square feet within the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT. An updated traffic impact analysis may be required to increase the building area for retail and restaurant uses above the 20,780 rentable square feet shown on the Conceptual Site Plan.
- (6.4) *Lot Coverage* – The principal building(s) and any accessory buildings (inclusive of parking structures) shall not cover more than 80 percent of the total area of the lot.
- (6.5) *Landscaping* – Landscaping shall be provided at a minimum of twenty percent (20%) of the gross land area of the Property. Landscaping shall include areas with plant materials including grass, enhanced paving areas, landscape islands, and open space areas including the median in the central spine and interior courtyards. A landscape buffer, a minimum of ten feet in width, shall be provided adjacent to Synergy Park Boulevard. Within the ten-foot landscape strip, the developer shall install, and all subsequent owners shall maintain, plant materials as follows: A minimum of one canopy tree and one ornamental tree shall be required for every 50 lineal feet of street frontage. Each tree shall be a minimum of 3 inch caliper size and a minimum of 12 feet in height at planting. Street tree wells and grates shall be no smaller than 5 feet by 5 feet.

Section 7. Parking

- (7.1) *General.* For purposes of applying the parking regulations within the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT the entire Property shall be considered one lot.

(7.2) *Parking requirements* – Parking shall be provided as set forth on the following page:

USE	PARKING REQUIREMENT
Non-residential	1/225 sq. ft.
Residential	1 space/bedroom

- (7.3) Surface parking spaces serving multifamily uses are not required to have a covered carport.
- (7.4) Where above-ground structured parking is located at the perimeter of a building with frontage along any street, it shall be screened in such a way that car bumpers on all levels are fully concealed and the façade will incorporate full or partial louvered, solid or perforated screening elements. Evergreen or semi-evergreen canopy trees shall be planted every 20-30 feet to provide a living screen as well.
- (7.5) Fencing parking lots is not required; however, any parking lot fencing shall not be greater than eight (8) feet in height. Wood, chain link, and plastic fencing are prohibited.

Section 8. Special Regulations for Multifamily Uses

The following regulations shall apply to multifamily uses and mixed uses with multifamily components.

- (8.1) *Building Regulations:*
 - (a) *Minimum floor area of dwelling unit* – The minimum floor area per multifamily unit shall be 500 square feet. The average floor area per multifamily unit shall be in excess of 750 square feet.
 - (b) *Building materials*
 - (i) At least 80% of each building’s façade (excluding doors and windows), with the exception of interior courtyards, shall be finished in Masonry (herein defined as brick, stone, cast-in-place concrete, stucco utilizing a three-step process, cast stone, glass, or glass block).
 - (ii) No more than 20% of each façade along any street shall use accent materials such as architectural metal panel, split-face concrete block, tile, or Exterior Insulating Finishing System (EIFS). EIFS may only be used 8 feet above the ground floor and is prohibited on all building elevations with the exception of use for exterior trim and moulding features. Interior courtyards shall be a minimum of 25% Masonry (as defined above).
 - (iii) All chimneys shall be constructed of 100% masonry materials.

- (iv) For "chateau," "mansard" or any other design where the roof serves as an exterior wall, the above percentages shall apply.
- (v) Roofing materials (visible from any street) shall be copper, factory finished painted metal, slate, synthetic slate, terra cotta, or asphalt shingles; 3-tab asphalt shingles shall be prohibited.
- (v) Hand rails and balcony rails shall be of steel, glass or aluminum. Wood is prohibited.

(8.2) Area regulations:

- (a) *General* – For purposes of determining area regulations for multifamily uses within the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT the entire Property shall be considered one lot.
- (b) *Maximum Density* – The maximum number of dwelling units permitted within the entire NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT shall be four hundred (400) units. No more than 30% of the total units shall be three bedroom units and four bedroom units.
- (c) *Overhang and fireplaces* – The minimum setback requirements shall apply in all cases, except that fireplaces, eaves, bays, balconies and fireproof outside stairways above the first floor may extend to a maximum of 3 feet into the build-to line, required front, side or rear yards.

Section 9. Signage

Applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City of Richardson City Manager or Designee and are subject to approval of the City Plan Commission. In evaluating a Master Sign Plan, the City Plan Commission shall consider the extent to which the application meets the following goals:

- Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property.
- Enhances the compatibility of signs with the architectural and site design features within a development
- Encourages signage that is in character with planned and existing uses thus creating a unique sense of place
- Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

Section 10. General Miscellaneous Regulations

(10.1) Enhanced street paving. Enhanced street paving shall be provided at appropriate locations throughout the development to emphasize pedestrian crossings, key intersections, and driveways entrances.

- (10.2) Chapter 21 of the City Code is modified as follows:
- (a) Driving aisles shall be a minimum of 22-feet ten inches (22'-10") for two-way and 15-feet for one-way traffic and shall be designed to accommodate garbage and trash collection services, and emergency vehicles. Firelanes shall be a minimum of twenty-four feet (24') in width.
 - (b) Multifamily communities shall not be required to be enclosed by a perimeter fence.
 - (c) Multifamily communities shall not be required to be physically separated by mean of a fence.
 - (d) No setbacks or screening shall be required for residential uses adjacent to non-residential uses.
 - (e) Loading docks, refuse storage containers, and utility accessories shall be screened to reduce their visual impact by screening these sites from adjoining properties and public rights-of-way and shall be located in the rear or side of the buildings where possible.
- (10.3) Generally, streets in the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT need to support the overall goal of a mixed-use, compact, pedestrian-oriented district. The standards for new streets and the parking lot (adjacent to Synergy Park Blvd) shall be established by the attached cross section exhibits. The cross sections may be adjusted to fit existing contexts with approval of the City Engineer.
- (10.4) **Minor modifications.** For purposes of this planned development, a minor modification shall be defined as a change to an approved Conceptual Site Plan or development plan, which does not increase the area regulations (as set forth in 8.2 above), enumerated parking ratios (as set forth in section 7.2 above), nor substantially changes the access or circulation on or adjacent to the site. The City Manager or City Manager's designee is authorized to approve minor modifications.



**Looking Northwest at
Subject Property**

(1)

(2)

Looking Northeast at
Subject Property





(3)

Looking East along
Synergy Park Blvd



(4)

Looking South across
Synergy Park Blvd



(5)

Looking West at
Adjacent Property

Explanation and Description of Request

The purpose of the NORTHSIDE AT UTD PLANNED DEVELOPMENT DISTRICT is to create a vibrant university-oriented district that is pedestrian-friendly, rail transit ready, and vehicle/bicycle accessible; the development will have a collegiate flavor and provide a gathering place for students, faculty, and the neighborhood by offering a mix of outstanding public spaces, housing, retail, and other supporting uses offering a fully active live-work-learn-play experience. The central spine of the development consists of a divided roadway with two lanes in each direction along with parallel parking; the central spine's wide landscaped median and pedestrian-friendly sidewalks shall serve as a key amenity of the development to enhance the pedestrian nature of Northside at UTD (also referred to as "Comet Town"). The central spine will eventually serve as a vehicular and pedestrian connecting element to the DART Cotton Belt station at full build-out of the project.



Notice of Public Hearing

City Plan Commission • Richardson, Texas

An application has been received by the City of Richardson for a:

PLANNED DEVELOPMENT

File No./Name: ZF 14-10 / UTD Northside
Property Owner: University of Texas and UTD
Applicant: Brent Miller / Wynne Jackson, Inc.
Location: North side of Synergy Park Boulevard, between Rutford Avenue and Floyd Road (See map on reverse side)
Current Zoning: TO-M Technical Office District
Request: A request for a change in zoning from TO-M Technical Office to PD Planned Development for the development of a university-oriented mixed-use development on approximately 13.3 acres.

The City Plan Commission will consider this request at a public hearing on:

TUESDAY, APRIL 15, 2014
7:00 p.m.
City Council Chambers
Richardson City Hall, 411 W. Arapaho Road
Richardson, Texas

This notice has been sent to all owners of real property within 200 feet of the request; as such ownership appears on the last approved city tax roll.

Process for Public Input: A maximum of 15 minutes will be allocated to the applicant and to those in favor of the request for purposes of addressing the City Plan Commission. A maximum of 15 minutes will also be allocated to those in opposition to the request. Time required to respond to questions by the City Plan Commission is excluded from each 15 minute period.

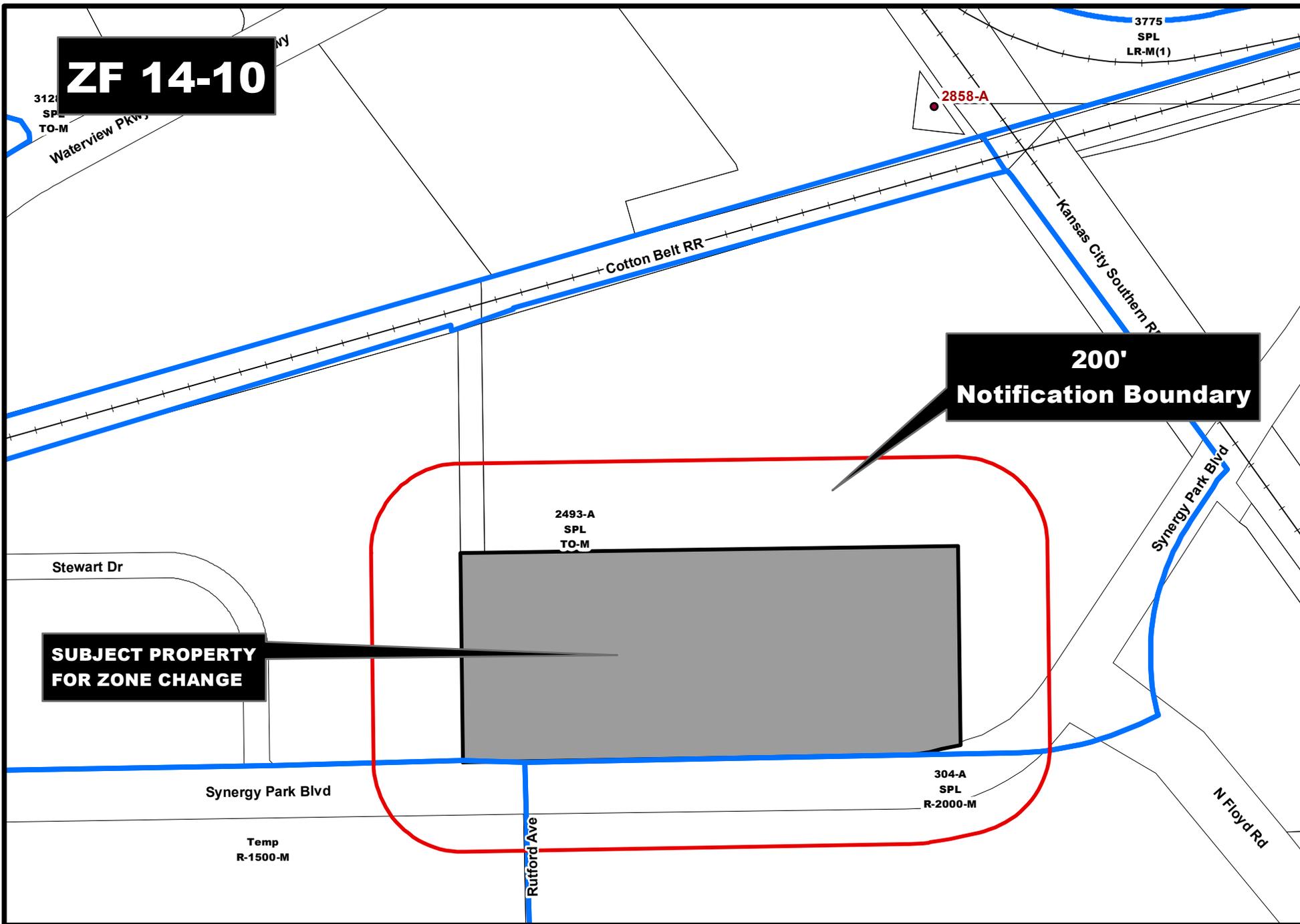
Persons who are unable to attend, but would like their views to be made a part of the public record, may send signed, written comments, referencing the file number above, prior to the date of the hearing to: Dept. of Development Services, PO Box 830309, Richardson, TX 75083.

The City Plan Commission may recommend approval of the request as presented, recommend approval with additional conditions or recommend denial. Final approval of this application requires action by the City Council.

Agenda: The City Plan Commission agenda for this meeting will be posted on the City of Richardson website the Saturday before the public hearing. For a copy of the agenda, please go to: <http://www.cor.net/index.aspx?page=1331>.

For additional information, please contact the Dept. of Development Services at 972-744-4240 and reference Zoning File number ZF 14-10.

Date Posted and Mailed: 04/04/2014



ZF 14-10 Notification Map

Updated By: shacklett, Update Date: March 20, 2014
 File: DSI\Mapping\Cases\Z\2014\ZF1410\ZF1410 notification.mxd

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



3000 WATERVIEW PKWAY - RICHA
C/O ISTAR FINANCIAL INC
1114 AVENUE OF THE AMERICAS
NEW YORK, NY 10036-7703

UNIV OF TEX AT DALLAS
2601 N FLOYD RD
RICHARDSON, TX 75080-1407

FACILITY PLANNING & CONSTRUCTION
ATTN: TONY PEARSON
PLANO ISD
6600 ALMA DR STE E
PLANO , TX 75023

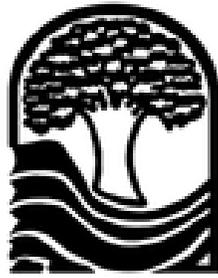
U T D
2601 N FLOYD RD
RICHARDSON, TX 75080-1407

BRENT MILLER, VP
WYNNE & JACKSON, INC
600 NORTH PEARL SUITE 650
DALLAS, TX 75201

UNIVERSITY OF TEXAS
PO BOX 830688
RICHARDSON, TX 75083-0688

SUPERINTENDENT OF SCHOOLS
PLANO ISD
2700 W 15TH ST
PLANO , TX 75075-7524

ZF 14-10
Notification List



COTTONWOOD CREEK CIVIC ASSOCIATION

Statement to Richardson City Plan Commission
Zoning File ZF 14-10: Northside at UTD
April 15, 2014

I am Bob Schaefer. I reside at 1129 Brandy Station. I am the president of the Cottonwood Creek Civic Association and am authorized to present this statement on the behalf of its Board of Directors. For Cottonwood Creek, I thank the Commission members and City staff for your efforts to plan the growth and development of our City as a great place to live and work.

Cottonwood Creek Estates is a slender tract of 302 residences lying along Floyd Road separated from the University of Texas at Dallas on the west by Cottonwood Creek and is adjacent to Canyon Creek on the east. I, like many of my neighbors, are long-term residents of this community and have witnessed the top-down growth of UTD from a renowned post-graduate school to a university with a student body of almost 22,000. Through out this accelerating growth, we believe that the University and the City have been attuned to the needs of our community and have worked with our Boards to address issues. Most recently, UTD has spent \$100,000 to plant mature Eastern Red Cedars to provide sight and sound mitigation for the new buildings close to Cottonwood Creek.

Cottonwood Creek recognizes and supports the creation of a vibrant university-oriented district as envisioned in this Zoning Request. We believe that this development will serve the current and future needs of students and faculty. Additionally, this district will enhance the diversity of venues within the City.

Cottonwood Creek has a unique traffic-sensitive issue as we have multiple egress-constrained Cul-de-sacs and associated alleys. In other words, a substantial number of our residents can only exit the neighborhood via Floyd Road. Over the years the City and the University have made significant efforts to mitigate traffic flow to Floyd Road such as the construction of University Parkway and the soon to be completed Loop Road. Also, Mobile Message Boards are placed in the Campbell Road median at the beginning of semesters to direct traffic to University Parkway and Waterview.

With all the mitigations that have been taken over the years to address traffic flow on Floyd Road, I am sure that the Commission can understand Cottonwood Creek's concern when the Staff's Report under Adjacent Roadways described Floyd Road as a six lane, divided minor collector; no traffic counts available. Then, based on the Traffic Impact Analysis concluded there were adequate provisions to evenly distribute traffic to the Arterial roadway system to minimize impacts to any specific link.

The only section of Floyd Road that is a six lane, divided minor collector is from West Lookout to Synergy. Even though this section may have little impact from the site-generated traffic, it is our opinion that impacts are significantly magnified when you enter Cottonwood Creek at Pittsburg Landing.

It is not our intent to slow or stop this Zoning Request process which we believe to be beneficial, We specifically request the CPC re-open the Traffic Impact Analysis to include a more vigorous assessment of Traffic Impacts to Floyd Road within Cottonwood Creek and that any revised mitigations be included in the approved Zoning Request.

I thank you for your consideration of our request and your service to Richardson.





**City of Richardson
City Council Meeting
Agenda Item Summary**



City Council Meeting Date: Monday, May 12, 2014

Agenda Item: Brick Row Townhomes

Staff Resource: Michael Spicer, Director of Development Services MS

Summary: This is a request for approval of a concept plan for nineteen (19) townhomes with exceptions within Brick Row. Requested exceptions include orienting the buildings toward a common area in lieu of a street; reducing required guest parking from 80 to 79 spaces; and reducing the required amenity zone from 16' to 10', consistent with existing conditions.

Board/Commission Action: On April 15, 2014, the city Plan Commission unanimously recommended approval of the request as presented.

Final Action: The City Council may approve the request as presented, approve with conditions, or deny.

Brick Row Townhomes

Attachments:

1. Locator
2. Concept plan staff report
3. Applicant's statement
4. Concept plan
5. CPC Minutes from April 15, 2014



Brick Row Townhomes



**CITY COUNCIL
STAFF REPORT
May 12, 2014**

Concept Plan

PROJECT SUMMARY

- Project:** **Brick Row Townhomes**
- Location:** 201-207 Emily Lane
West side of alley “B” between Karen Crossing and Jacob Drive.
- Request:** The concept plan reflects the development of nineteen (19), two-story, rear-entry townhomes that front upon a common area. Located on the west side of alley “B,” between Karen Crossing and Jacob Drive, the additional units bring the total townhomes in Brick Row to 159.
- The concept elevations reflect two-story, four to six unit townhomes that will be constructed using similar materials and design characteristics as previously approved.
- As permitted by the Spring Valley Station District regulations, the Concept Plan requests exceptions from the base regulations of the Planned Development in order to efficiently develop the site.
- CPC Action:** On April 15, 2014, the City Plan Commission unanimously recommended approval of the request as presented.

BACKGROUND

- Zoning:** PD Planned Development District (Ordinance 4032). In December 2013, the City Council approved a text amendment to the Spring Valley Station District that increased the total number of single-family units permitted within the District to 170. A concept plan for the proposed increase in units was not included with the approval.
- Tract Size:** 3.95-acres/172,062 square feet

Development Plan Review:

Property within the Spring Valley Station District requires a two-step approval process. A Concept Plan, including scaled plans, architectural images, and description of building materials must be approved by the City Council, after recommendation from the City Plan Commission. After approval of the Concept Plan, Development Plans must be approved by the Commission; however, both the Commission and the City Council must approve the building elevations and exceptions.

Exceptions:

Per the Spring Valley Station District guidelines, an applicant may request exceptions to certain development regulations to allow for flexibility in design for proposed developments. The City Council, after the recommendation by the City Plan Commission, may authorize exceptions in the following areas:

1. Definitions
2. Building Materials
3. Area Regulations
4. Additional requirements for multi-family
5. Open Space
6. Access and parking
7. Signs

Staff Comments:

To efficiently develop the site, the applicant is requesting several exceptions from the base regulations of the Spring Valley Station District ordinance. The table below lists the exceptions as proposed by the applicant:

Provision	Requirement	Proposed	Comments
Building orientation	Oriented to the street	Oriented to the west, onto a Common Area	Applicant: Based on existing conditions, this design provided the best layout. Staff: Other than a small portion of Jacob Drive and the terminus of Emily Lane, this site has no other frontage onto a public street.
Guest Parking (0.5 spaces for each unit)	80 guest spaces	79 guest spaces (existing)	Applicant: Due to limited street frontage, the design provides 38 tandem spaces in front of the garages.

			<p>Staff: Since the site for the new townhomes has minimal street frontage, design reflects at least 20' of tandem parking area for guests, located between the garage door and alley right-of-way.</p>
Amenity Zone and sidewalk	16' Amenity Zone without on-street parking and a 6' sidewalk.	10' Amenity Zone and no sidewalk (Emily Lane)	<p>Applicant: The existing design of the round-about for Emily Lane provides a 10' Amenity Zone with no sidewalk. The applicant is request to maintain its current design.</p> <p>Staff: With the approval of the original Concept Plan in 2007, a sidewalk was not required to be constructed on the east side of the terminus of Emily Lane. Upon construction of Emily Lane, the approved design was continued around the entire circumference of the Emily Lane terminus; however a formal exception for the west side of the terminus was not granted. The 10' Amenity Zone, as constructed, provides 6' for trees wells and a 4' clear pedestrian way.</p>

Muse Townhome Lots of Brick Row (Block A and Block B – Formally Condo lots)

Applicant's Statement

The Brick Row Townhome project is a gigantic success. As of February 28, 2014, CB JENI Homes has closed 85 townhomes and sold an additional 14. We fully anticipate the remaining platted home sites to be sold and closed by year end.

The average sales price started at approximately \$185,000 and has increased to a current average sales price near \$230,000.

The 19 lots are designed to face the creek. The homes will have a lighted walkway in front of them and will also have multiple park benches for enjoying the creek/open space.

Request #1 – Approve an exception to allow lot frontage to be to a common area (muse lot) for the lots in Block A and B.

We will be building on muse lots in Carrollton and we have been very successful with muse lots in the past. We worked with staff on multiple layouts for this site and the muse design provided the best environment for our customers. We request approval to plat 19 muse lots

Request #2 – Approve an exception to allow development of these 19 units without additional Off-Street Parking.

There are currently 140 townhomes units approved and the additional 19 townhomes will bring the total to 159 townhomes. The required 0.5 space per unit requires 80 spaces. The townhome development currently has 79 spaces provided. We request approval to allow 19 additional townhomes units without the construction of 1 additional Off-Street Parking space. We are adding 38 driveway spaces to compensate for the reduction.

Request #3 – Approve reduction in Amenity Zone on the west side of the Emily Lane roundabout from 16' to 10' and approve the elimination of the 6' sidewalk on the west side of the Emily Lane roundabout.

The existing Emily Lane roundabout is construction with approximately 9.5'-10' of Brick Pavers in the parkway. We request the reduction in the amenity zone from 16' to the existing 10'. The existing Emily Lane roundabout does not have a sidewalk on the east or the west side. A variance was granted for the east side of the roundabout and we are requesting to eliminate the requirement for a 6' sidewalk on the west side to match the east side of the roundabout.

Thank you for your consideration in these matters.

Bruno Pasquinelli

NOTE:

PORTIONS OF THIS MAP PROVIDED BY BROCKETTE-DAVIS-ORR, INC., ENGINEERS AND USED/UPDATED AS DIRECTED BY I. ROBERTS, PLANNER AT THE CITY OF RICHARDSON.

WINKELMANN & ASSOC. ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS OF SAID BASE MAP OUTSIDE THE LIMITS OF BLOCKS A, B, AND C EAST OF FLOYD BRANCH.

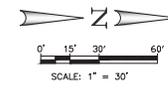
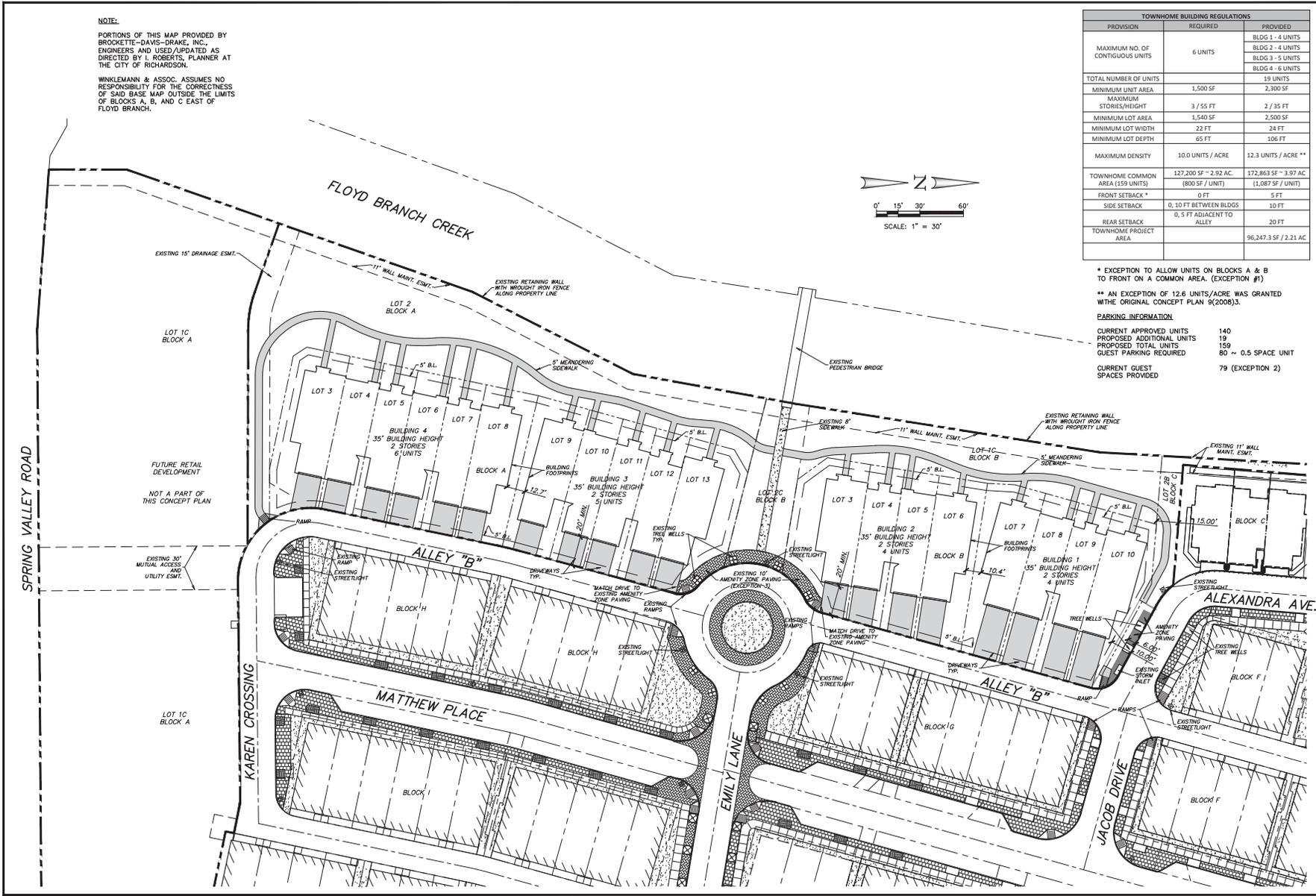
TOWNHOME BUILDING REGULATIONS		
PROVISION	REQUIRED	PROVIDED
MAXIMUM NO. OF CONTIGUOUS UNITS	6 UNITS	BLDG 1 - 4 UNITS BLDG 2 - 4 UNITS BLDG 3 - 5 UNITS BLDG 4 - 6 UNITS
TOTAL NUMBER OF UNITS		19 UNITS
MINIMUM UNIT AREA	1,500 SF	2,300 SF
MAXIMUM STORIES/HEIGHT	3 / 35 FT	2 / 35 FT
MINIMUM LOT AREA	1,540 SF	2,500 SF
MINIMUM LOT WIDTH	22 FT	24 FT
MINIMUM LOT DEPTH	65 FT	106 FT
MAXIMUM DENSITY	10.0 UNITS / ACRE	12.3 UNITS / ACRE **
TOWNHOME COMMON AREA (159 UNITS)	(800 SF / UNIT)	(1,087 SF / UNIT)
FRONT SETBACK *	0 FT	5 FT
SIDE SETBACK	0, 10 FT ADJACENT TO ALLEY	10 FT
REAR SETBACK	0, 5 FT ADJACENT TO ALLEY	20 FT
TOWNHOME PROJECT AREA		96,247.3 SF / 2.21 AC

* EXCEPTION TO ALLOW UNITS ON BLOCKS A & B TO FRONT ON A COMMON AREA. (EXCEPTION #1)

** AN EXCEPTION OF 12.6 UNITS/ACRE WAS GRANTED WITH THE ORIGINAL CONCEPT PLAN 9(2008)3.

PARKING INFORMATION

CURRENT APPROVED UNITS	140
PROPOSED ADDITIONAL UNITS	19
PROPOSED TOTAL UNITS	159
GUEST PARKING REQUIRED	80 ~ 0.5 SPACE UNIT
CURRENT GUEST SPACES PROVIDED	79 (EXCEPTION 2)



	APPROVAL
	REVISION
	DATE
	NO.

Winkelmann & Associates, Inc.

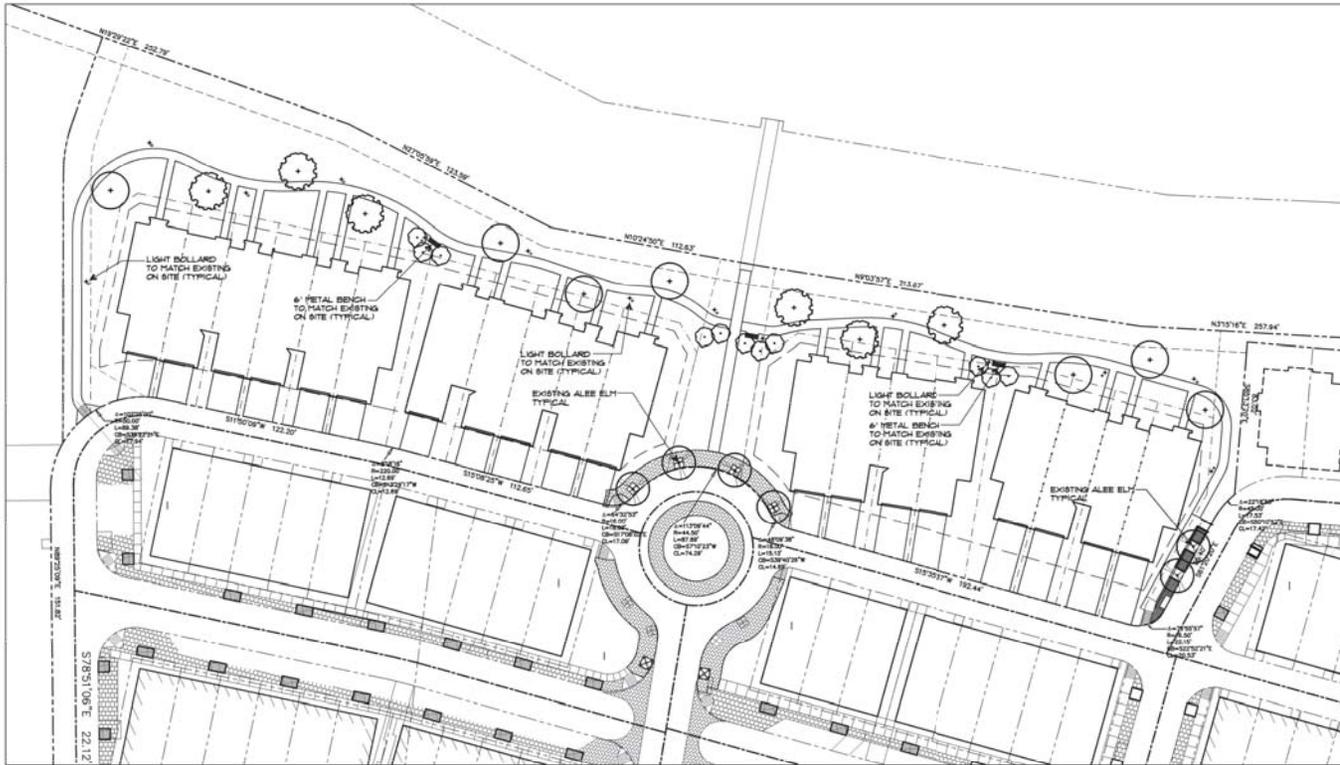
CONSULTING CIVIL ENGINEERS & ARCHITECTS

2001 HUNTER PARKWAY, SUITE 300
 RICHARDSON, TEXAS 75081-1000
 TEL: 972-481-2200
 FAX: 972-481-2200
 WWW.WINKELMANN-ASSOCIATES.COM

CONCEPT PLAN
 CENTENNIAL PARK
 RICHARDSON, DALLAS COUNTY, TEXAS

CP-2

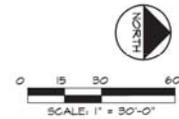
© 2010 WINKELMANN & ASSOCIATES, INC. FROM CP02 - CONCEPT PLAN



LARGE TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
6		CHICAGO OAK	Chicago Oak	Quercus macrocarpa	4" caliper, 12' H, 6"-7" spread, BRB, straight trunk.
1		LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12' H, 6"-7" spread, BRB, straight trunk.

ORNAMENTAL TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
6		GRAPE HYDRANGEA	Grape Hydrangea	Hydrangea glabra	7" caliper per trunk, 3' trunk minimum, 18" H, 18" spread, BRB, gallon container, specimen.

NOTE:
LANDSCAPE PLAN MAY CHANGE DUE TO THE DEVELOPMENT PLAN PROCESS.



#	Revisions	Date

Sheet Title:
PRELIMINARY
Job No.
1410B
Scale
1" = 30'-0"
Drawn By:
JDS
Date
4-7-2014

Centennial Park

Richardson Texas



Concept Landscape Plan

Sheet Number:
CP3

ALL PHOTOS AND SPECIFICATIONS PROVIDED SUPPLIED BY <http://www.landscapeforms.com>



LIGHT BOLLARD

MANUFACTURER:
STYLE:

DETAILS:

LANDSCAPE FORMS
ANNAPOLIS

6" DIA.,
STEEL PIPE W/CAST ALUMINUM TOP
AND SPUM ALUMINUM BASE RING
BLACK POWDER COAT FINISH
LOW VOLTAGE LED LIGHTING



BENCH

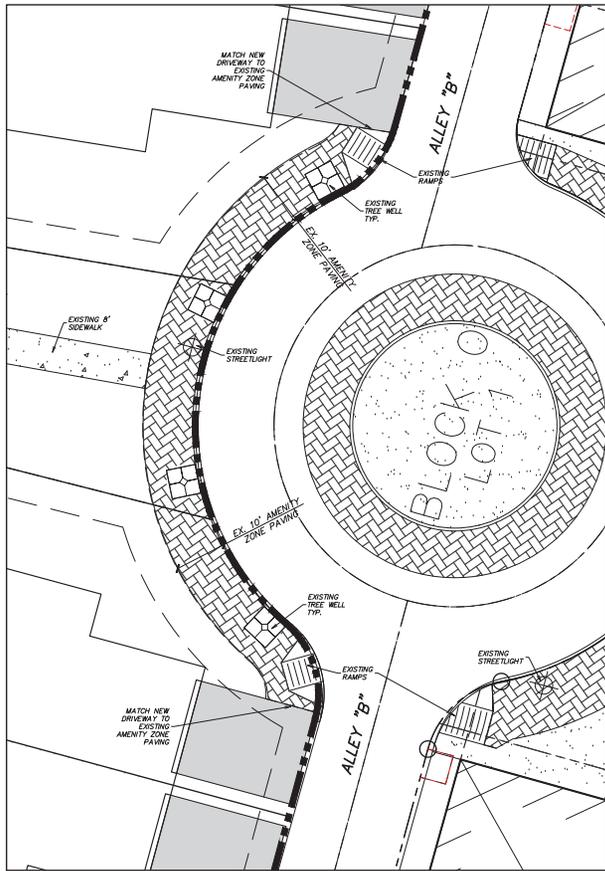
MANUFACTURER:
STYLE:

DETAILS:

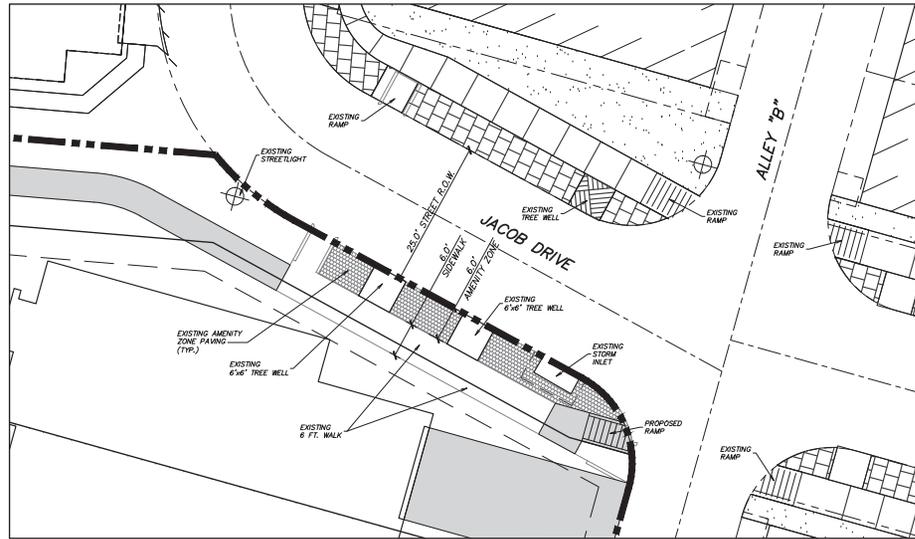
LANDSCAPE FORMS
PLAINWELL

72" WIDTH
ALL ALUMINUM CONSTRUCTION
BLACK POWDER COAT FINISH

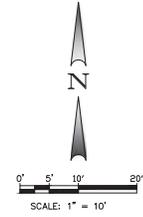
<p>Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS & ARCHITECTS 6000 W. HIGHTWAY 140, SUITE 300 DALLAS, TEXAS 75247-1400 TEL: 972-497-2200 FAX: 972-497-2200 WWW.WINKELMANN-ASSOCIATES.COM Copyright © 2014, Winkelmann & Associates, Inc.</p>	No.	DATE	REVISION	APPROVAL
	No.	DATE	REVISION	APPROVAL
<p>CONCEPT PLAN LANDSCAPE FEATURES CENTENNIAL PARK RICHARDSON, DALLAS COUNTY, TEXAS</p>				
<p>CP-4</p>				



EXISTING ALLEY "B" AMENITY ZONE



PROPOSED JACOB DRIVE AMENITY ZONE



	<p>CONCEPT PLAN AMENITY ZONE DETAILS CENTENNIAL PARK RICHARDSON, DALLAS COUNTY, TEXAS</p>	<p>Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS & ARCHITECTS 4848 HUNTER PARKWAY, SUITE 300 DALLAS, TEXAS 75244 TEL: 972-482-2200 FAX: 972-482-2209 WWW.WINKELMANN-ASSOCIATES.COM COPYRIGHT © 2014, Winkelmann & Associates, Inc.</p>	No.	DATE
	<p>REVISION</p>		APPROV	

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01 BUILDING 1 & 2 (4-PLEX) - FRONT ELEVATION
1/8" = 1'-0"



02 BUILDING 1 & 2 (4-PLEX) - LEFT ELEVATION
1/8" = 1'-0"



03 BUILDING 1 & 2 (4-PLEX) - RIGHT ELEVATION
1/8" = 1'-0"



04 BUILDING 1 & 2 (4-PLEX) - REAR ELEVATION
1/8" = 1'-0"

<p>Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS & ARCHITECTS 2015 W. HIGHTWAY 190, SUITE 300 DALLAS, TEXAS 75244-1200 TEL: 972-442-2000 FAX: 972-442-2000 WWW.WINKELMANN-AND-ASSOCIATES.COM</p>	
<p>CONCEPT PLAN 4-PLEX BUILDING ELEVATIONS CENTENNIAL PARK RICHARDSON, DALLAS COUNTY, TEXAS</p>	
<p>DATE</p>	<p>NO.</p>
<p>REVISION</p>	<p>APPROVED</p>



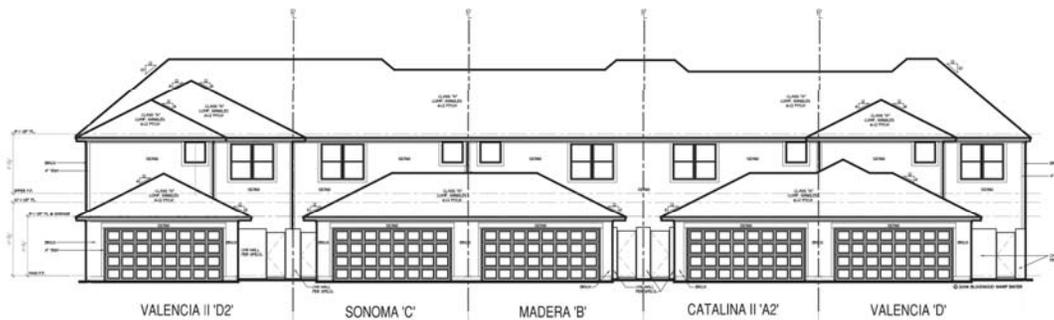
01 BUILDING 3 (5-PLEX) - FRONT ELEVATION
1/8" = 1'-0"



02 BUILDING 3 (5-PLEX) - LEFT ELEVATION
1/8" = 1'-0"



03 BUILDING 3 (5-PLEX) - RIGHT ELEVATION
1/8" = 1'-0"



04 BUILDING 3 (5-PLEX) - REAR ELEVATION
1/8" = 1'-0"

<p>Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS & ARCHITECTS 2001 W. HIGHTWAY 190, SUITE 300 DALLAS, TEXAS 75244-2000 TEL: 972-442-2000 FAX: 972-442-2000 WWW.WINKELMANN-AND-ASSOCIATES.COM COPYRIGHT © 2014, WINKELMANN & ASSOCIATES, INC.</p>	
<p>CONCEPT PLAN 5-PLEX BUILDING ELEVATIONS CENTENNIAL PARK RICHARDSON, DALLAS COUNTY, TEXAS</p>	
<p>CP-7</p>	
No.	DATE
REVISION	
APPROVED	

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CPC Minutes from April 15, 2014:

Concept Plan – Brick Row Townhomes: A request for approval of a concept plan for nineteen (19) townhomes with exceptions at Brick Row. The 3.95-acre site is located at 201-207 Emily Lane, west side of alley “B” between Jacob Drive and Karen Crossing.

Motion: Vice Chair Bright made a motion to approve the consent agenda as presented; second by Commissioner Frederick. Motion passed 7-0.

ORDINANCE NO. 4048

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING FROM I-M(1) INDUSTRIAL AND I-M(2) INDUSTRIAL TO PD PLANNED DEVELOPMENT FOR R-1500-M RESIDENTIAL DISTRICT USES FOR 13.55 ACRES LOCATED ON THE WEST SIDE OF TELECOM PARKWAY AT THE NORTHERN CITY LIMITS, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 13-09).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended so as to grant a change in zoning from I-M(1) Industrial and I-M(2) Industrial to PD Planned Development for R-1500-M Residential District uses for 13.55 acres located on the west side of Telecom Parkway at the northern city limits, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That the Property shall be used and developed in accordance with the R-1500-M Residential District regulations as set forth in the Comprehensive Zoning Ordinance, as amended, for a patio home development except as otherwise provided herein:

1. Base Zoning. R-1500-M Residential District.

2. Concept Plan. The property shall be used and developed in substantial conformance with the concept plan attached hereto as Exhibit “B” (the “Concept Plan”) which is hereby approved and incorporated herein for all purposes.
3. Development Regulations. Property shall be used and developed in accordance with the regulations of the R-1500-M Residential District, except as provided below:
 - A. Building Regulations
 1. Minimum dwelling unit size: 2,700 square feet (exclusive of garages, breezeways and servants’ quarters).
 2. All homes shall contain a fire suppression sprinkler system.
 - B. Height Regulations
 1. Maximum principal building height: Forty (40) feet.
 - C. Area Regulations
 1. Minimum lot area: 11,000 square feet.
 2. Minimum lot width: Seventy-two (72) feet measured at the building line.
 3. Minimum lot depth: 175 feet.
 4. Maximum lot coverage: Forty percent (40%).
 5. Minimum front setback: Twenty-five (25) feet. Front facing garages shall be set back a minimum of five (5) feet behind the front building line of the home. Swing entry garages will be allowed and are not subject to the additional 5-foot setback requirement (18-inch overhang encroachment allowed for all of the above).
 6. Minimum interior side setback: Five (5) feet with a minimum required 10-foot building separation (18-inch overhang encroachment allowed).
 7. Minimum corner lot side setback (Block A, Lot 1): Twenty (20) feet (18-inch overhang encroachment allowed).
 8. Minimum rear setback: Fifty (50) feet for the principal building. Thirty (30) feet for accessory buildings (18-inch overhang encroachment allowed for all of the above).

D. Garage Doors

1. Garage doors shall be metal wood look doors with carriage-style hardware or wooden doors.

E. Driveways

1. Non-perpendicular maneuverability shall be allowed for irregularly shaped lots, with a required minimum pavement area of eighteen (18) feet in width and twenty-four (24) feet in length and may include adjacent street paving.

F. Fencing and Screening Walls

1. Fences shall be stained, board on board or standard vertical tubular steel, except for fences adjacent to Woods Park shall be standard vertical tubular steel only.
2. A masonry screening wall shall be required along the eastern property line of Lot 1 as shown on Exhibit "B". No fence shall be permitted parallel to said screening wall. Any interior fence on Lot 1 shall not exceed the height of the screening wall.

G. Buffering and Landscaping

1. On the east side of Lot 1, the screening wall, sidewalk and landscape area shall be provided to match the property to the south and shall be in conformance with the wall detail shown on Exhibit "B".

H. Open Space

1. Lots shall be allowed to back upon Beck Branch as shown on Exhibit "B".
4. All open space areas, screening wall, and associated screening wall landscaping shall be maintained by the HOA.

I. Parking shall be prohibited on the north side of Street "A".

J. The cul-de-sac length and block length for Street "A" shall be allowed to exceed the 500-foot maximum length and 1,000-foot maximum length, respectively, as shown on Exhibit "B".

SECTION 3. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 4. That all other provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 12th day of May, 2014.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:5-7-14:TM 66030)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 14-05

Being part of a 57.441 acre tract of land situated in the James T. McCullough Survey, Abstract No. 633, Collin County, Texas and being part of Tract 4B, part of Tract 5 and part of Tract 4/3C as conveyed to Flextronics International USA, Inc. by deed recorded in Volume 5005, Page 2614, Deed Records, Collin County, Texas and being a portion of a 50.340 acre tract of land conveyed to Flextronics International USA, Inc. by deed recorded in Volume 4804, Page 2286, Deed Records, Collin County, Texas; said 13.5485 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at the northwest corner of Woods of Springcreek Section 4, an addition to the City of Richardson according to the Plat recorded in Cabinet J, Page 901, and the northeast corner of Woods of Springcreek Section 5, an addition to the City of Richardson according to the Plat recorded in Cabinet R, Page 880, Plat Records, Collin County, Texas,

THENCE, South 76°26'10" West, along the north boundary line of said Woods of Springcreek Section 5 a distance of 92.51 feet;

THENCE, North 77°36'57" West, a distance of 154.94 feet;

THENCE, North 00°00'02" East, leaving said north boundary line of Woods of Springcreek Section 5, a distance of 226.04 feet to the City of Richardson, Texas and the City of Plano, Texas, city limit line;

THENCE, along the said common City of Richardson, Texas & the City of Plano, Texas, city limit line the following;

South 89°52'22" East, a distance of 476.85 feet;

North 00°17'34" West, a distance of 305.96 feet;

North 89°19'28" East, a distance of 1417.40 feet;

North 88°51'53" East, a distance of 448.49 feet;

THENCE, South, 00°01'49" East, leaving said common city limit line a distance of 21.76 feet;

THENCE, South, 86°23'24" West, a distance of 499.40 feet to the centerline of Telecom Parkway (a 100' right-of-way);

THENCE, South, 00°00'37" West, along the said centerline of Telecom Parkway a distance of 313.33 feet to the northeast corner of said Woods of Springcreek Section 4 addition;

THENCE South 89°57'14" West, along the north line of said Woods of Springcreek Section 4 addition and the common south line of said 50.340 acre tract, a distance of 1365.49 feet;

THENCE, South 50°07'06" West, a distance of 307.26 feet to the Point of Beginning and containing 590,173 square feet or 13.5485 acres of land more or less.

ORDINANCE NO. 4049

AN ORDINANCE OF THE CITY OF RICHARDSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF RICHARDSON, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING FROM PD PLANNED DEVELOPMENT TO PD PLANNED DEVELOPMENT FOR THE CITY LINE EAST PLANNED DEVELOPMENT DISTRICT FOR 62.5 ACRES LOCATED ON THE EAST SIDE OF PLANO ROAD BETWEEN PRESIDENT GEORGE BUSH TURNPIKE AND CITYLINE DRIVE, AND BEING FURTHER DESCRIBED IN EXHIBIT "A"; PROVIDING A SAVINGS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE. (ZONING FILE 14-11).

WHEREAS, the City Plan Commission of the City of Richardson and the governing body of the City of Richardson, in compliance with the laws of the State of Texas and the ordinances of the City of Richardson, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RICHARDSON, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Zoning Map of the City of Richardson, Texas, duly passed by the governing body of the City of Richardson on the 5th day of June, 1956, as heretofore amended, be, and the same is hereby amended so as to grant a change in zoning from PD Planned Development to PD Planned Development for the City Line East Planned Development District for 62.5 acres located on the east side of Plano Road between President George Bush Turnpike and CityLine Drive, and being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes as follows:

1. That the property shall be developed and used in conformance with the CityLine East Planned Development District Code, attached hereto as Exhibit "B", which is hereby approved and made a part hereof for all purposes.
2. The maximum number of residential units shall be 1,925 constructed at a minimum density of thirty (30) units per net acre.

3. A traffic impact analysis prepared by a professional engineer licensed in the State of Texas shall accompany each development plan which proposes the construction of one or more buildings to be used for non-residential purposes and constructed on the property described in this Ordinance and/or Ordinance No. 3893 if when such buildings are constructed, the total area of the buildings constructed and used for non-residential purposes and which are located on the property described in this Ordinance and/or Ordinance No. 3893, exceeds 2.5 million square feet . The requirement for submission of a traffic impact analysis shall apply whether or not at the time of submission of the development plan the total area of buildings used for non-residential purposes on said property will exceed 2.5 million square feet for the first time or already exceeds 2.5 million square feet. The traffic impact analysis shall include within its scope the traffic generated by all uses already developed on the property described in this Ordinance and/or Ordinance No. 3893 as of the date of the analysis and the affect the traffic generated by the proposed additional development will have on said property and adjacent properties. For purposes of this paragraph, the area of any structure constructed, developed, and used solely for the parking of motorized and non-motorized vehicles shall be excluded for the calculation of the area of buildings developed and used for non-residential purposes.

SECTION 2. That the above-described tract of land shall be used in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Richardson, Texas, as heretofore amended, and subject to the aforementioned special conditions.

SECTION 3. That all other provisions of the ordinances of the City of Richardson in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Richardson not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. That an offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Richardson, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. That this Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED by the City Council of the City of Richardson, Texas, on the 12th day of May 2014.

APPROVED:

MAYOR

APPROVED AS TO FORM:

CORRECTLY ENROLLED:

CITY ATTORNEY
(PGS:5-8-14:TM 66071)

CITY SECRETARY

EXHIBIT "A"
LEGAL DESCRIPTION
ZF 14-11

BEING a tract of land situated in the F.J. Vance Survey, Abstract No. 939, in the City of Richardson, Collin County, Texas, and being part of a tract of land described in a Special Warranty Deed to BCS East Land Investments LP, recorded in Instrument No. 20121218001611950, Land Records of Collin County, Texas and being all of Lot 1A, Block C and all of Open Space Lot 1A, Block X, Galatyn Park North, an addition to the City of Richardson, Texas according to the plat recorded in Volume 2013, Page 529, Map Records of Collin County, Texas and in Instrument No. 20131127010003430, Land Records of Collin County, Texas and being more particularly described as follows:

BEGINNING at the northernmost end of a right-of-way corner clip at the intersection the east right-of-way line of Plano Road (State Highway No. 5, a 140-foot wide right-of-way) and the south right-of-way line of President George Bush Highway (State Highway No. 190, a variable width right-of-way);

THENCE with said south right-of-way line, the following courses and distances to wit:

South 86°57'17" East, a distance of 617.30 feet to a point for corner;
South 82°55'01" East, a distance of 100.32 feet to a point for corner;
South 88°55'32" East, a distance of 200.27 feet to a point for corner;
South 86°51'32" East, a distance of 800.00 feet to a point for corner;
South 78°33'27" East, a distance of 212.29 feet to a point for corner;
North 85°39'47" East, a distance of 65.23 feet to the northwest corner of Lot 2A, Block C, of said Galatyn Park North;

THENCE departing said south right-of-way line and with the west line of said Lot 2A, Block C, South 0°58'13" West, a distance of 1136.25 feet to a point in the south right-of-way line of Cityline Drive (an 87-foot wide right-of-way);

THENCE with said south right-of-way line, the following courses and distances to wit:

South 71°34'36" West, a distance of 213.60 feet to a point at the beginning of a tangent curve to the right having a central angle of 17°36'10", a radius of 1043.50 feet, a chord bearing and distance of South 80°22'41" West, 319.33 feet;
In a southwesterly direction, with said curve to the right, an arc distance of 320.59 feet to a point for corner;
South 89°10'46" West, a distance of 1467.51 feet to the northernmost end of a right-of-way corner clip at the intersection of said south right-of-way line and said east right-of-way line of Plano Road;

THENCE with said right-of-way corner clip, South 44°22'20" West, a distance of 70.95 feet to the southernmost end of said right-of-way corner clip;

THENCE with said east right-of-way line, the following courses and distances to wit:

North 0°26'05" West, a distance of 734.94 feet to a point for corner;
North 0°18'59" West, a distance of 653.65 feet to the southernmost end of said first
referenced right-of-way corner clip;

THENCE with said first referenced right-of-way corner clip, North 46°51'31" East, a distance of 102.48 feet to the **POINT OF BEGINNING** and containing 62.49 acres of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202),
North American Datum of 1983.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the
ground survey, and is not to be used to convey or establish interests in real property except those
rights and interests implied or established by the creation or reconfiguration of the boundary of
the political subdivision for which it was prepared.



MEMO

DATE: May 6, 2014
TO: Kent Pfeil – Director of Finance
FROM: Pam Kirkland – Purchasing Manager *Pam*
SUBJECT: Award of Request for Proposal #701-14 for the bank depository to Legacy Bank and to Bank of America Merchant Services for the merchant card services pursuant to unit prices

Proposed Date of Award: May 12, 2014

I concur with the recommendation of Keith Dagen – Assistant Director of Finance, to award the above referenced contracts in the following estimated amounts, assuming the two-year extension is taken.

Bank Depository Contract	Legacy Bank	\$ 11,309
Merchant Card Services	Bank of America	\$284,577

The attached memo from Mr. Dagen outlines the proposal analysis for both the bank depository and merchant card services. The award amounts are estimates based on the City's current activity levels and will be charged according to the unit prices submitted in the proposal.

The proposal was advertised in the Dallas Morning News on March 6 & 12, 2014 and was posted on Bidsync. A pre-proposal conference was held on March 20, 2014 and six vendors and eight staff members were in attendance. A total of 505 notices were electronically solicited; 16 vendors viewed the proposal; and five bank proposals and five merchant card services proposals were received. The contracts will commence August 1, 2014 for a three year term with an option to extend for one, two-year period.

Concur:

Kent Pfeil

Kent Pfeil

Attachments

Xc: Dan Johnson
David Morgan
Cliff Miller
Don Magner
Shanna Sims-Bradish



DATE: May 6, 2014
TO: Pam Kirkland, Purchasing Manager
THRU: Kent Pfeil, Director of Finance *KP*
FROM: Keith Dagen, Assistant Director of Finance *KD*
SUBJECT: Award of RFP No. 701-14 Part I (Depository Services) and Part II (Merchant Card Services)

RFP No. 701-14 Part I (Depository Services)

The City of Richardson solicited proposals for the bank depository contract and received final proposals from Amegy Bank, Comerica Bank, Frost Bank, JP Morgan Chase Bank, and Legacy Bank. The new contract will be for three years with one two-year extension. The total estimated cost of the contract, including the extension and conversion costs, will be as follows:

- Legacy Bank \$11,309
- Frost Bank \$133,945
- JP Morgan Chase \$149,439
- Amegy Bank \$180,779
- Comerica Bank \$232,871

Legacy's bid provides for core banking services at no cost to the City, with only safekeeping charges passed through by a third-party provider. Legacy will work with the City to find a third-party safekeeping provider that is mutually acceptable to both parties. The selection committee has reviewed Legacy's audited financial statements and references, and believes that they can provide excellent depository services to the City. The committee recommends awarding the bid to Legacy bank based on the no-fee pricing listed in their proposal.

RFP No. 701-14 Part II (Merchant Card Services)

The City of Richardson also solicited bids for merchant card services (processing credit/debit card payments).

The selection committee reviewed each bid for the following criteria:

- Experience working with large, complex municipal operations
- Ability to interface with in-person and online versions of all of the City's payment applications
- Security and integrity of customer data for in-person and online transactions
- Support of multiple payment options for citizen convenience
- Competitive processing fees

Final proposals were received from the five vendors listed in the chart below.

Estimated Monthly Transaction Fees

Processing Costs	Comerica	Chase	First Data	TransFirst	Bank of America
Merchant Card Fees	\$3,635	\$3,873	\$4,431	\$4,460	\$4,742

These estimated costs are based on the unit prices for each service as listed in each respondent's proposals. Based on the criteria contained in the RFP, the selection committee felt that Bank of America provided the best overall value, with pricing consistent to their current contract, no impact to the City's existing credit card customers, and proven experience in working with the City's processes and volume of transactions.

The selection committee recommends awarding the bid to Bank of America Merchant Services based on the unit prices listed in their proposal. Bank of America Merchant Services is the City's current processor and has provided excellent service in the past.